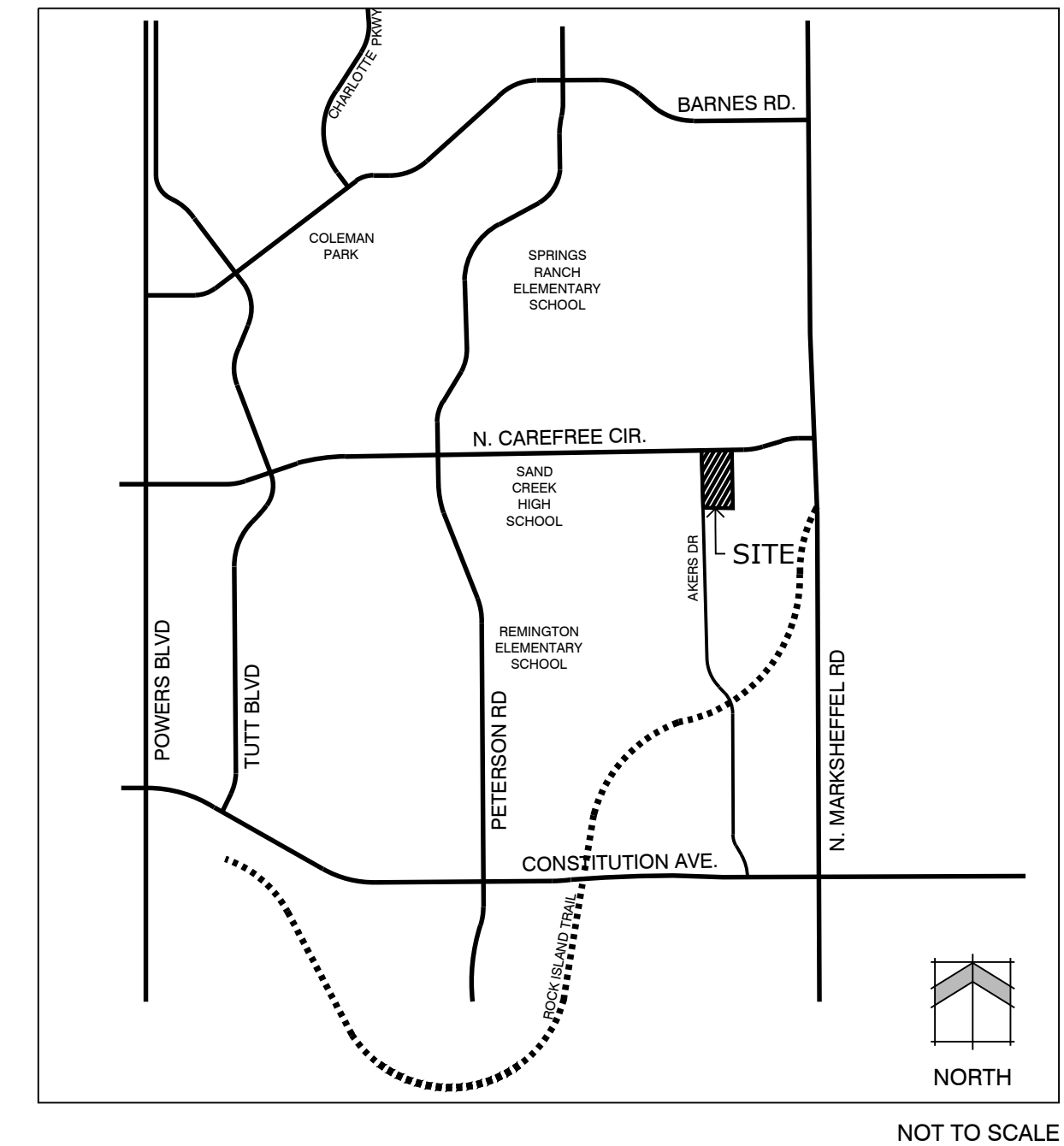


THE GARDENS AT NORTH CAREFREE

EL PASO COUNTY, COLORADO

PUD DEVELOPMENT / PRELIMINARY PLAN

VICINITY MAP



SITE DATA

OWNER/APPLICANT:	Mule Deer Investments LLC 2727 Glen Arbor Dr. Colorado Springs, CO 80920
Tax ID Number:	5329411002 & 5329400012
Area:	11.56 acres
Current Zoning:	RR-5 & CS
Proposed Zoning:	PUD
Current Land Use:	Vacant
Proposed Land Use:	Single Family Detached Residential
Number of Units:	71
Density:	6.14 DU/AC
Building Height:	30' Max.
Landscape Setbacks/Buffers:	
North Carefree Circle:	25' Landscape Setback
Akers Drive:	15' Landscape Setback
South Zone District Boundary:	15' Landscape Buffer
East Boundary:	15' Landscape Buffer
Lot Building Setback:	
Front:	10' Minimum (20' from back of sidewalk to front of garage)
Side:	5' Minimum (15' on corner lots)
Rear:	10' Minimum

GENERAL NOTES

- See Final Landscape Plan for proposed buffering and screening from surrounding properties.
- Facilities and common area landscape will be maintained by The Gardens at North Carefree Metropolitan District.
- This site is not within a designated F.E.M.A. floodplain as determined by the flood insurance rate map, community panel number 08041C0276F, effective March 17, 1997.
- There will be no direct lot access from Akers Drive & North Carefree Circle.

PUD MODIFICATIONS

PUD Modification of ECM Figure 2-16: Urban Local Roadway Cross-Section
The street section is modified to measure 45 feet from back of sidewalk to back of sidewalk. The modification reduces the ROW width and eliminates the 2.5-foot buffer on either side of the sidewalk and accommodates the site constraints, provides additional open space throughout the project, and provides the 175-foot minimum intersection distance along Running Deer Way.

PROJECT CONTACTS

Planner & Landscape Architect:
NES Inc.
619 N. Cascade Ave., Suite 200
Colorado Springs, CO 80903

Civil Engineers:
Stantec
31 Tejon Street, Suite 500
Colorado Springs, CO 80903

SHEET INDEX

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Sheet 4 of 10:	Grading & Erosion Control Details
Sheet 5 of 10:	Grading & Erosion Control Details
Sheet 6 of 10:	Site Utilities Plan
Sheet 7 of 10:	Landscape Plan
Sheet 8 of 10:	Landscape Plan
Sheet 9 of 10:	Landscape Details
Sheet 10 of 10:	Zoning Map

Revise to Preliminary Grading Plan.
Remove sheets 4 and 5.

Add PCD File No. PUDSP-18-004

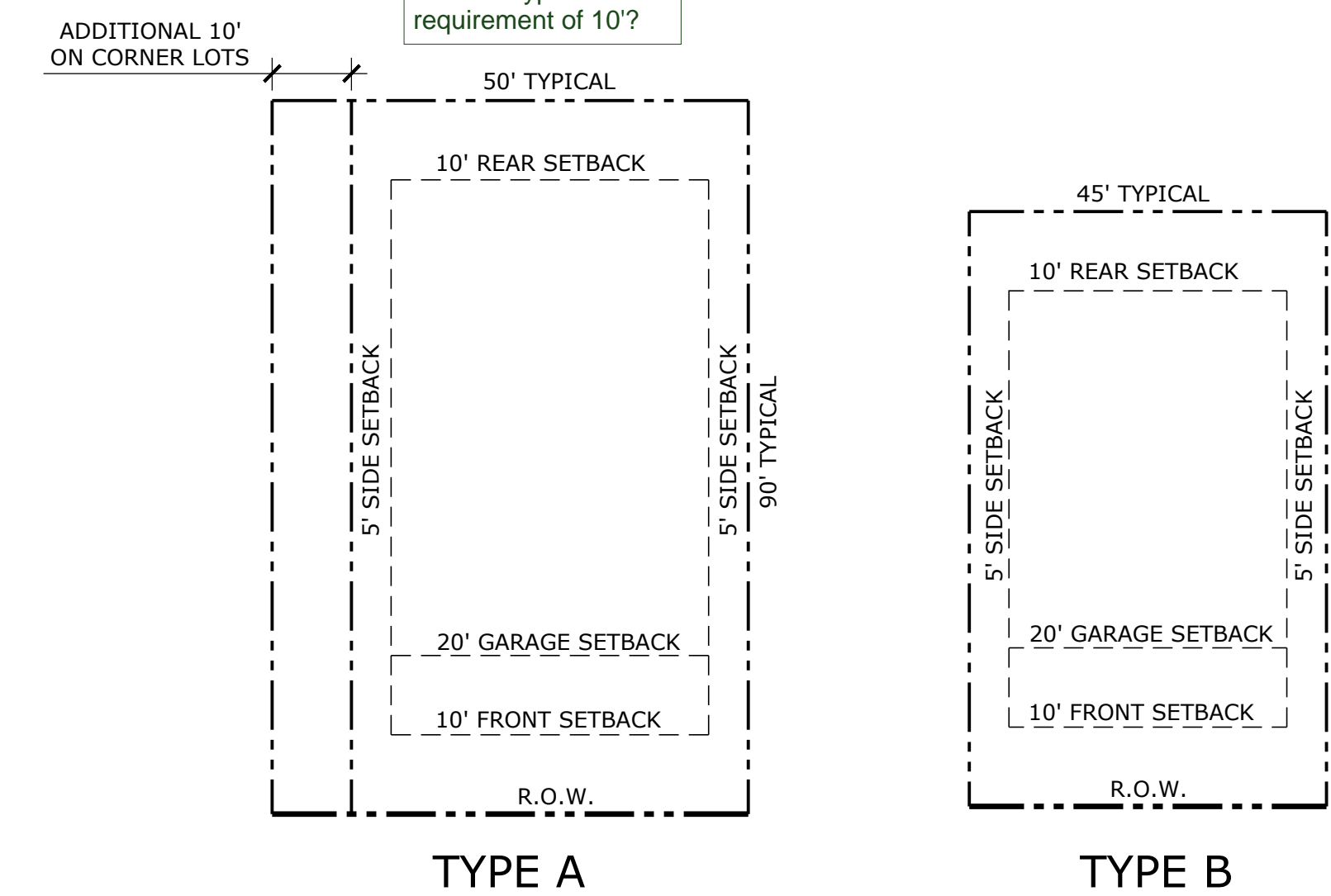
GENERAL PROVISIONS:

- A. Authority.** This PUD is authorized by Chapter 4 of the El Paso County Land Development Code, adopted pursuant to the Colorado Planned Unit Development Act of 1972, as amended.
- B. Applicability.** The provisions of this PUD shall run with the land. The landowners, their successors, heirs, or assigns shall be bound by this Development Plan, as amended and approved by the Planning and Community Development Director or Board of County Commissioners.
- C. Adoption.** The adoption of this development plan shall evidence the findings and decisions of the El Paso County Board of County Commissioners that this Development Plan for The Gardens at North Carefree is in general conformity with the El Paso County Master Plan, El Paso County Policy Plan and applicable Small Area Plan; is authorized under the provision of the El Paso County Land Development Code; and that the El Paso County Land Development Code and this development plan complies with the Colorado Planned Unit Development Act of 1972, as amended.
- D. Relationship to County Regulations.** The provisions of this Development Plan shall prevail and govern the development of The Gardens at North Carefree, provided, however, that where the provisions of this Development Plan do not address a particular subject, the relevant provisions of the El Paso County Land Development Code in effect at the time of the PUD plan approval (or owner acknowledge the PUD changes with the Code), or any other applicable resolutions or regulations of El Paso County, shall be applicable.
- E. Enforcement.** To further the mutual interest of the residents, occupants, and owners of the PUD and of the public in the preservation of the integrity of this development plan, the provisions of this plan relating to the use of land and the location of common open space shall run in favor of El Paso County and shall be enforceable at law or in equity by the County without limitation on any power or regulation otherwise granted by law.
- F. Conflict.** Where there is more than one provision within the development plan that covers the same subject matter, the provision which is most restrictive or imposes higher standards or requirements shall govern.
- G. Maximum Level of Development.** The total number of dwellings or the total commercial, business, or industrial intensity shown on the development plan for development within the specified planning areas is the maximum development requested for platting or construction (plus any approved density transfers). The actual number of dwellings or level of development may be less due to subdivision or Site Development Plan requirements, land carrying capacity, or other requirements of the Board of County Commissioners.
- H. Project Tracking.** At the time of any final plat application, the applicant shall provide a summary of the development, to date, to Planning and Community Development, in order to assure maximum development limits are not exceeded.
- I. Overall Project Standards.** The standard zoning requirements of El Paso County Land Development Code, as amended, including off-street parking, landscaping, site development, accessory and temporary uses, and use by special review and variance processes shall apply to this PUD, except as modified below.

DEVELOPMENT GUIDELINES:

- A. Project Description:** The Gardens at North Carefree is a planned residential community on 11.56 acres of land located Southeast of N. Carefree Circle and Akers Drive. The project is planned as a single family detached community with a main looping road and centralized open spaces.
- B. Permitted Uses:** Permitted uses within the The Gardens at North Carefree subdivision include single family detached dwelling units, open space, and trails. The use of any property within the subdivision as a Child Care Center, Family Care Home or Group Home shall be subject to the regulations of Chapter 5 of the El Paso County Land Development Code, as may be amended. Marijuana Clubs and Marijuana Grow Facilities are not permitted within this subdivision.
- C. Temporary Uses:** Temporary uses are limited to model home/subdivision sales office, yard sales, and seasonal produce sales, and are subject to the regulations of Chapter 5 of the El Paso County Land Development Code, as may be amended.
- D. Accessory Uses:** Accessory uses shall be subject to the regulations of Chapter 5 of the El Paso County Land Development Code, as may be amended. Accessory uses within this subdivision are limited to the following:
Animal keeping of up to 2 pets (excludes chicken, pigeon or bee keeping). Residential home occupation that does not require clients to visit the premises.
The LDC allows for residential home occupations in a limited manner with some customer visits.
- E. Accessory Structures:** Accessory structures are not permitted either within the lot or within the common open space owned & maintained by the Home Owner Association.
The LDC allows for up to 4 pets, chickens, bees, and pigeons. With this limitation you would require a PUD amendment for someone having one extra dog.
- F. Signs.** Signs shall be permitted to identify entryways to The Gardens at North Carefree community. The maximum size of the Community Entryway Sign shall be 100 square feet. Sign size shall be measured by drawing the smallest rectangle around the text of the sign. For double sided signs, only one sign face shall contribute to the maximum size.
Please identify the maximum height. The sign location should be shown on the PUDSP and well as the future plat.
- G. Development Standards.**
1. Maximum building height: thirty (30) feet.
2. Setback minimums:
Front: 10' Minimum (20' minimum from back of sidewalk to front of garage)
Side: 5' Minimum (15' for corner lots)
Rear: 10' Minimum
3. No projections into the tracts owned and maintained by The Gardens at North Carefree will be permitted.
Streets. Streets within The Gardens at North Carefree subdivision provide general vehicular circulation throughout the development. All Streets shall be paved unless otherwise indicated on the Development Plan. Sidewalks will be provided as illustrated on this plan.

LOT TYPICALS:



TRACT TABLE

TRACT	SIZE	USE	OWNERSHIP	MAINTENANCE
A	33,727SF	Open space, public access, public utilities, drainage, landscaping, signage	The Gardens at North Carefree Metropolitan District	The Gardens at North Carefree Metropolitan District
B	16,108 SF	Open space, public access, public utilities, drainage, landscaping	The Gardens at North Carefree Metropolitan District	The Gardens at North Carefree Metropolitan District
C	3,674 SF	Open space, public access, public utilities, landscaping	The Gardens at North Carefree Metropolitan District	The Gardens at North Carefree Metropolitan District
D	4,194 SF	Open space, public access, public utilities, drainage, landscaping	The Gardens at North Carefree Metropolitan District	The Gardens at North Carefree Metropolitan District
E	4,000 SF	Open space, public access, public utilities, landscaping	The Gardens at North Carefree Metropolitan District	The Gardens at North Carefree Metropolitan District
F	13,387 SF	Open space, public access, public utilities, landscaping, drainage, stormwater detention	The Gardens at North Carefree Metropolitan District	The Gardens at North Carefree Metropolitan District
G	11,115 SF	Private Road/Access		

County Certification
This rezoning request to PUD has been reviewed and found to be complete and in accordance with the _____ (date) approving the PUD and all applicable El Paso County regulations.

President, Board of County Commissioners date

Director, Planning & Community Development Department date

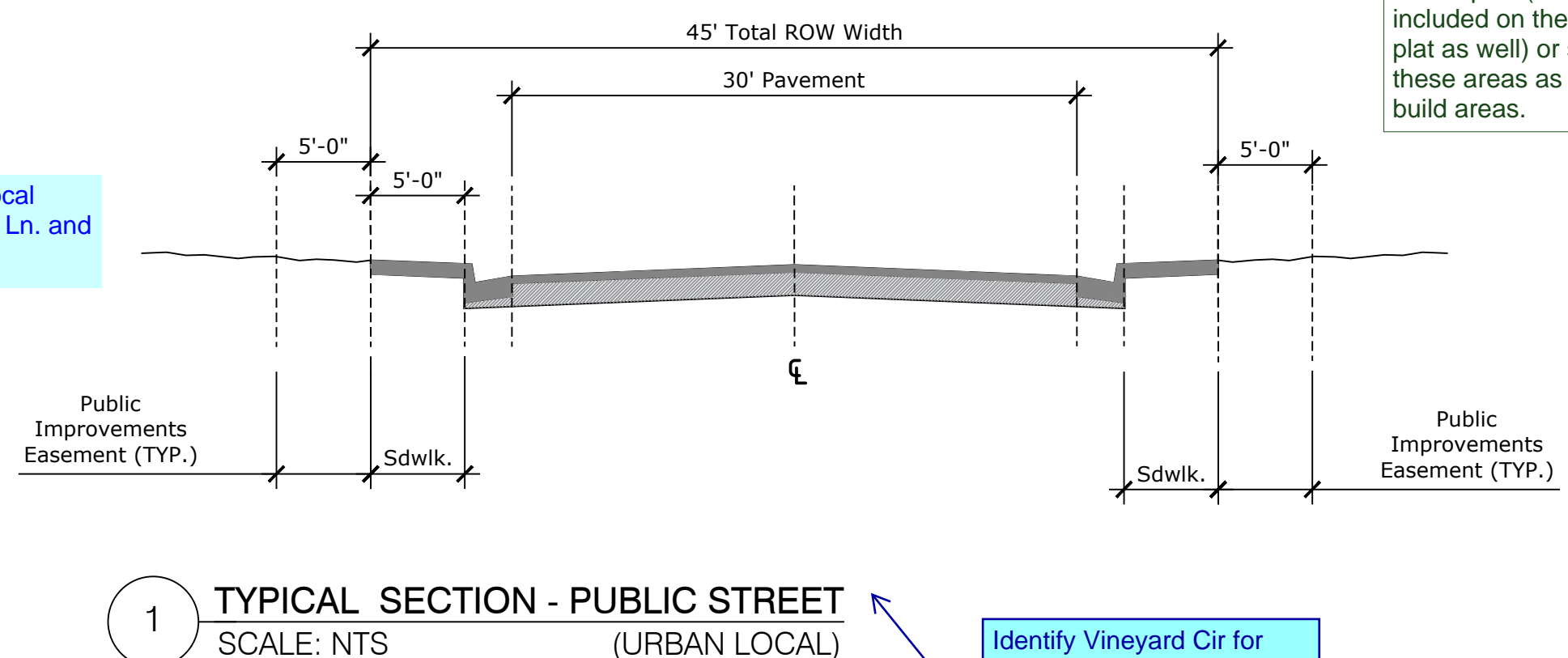
Clerk and Recorder Certification
State of Colorado)
El Paso County)
I hereby certify that this Plan was filed in my office on this _____ (day) of _____ (month), 20____ at _____ o'clock a.m./p.m. and was recorded per Reception No. _____.

El Paso County Clerk and Recorder

Mule Deer Investments LLC
Name of Landowner

Landowner's Signature, notarized
Ownership Certification
I/we _____ a (one of the following: qualified title insurance company, title company, title attorney, or attorney at law) duly qualified, insured, or licensed by the State of Colorado, do hereby certify that I/we have examined the title of all lands depicted and described herein and that title to such land is owner in fee simple by _____ at the time of this application.

Notarized signature
OR Name of Attorney and registration number



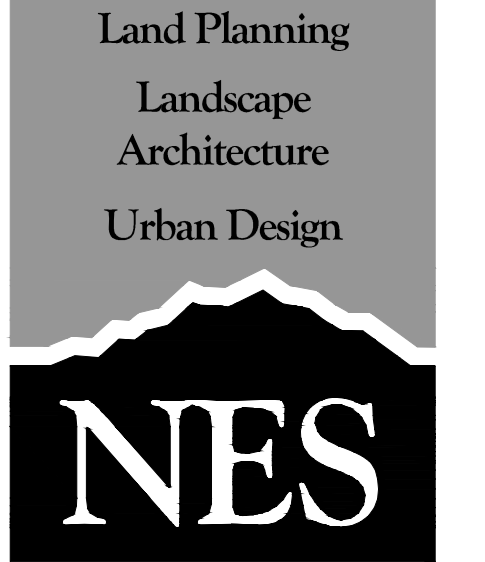
1 TYPICAL SECTION - PUBLIC STREET
SCALE: NTS
(URBAN LOCAL)

Some tracts are purely for detention and should not be shown as for open space as well.

The LDC requires 10% open space (50355). Please separate out the usable open space area.

Fill in ownership/maintenance. In the Mule Deer Business Park Fil 1 plat it noted the existing driveway as a common access easement. Did the Mule Deer subdivision define this as a shared maintenance responsibility between Lot's 1 & 2?

The soils report identified potential hazardous areas. Please either add a note identifying proposed mitigation techniques (to be included on the final plat as well) or show these areas as no build areas.



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com

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The Gardens at North Carefree

PUD DEVELOPMENT / PRELIMINARY PLAN

DATE: 08/09/2018
PROJECT MGR: A. Barlow
PREPARED BY: B. Swenson

SCALE

REVISION

DATE BY DESCRIPTION

REVISION

COVER

SHEET TITLE

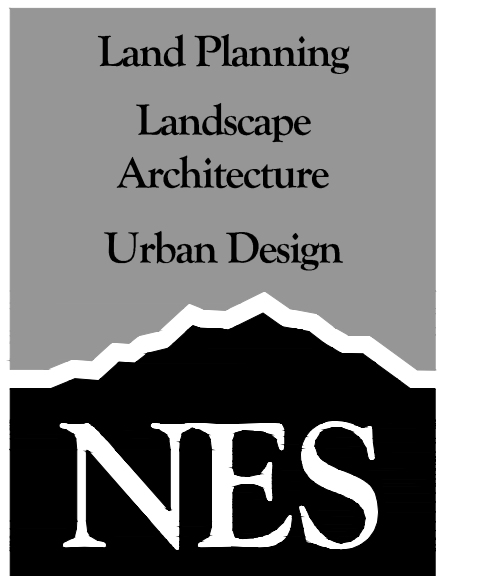
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SHEET NUMBER

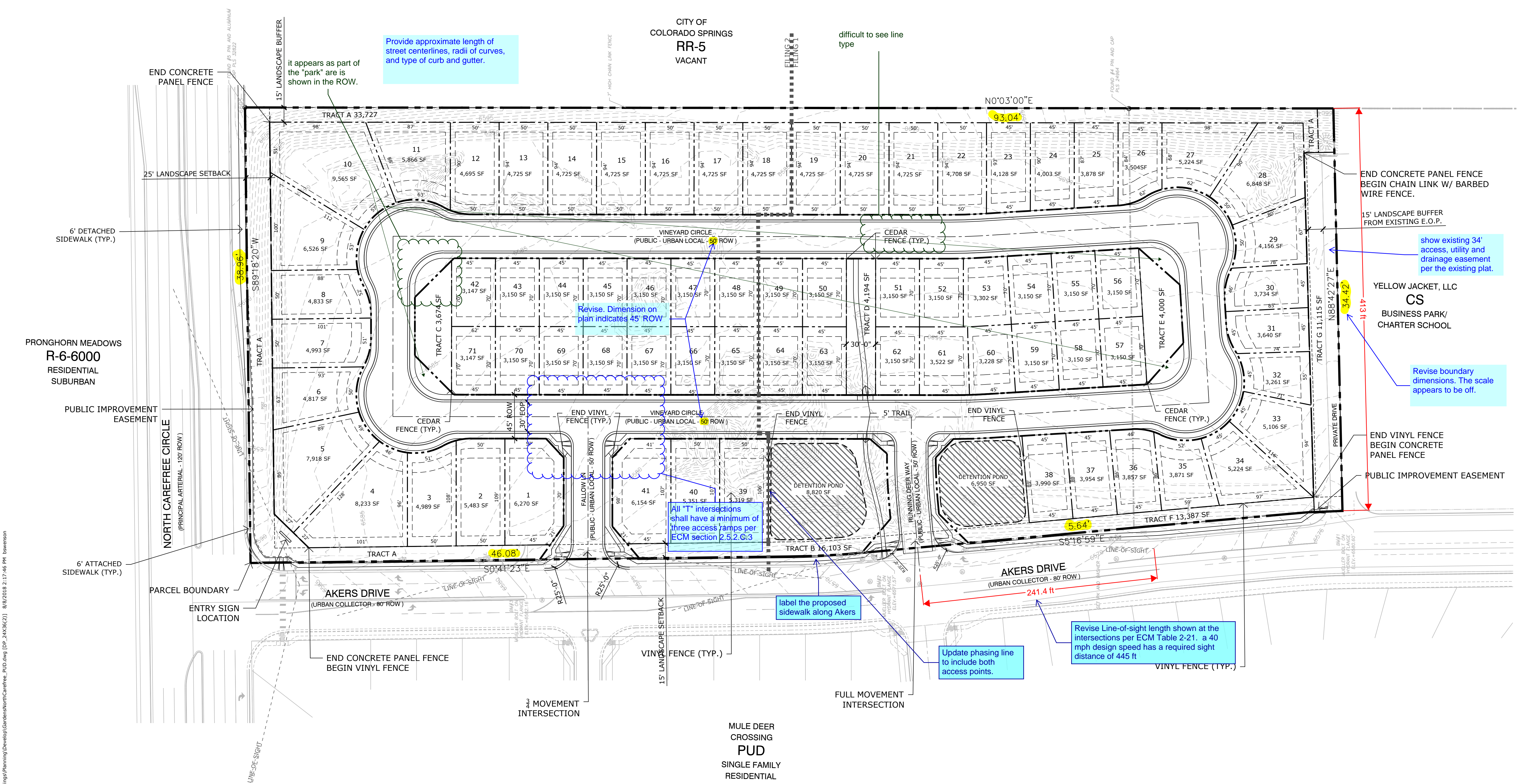
PLANTING

THE GARDENS AT NORTH CAREFREE

EL PASO COUNTY, COLORADO



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
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PHASING PLAN

PHASE 1 - Lots 19-38, 49-64 (36 Lots)
Tracts D, E, F, G, and a portion of tracts A and B
Detention Ponds
Running Deer Way access

PHASE 2 - Lots 1-18, 39-48, 65-71 (35 Lots)
Tracts C, and a portion of tracts A and B
Fallow Lane access

suggest adding a note that phasing is subject to changes in the market/demand. This allows for phasing to differ if needed.

The Gardens at North Carefree

PUD DEVELOPMENT/ PRELIMINARY PLAN

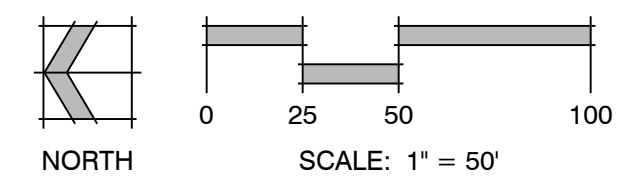
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PROJECT MGR: A. Barlow
PREPARED BY: B. Swenson

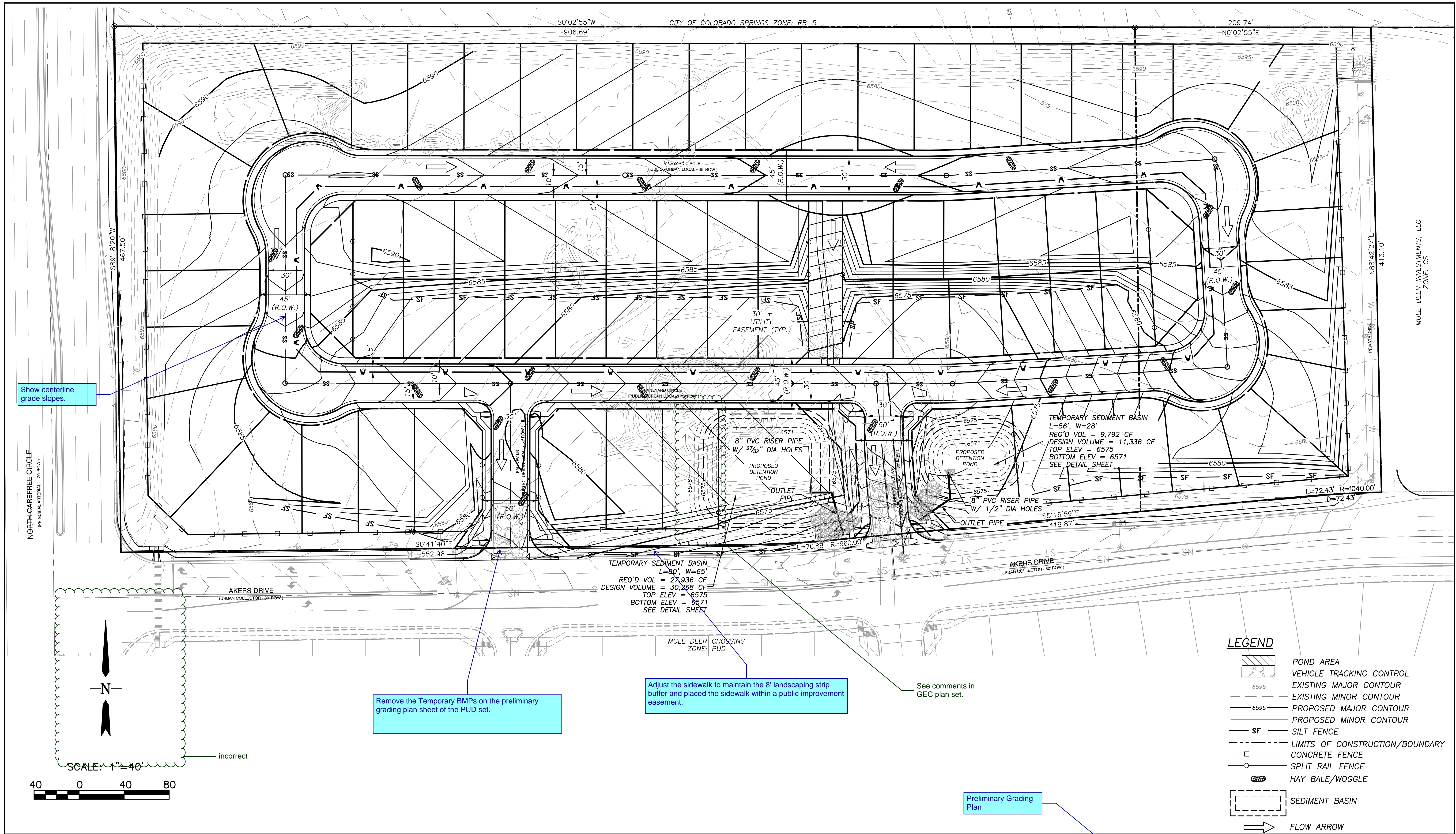
DATE	BY	DESCRIPTION

DEVELOPMENT PLAN

2

2 OF 10





2018/08/03 8:33 AM By: Durham, Charlene

Computer File Information	
Creation Date: 4-25-17	Initials: CMD
Last Modification Date: 8/3/2018	Initials: CDURHAM
Full Path & Drawing File Name:	03 - Grading Plan.dwg
Acad Ver. 2014	Scale: N/A Units: Feet

Index of Revisions			

EL PASO COUNTY COLORADO

Stantec

Stantec Consulting Inc.
1110 Elton Drive
Suite B
Colorado Springs, CO 80907
Tel. (719) 432-6889
Fax.
www.stantec.com

THE GARDENS AT NORTH CAREFREE GRADING PLAN

Designer: BG Structure Numbers

Detailer: PF

Sheet Subst: GENERAL

Project No./Code
187608744
Sheet Number 3 of 10

**STANDARD NOTES FOR EL PASO COUNTY
GRADING AND EROSION CONTROL PLANS**

REVISED 7/07/10

- CONSTRUCTION MAY NOT COMMENCE UNTIL A CONSTRUCTION PERMIT IS OBTAINED FROM DEVELOPMENT SERVICES AND A PRECONSTRUCTION CONF.
- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED STORMWATER MANAGER, SHALL BE LOCATED ON SITE AT ALL TIMES AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMPs AS INDICATED ON THE PLAN. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY DSD INSPECTIONS STAFF.
- SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER FINAL GRADING, OR FINAL EARTH DISTURBANCE, HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMPs SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED.
- TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO STANDARDS AND SPECIFICATION PRESCRIBED IN THE DCM VOLUME II AND THE ENGINEERING CRITERIA MANUAL (ECM) APPENDIX I.
- ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMPs IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME II AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN (SWMP).
- ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMPs AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS, SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS, THE SWMP AND THE DCM VOLUME II AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION.
- ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- EROSION CONTROL BLANKETING IS TO BE USED ON SLOPES STEEPER THAN 3:1.
- BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMP'S MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCHLINE.
- INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO ACTUAL CONSTRUCTION THE PERMITEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY KUMAR AND ASSOCIATES AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:
COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WQCD - PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT

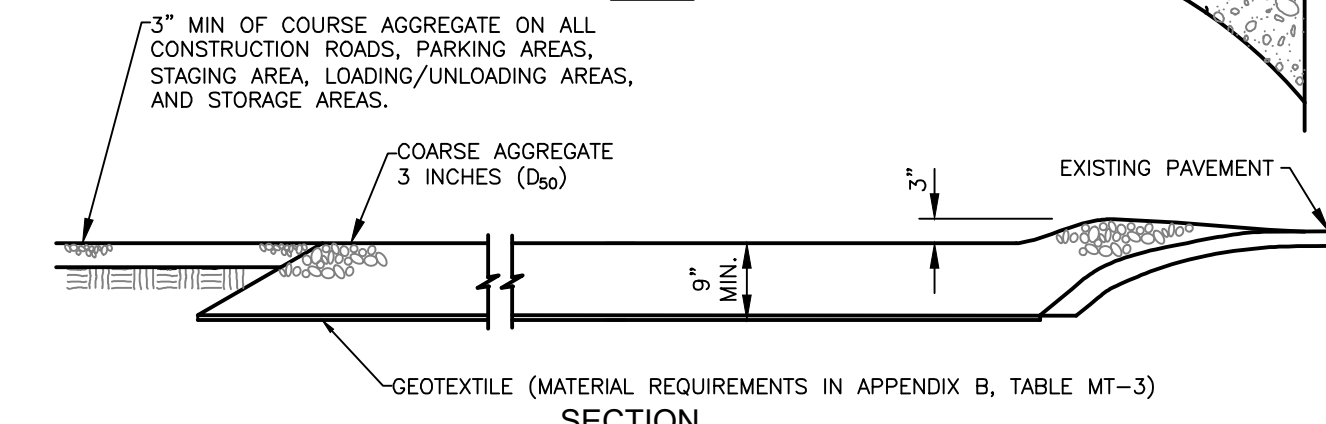
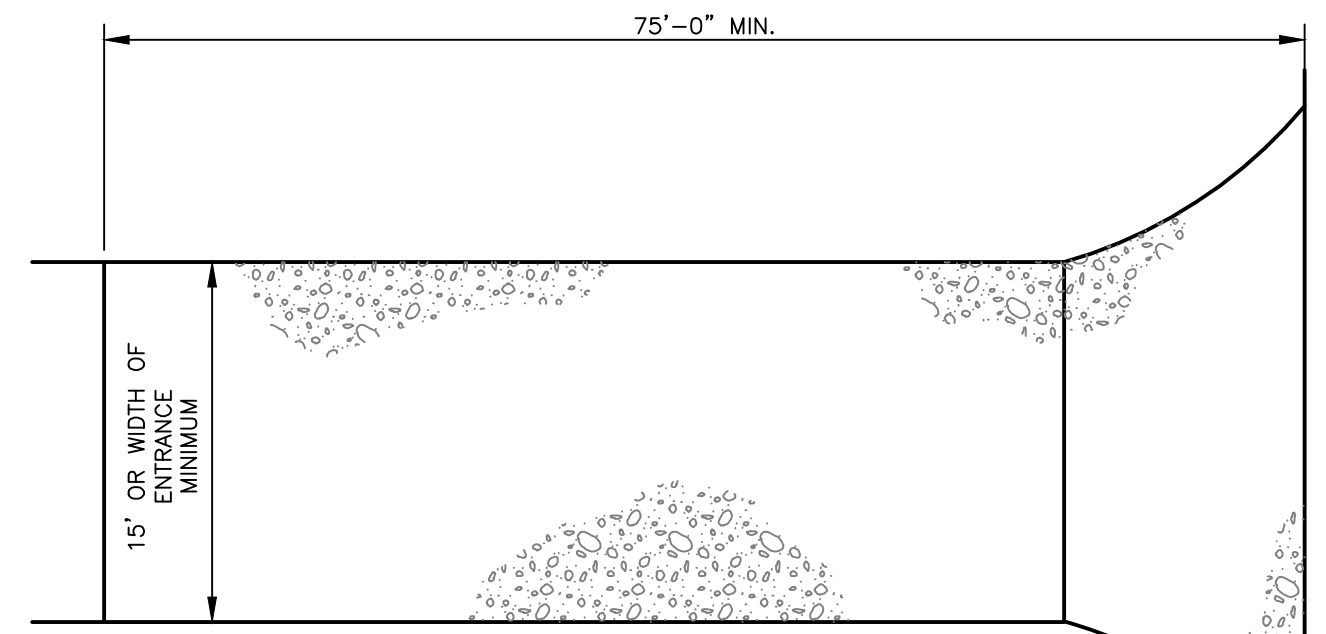
SILT FENCE NOTES:

INSTALLATION REQUIREMENTS

- SILT FENCES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- WHEN JOINTS ARE NECESSARY, SILT FENCE GEOTEXTILE SHALL BE SPLICED TOGETHER ONLY AT SUPPORT POST AND SECURELY SEALED.
- METAL POSTS SHALL BE "STUDDED TEE" OR "U" TYPE WITH MINIMUM WEIGHT OF 1.33 POUNDS PER LINEAR FOOT. WOOD POSTS SHALL HAVE A MINIMUM DIAMETER OR CROSS SECTION DIMENSION OF 2 INCHES.
- THE FILTER MATERIAL SHALL BE FASTENED SECURELY TO METAL OR WOOD POSTS USING WIRE TIES, OR TO WOOD POSTS WITH 3/4" LONG #9 HEAVY-DUTY STAPLES. THE SILT FENCE GEOTEXTILE SHALL NOT BE STAPLED TO EXISTING TREES.
- WHILE NOT REQUIRED, WIRE MESH FENCE MAY BE USED TO SUPPORT THE GEOTEXTILE. WIRE FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE TRENCH USING HEAVY-DUTY WIRE STAPLES AT LEAST 3/4" LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 6" AND SHALL NOT EXTEND MORE THAN 3" ABOVE THE ORIGINAL GROUND SURFACE.
- ALONG THE TOE OF FILLS, INSTALL THE SILT FENCE ALONG A LEVEL CONTOUR AND PROVIDE AN AREA BEHIND THE FENCE FOR RUNOFF TO POND AND SEDIMENT TO SETTLE. A MINIMUM DISTANCE OF 5 FEET FROM THE TOE OF THE FILL IS RECOMMENDED.
- THE HEIGHT OF THE SILT FENCE FROM THE GROUND SURFACE SHALL BE MINIMUM OF 24 INCHES AND SHALL NOT EXCEED 36 INCHES; HIGHER FENCES MAY INPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE.

MAINTENANCE REQUIREMENTS

- CONTRACTOR SHALL INSPECT SILT FENCES IMMEDIATELY AFTER EACH RAINFALL, AT LEAST DAILY DURING PROLONGED RAINFALL, AND WEEKLY DURING PERIODS OF NO RAINFALL. DAMAGED, COLLAPSED, UNENTRENCHED OR INEFFECTIVE SILT FENCES SHALL BE PROMPTLY REPAIRED OR REPLACED.
- SEDIMENT SHALL BE REMOVED FROM BEHIND SILT FENCE WHEN IT ACCUMULATES TO HALF THE EXPOSED GEOTEXTILE HEIGHT.
- SILT FENCES SHALL BE REMOVED WHEN ADEQUATE VEGETATIVE COVER IS ATTAINED AS APPROVED BY THE CITY.



VEHICLE TRACKING
NTS

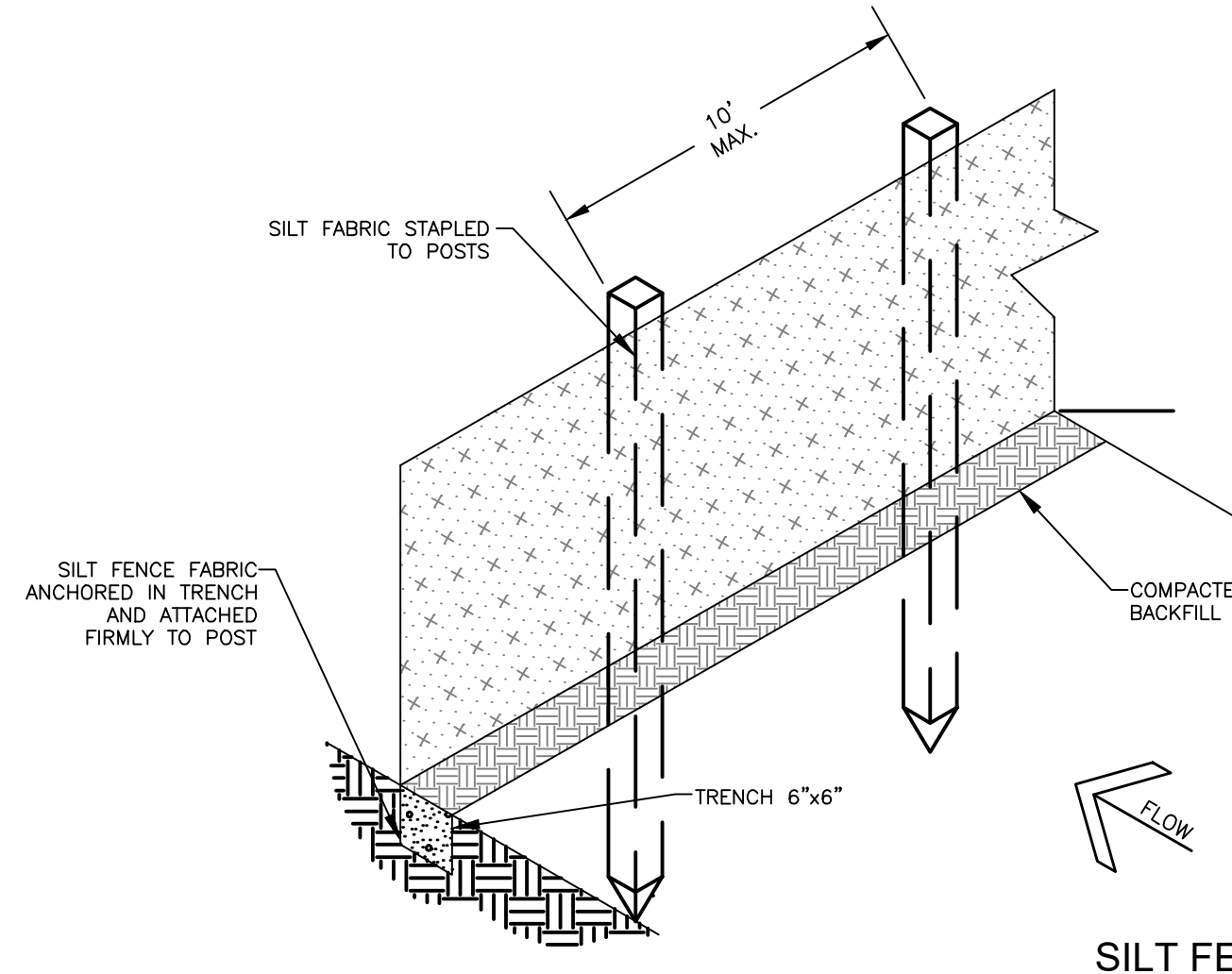
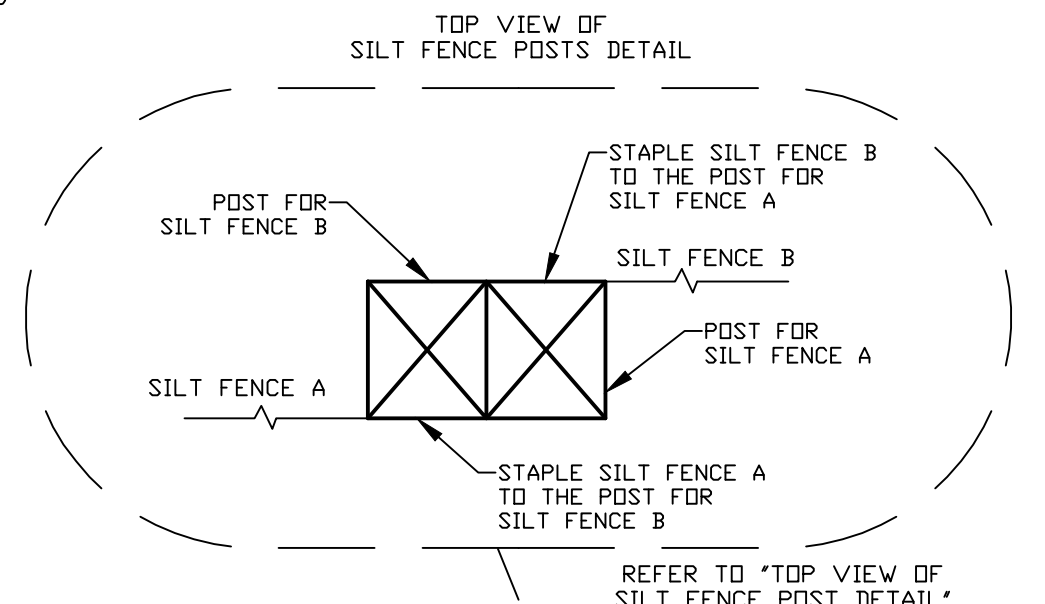
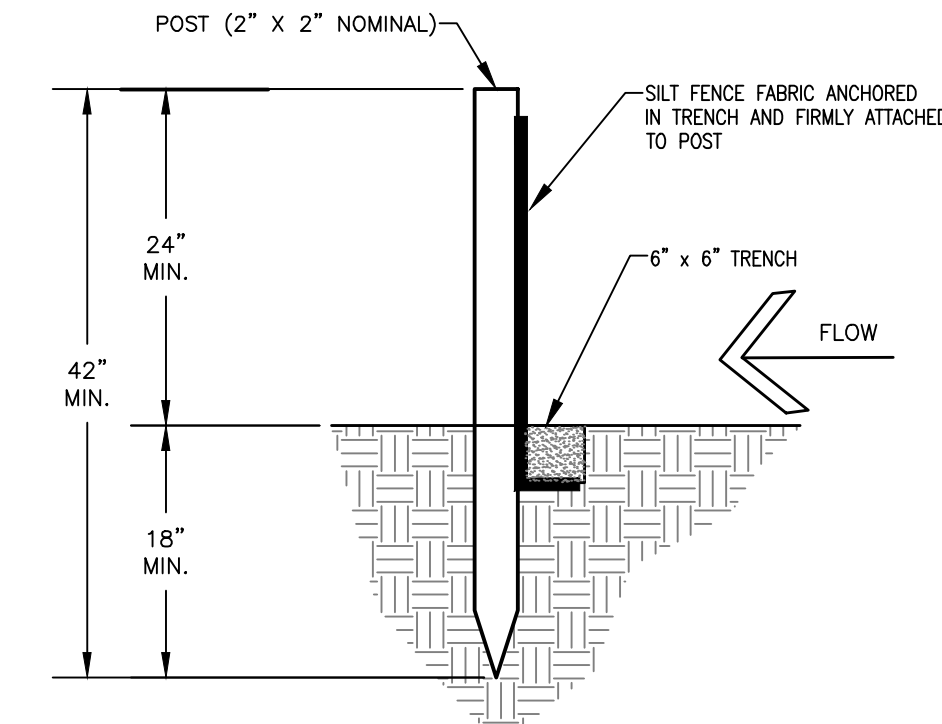
VEHICLE TRACKING NOTES

INSTALLATION REQUIREMENTS

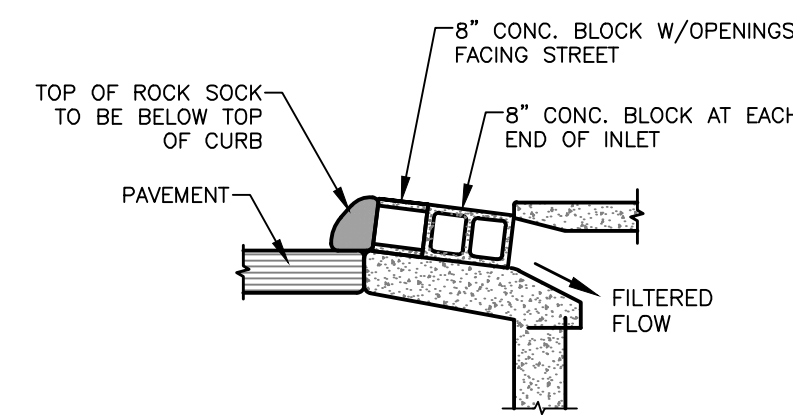
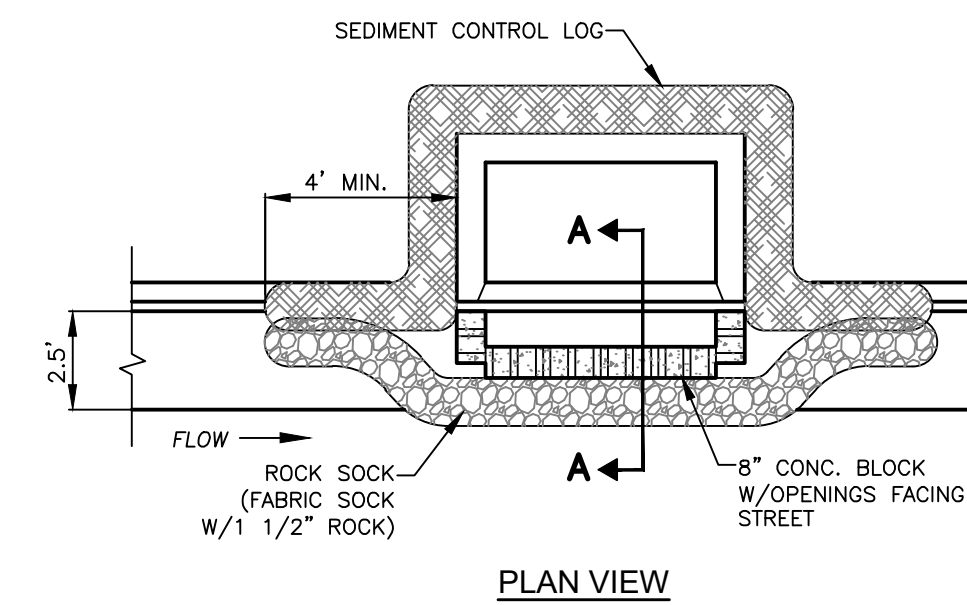
- ALL ENTRANCES TO THE CONSTRUCTION SITE ARE TO BE STABILIZED PRIOR TO CONSTRUCTION BEGINNING.
- CONSTRUCTION ENTRANCES ARE TO BE BUILT WITH AN APRON TO ALLOW FOR TURNING TRAFFIC, BUT SHOULD NOT BE BUILT OVER EXISTING PAVEMENT EXCEPT FOR A SLIGHT OVERLAP.
- AREAS TO BE STABILIZED ARE TO BE PROPERLY GRADED AND COMPACTED PRIOR TO LAYING DOWN GEOTEXTILE AND STONE.
- CONSTRUCTION ROADS, PARKING AREAS, LOADING/UNLOADING ZONES, STORAGE AREAS AND STAGING AREAS ARE TO BE STABILIZED.
- CONSTRUCTION ROADS ARE TO BE BUILT TO CONFORM TO SITE GRADES, BUT SHOULD NOT HAVE SIDE SLOPES OR ROAD GRADES THAT ARE EXCESSIVELY STEEP.

MAINTENANCE REQUIREMENTS

- REGULAR INSPECTIONS ARE TO BE MADE OF ALL STABILIZED AREAS, ESPECIALLY AFTER STORM EVENTS.
- STONES ARE TO BE REAPPLIED PERIODICALLY AND WHEN REPAIR IS NECESSARY.
- SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED DAILY BY SHOVELING OR SWEEPING. SEDIMENT IS NOT TO BE WASHED DOWN STORM SEWER DRAINS.
- STORM SEWER INLET PROTECTION IS TO BE IN PLACE, INSPECTED, AND CLEANED IF NECESSARY.
- OTHER ASSOCIATED SEDIMENT CONTROL MEASURES ARE TO BE INSPECTED TO ENSURE GOOD WORKING CONDITION.



SILT FENCE



**TYPE R INLET
INLET PROTECTION**

Remove this sheet from the PUD plan set. This is included in the standalone Grading and Erosion Control plan set.

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THE GARDENS AT NORTH CAREFREE GRADING & EROSION CONTROL DETAILS			Project No./Code
			187608744
Designer: BG	Structure Numbers		
Detailer: PF			
Sheet Subset: GENERAL			Sheet Number 4 of 10

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE EROSION CONTROL PLAN.

OWNER/REPRESENTATIVE

DATE

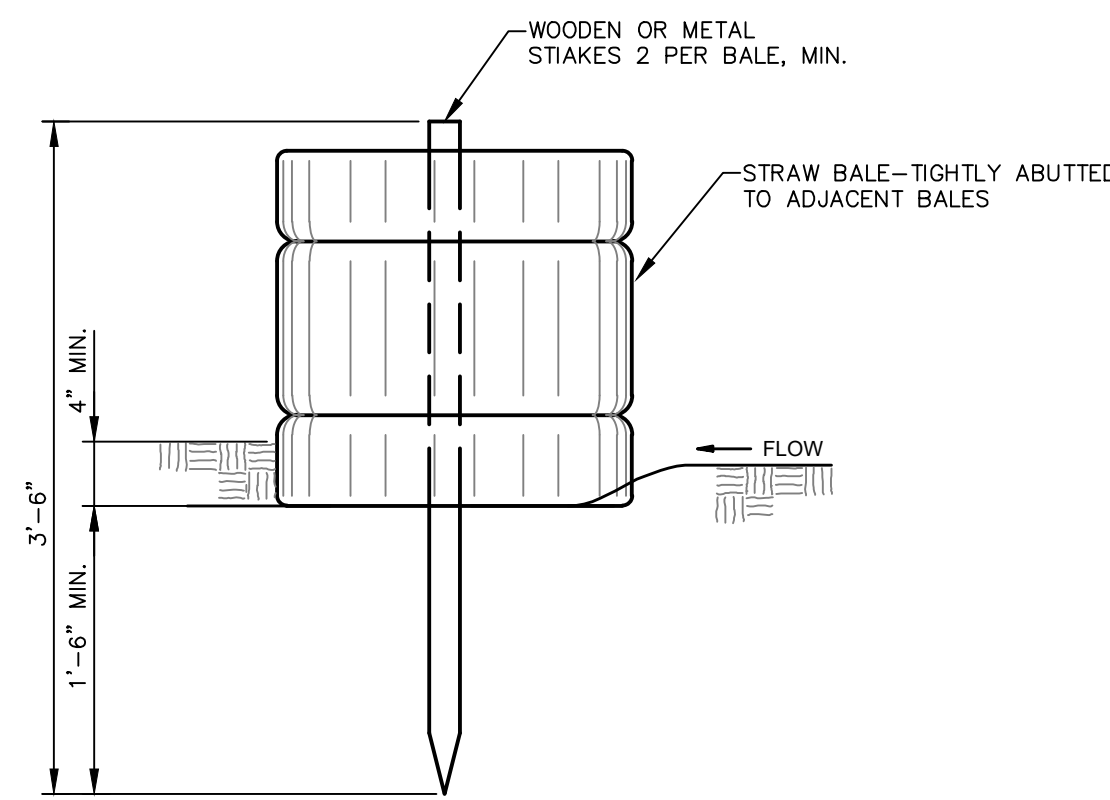
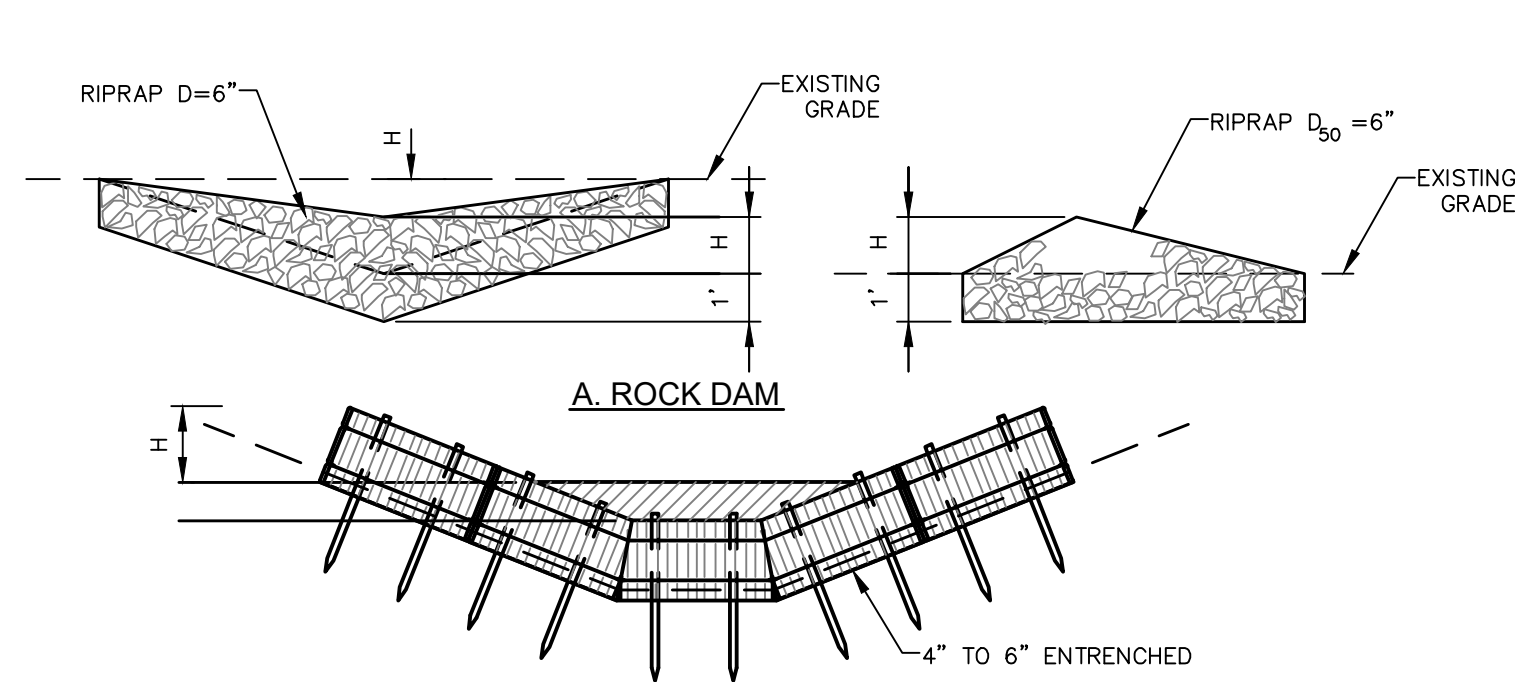
COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

JENNIFER IRVINE, P.E.

COUNTY ENGINEER/ECM ADMINISTRATOR

DATE

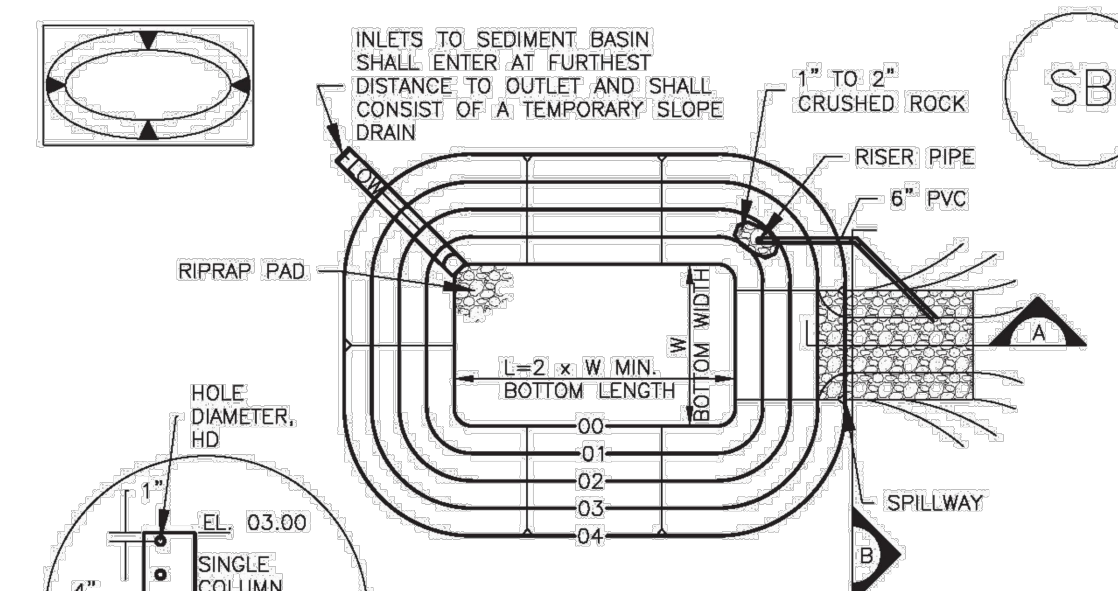


STRAW BALE

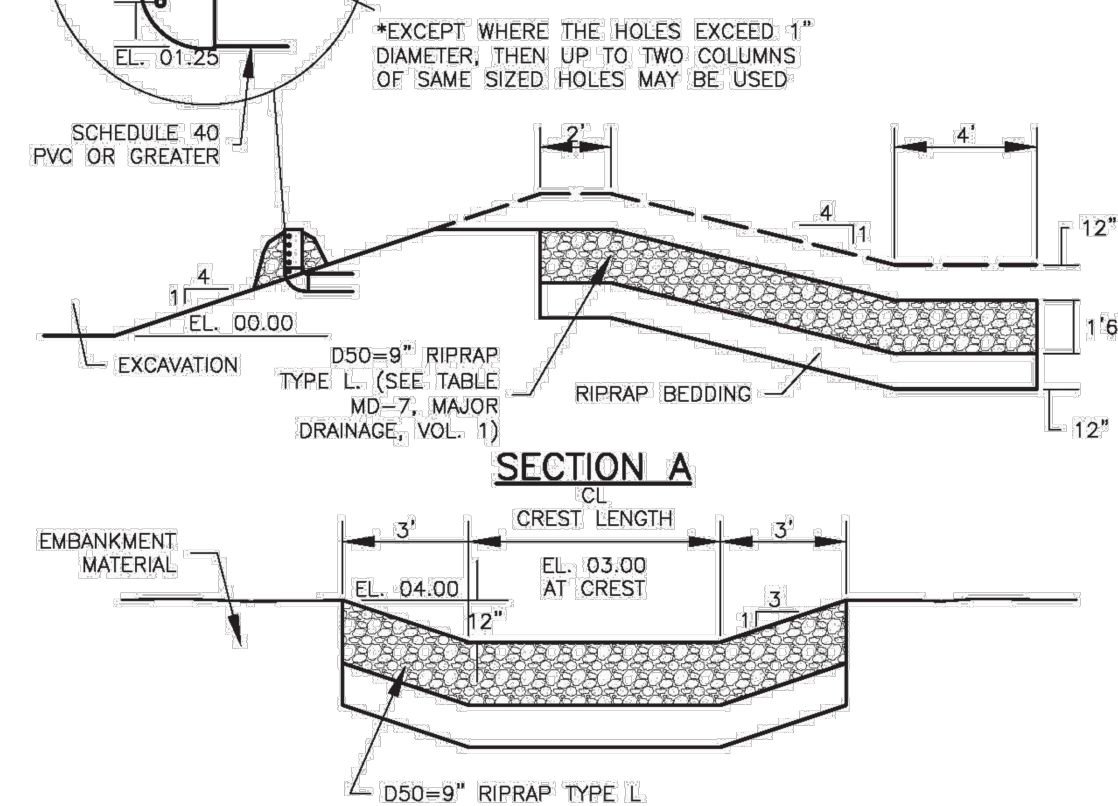
STRAW BALE BARRIER NOTES

MAINTENANCE REQUIREMENTS

- STRAW BALE BARRIERS SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- BALES SHALL CONSIST OF APPROXIMATELY 5 CUBIC FEET OF CERTIFIED WEED FREE HAY OR STRAW AND WEIGH NOT LESS THAN 35 POUNDS.
- BALES ARE TO BE PLACED IN A SINGLE ROW WITH THE END OF THE BALES TIGHTLY ABUTTING ONE ANOTHER.
- EACH BALE IS TO BE SECURELY ANCHORED WITH AT LEAST TWO STAKES AND THE FIRST STAKE IS TO BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE TO FORCE THE BALES TOGETHER.
- STAKES ARE TO BE A MINIMUM OF 42 INCHES LONG. METAL STAKES SHALL BE STANDARD "T" OR "U" TYPE WITH MINIMUM WEIGHT OF 1.33 POUNDS PER LINEAR FOOT. WOOD STAKES SHALL HAVE A MINIMUM DIAMETER OR CROSS SECTION DIMENSION OF 2 INCHES.
- BALES ARE TO BE BOUND WITH EITHER WIRE OR STRING AND ORIENTED SUCH THAT THE BINDINGS ARE AROUND THE SIDES AND NOT ALONG THE TOPS AND BOTTOMS OF THE BALE.
- GAPS BETWEEN BALES ARE TO BE CHINKED (FILLED BY WEDGING) WITH STRAW OR THE SAME MATERIAL OF THE BALE.
- END BALES ARE TO EXTEND UPSLOPE SO THE TRAPPED RUNOFF CANNOT FLOW AROUND THE ENDS OF THE BARRIER.



SEDIMENT BASIN PLAN



SEDIMENT BASIN

SEDIMENT BASIN NOTES

Upstream Drainage Area (rounded to nearest acre), (ac)	Basin Bottom Width (W), (ft)	Spillway Crest Length (CL), (ft)	Hole Diameter (HD), (in)
1	12 1/2	2	3/4
2	21	3	1 1/8
3	28	5	1 1/2
4	33 1/2	6	1 5/8
5	38 1/2	8	1 3/4
6	43	9	1 7/8
7	47 1/2	11	1 7/8
8	51	12	1 7/8
9	55	13	1 7/8
10	58 1/2	15	1 7/8
11	61	16	1 7/8
12	64	18	1 7/8
13	67 1/2	19	1 7/8
14	70 1/2	21	1 7/8
15	73 1/2	22	1 7/8

SEDIMENT BASIN INSTALLATION NOTES

- SEE PLAN VIEW FOR:
 - LOCATION OF SEDIMENT BASIN.
 - TYPE OF BASIN (STANDARD BASIN OR NONSTANDARD BASIN).
 - FOR STANDARD BASIN, BOTTOM WIDTH W, CREST LENGTH CL, AND HOLE DIAMETER, HD.
 - FOR NONSTANDARD BASIN, SEE CONSTRUCTION DRAWINGS FOR DESIGN OF BASIN INCLUDING RISER HEIGHT H, NUMBER OF COLUMNS N, HOLE DIAMETER HD AND PIPE DIAMETER D.
- FOR STANDARD BASIN, BOTTOM DIMENSION MAY BE MODIFIED AS LONG AS BOTTOM AREA IS NOT REDUCED.
- SEDIMENT BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER LAND-DISTURBING ACTIVITY THAT RELIES ON ON BASINS AS A STORMWATER CONTROL.
- EMBANKMENT MATERIAL SHALL CONSIST OF SOIL FREE OF DEBRIS, ORGANIC MATERIAL, AND ROCKS OR CONCRETE GREATER THAN 3 INCHES AND SHALL HAVE A MINIMUM OF 15 PERCENT BY WEIGHT PASSING THE NO. 200 SIEVE.
- EMBANKMENT MATERIAL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D698.
- PIPE SCH 40 OR GREATER SHALL BE USED.
- THE DETAILS SHOWN ON THESE SHEETS PERTAIN TO STANDARD SEDIMENT BASIN(S) FOR DRAINAGE AREAS LESS THAN 15 ACRES. SEE CONSTRUCTION DRAWINGS FOR EMBANKMENT, STORAGE VOLUME, SPILLWAY, OUTLET, AND OUTLET PROTECTION DETAILS FOR ANY SEDIMENT BASIN(S) THAT HAVE BEEN INDIVIDUALLY DESIGNED FOR DRAINAGE AREAS LARGER THAN 15 ACRES.

SEDIMENT BASIN MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - SEDIMENT ACCUMULATED IN BASIN SHALL BE REMOVED AS NEEDED TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN SEDIMENT DEPTH REACHES ONE FOOT (I.E., TWO FEET BELOW THE SPILLWAY CREST).
 - SEDIMENT BASINS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND GRASS COVER IS ACCEPTED BY THE LOCAL JURISDICTION.
 - WHEN SEDIMENT BASINS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.
- (DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO)
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UIDFCO STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

Remove this sheet from the PUD plan set. This is included in the standalone Grading and Erosion Control plan set.

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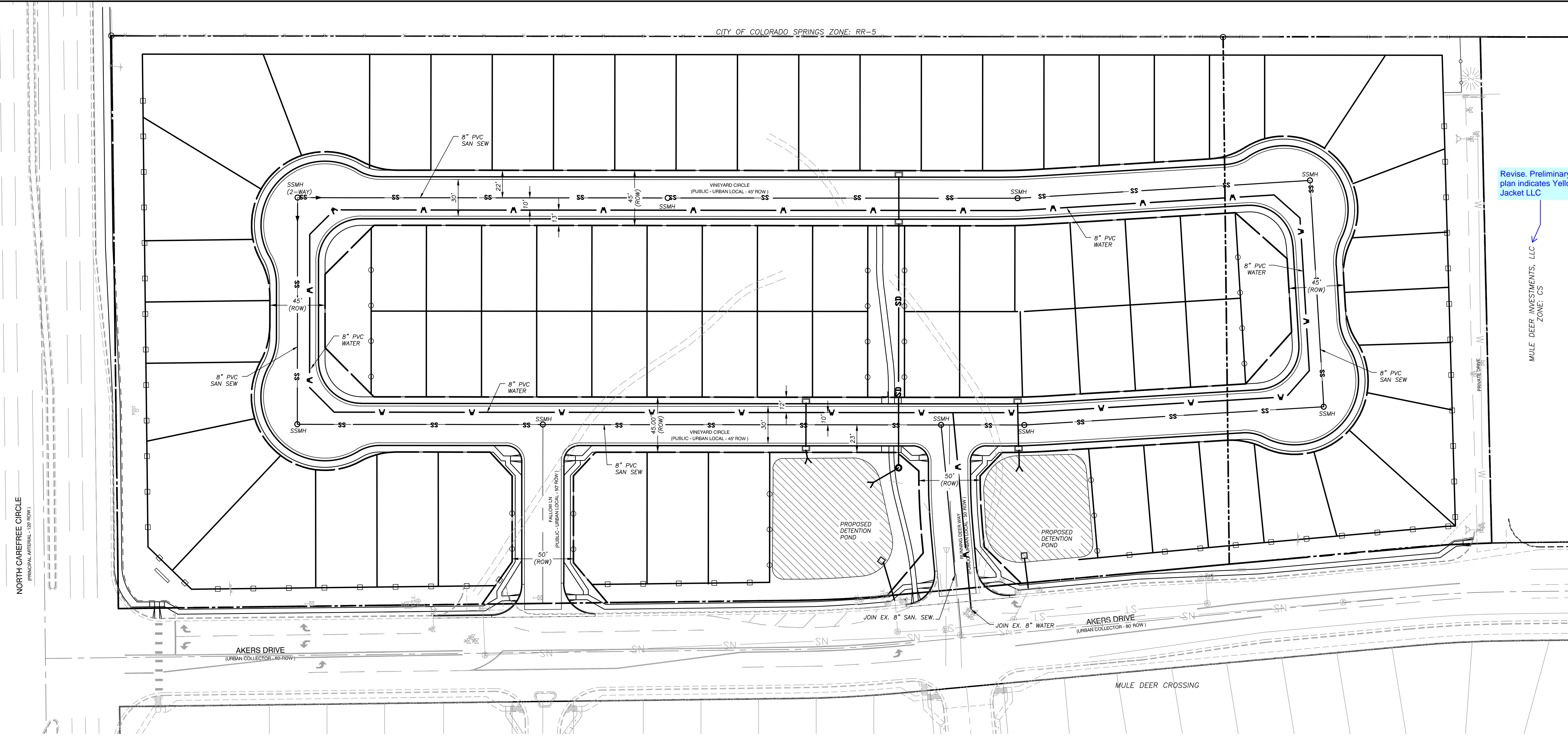
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Revise. Preliminary plan indicates Yellow Jacket LLC

MULE DEER INVESTMENTS, LLC
ZONE: CS

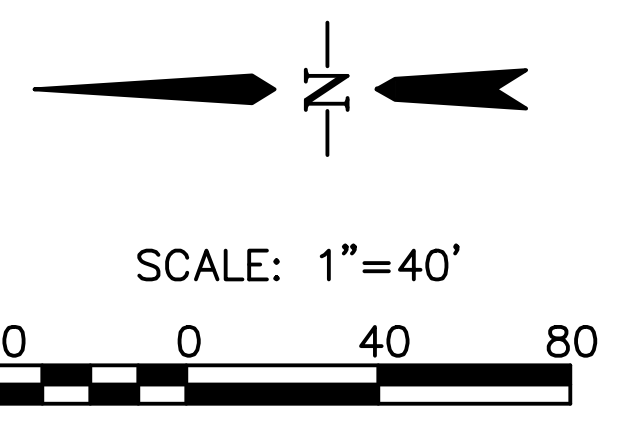


NORTH CAREFREE CIRCLE
(PRINCIPAL ARTERIAL - 120' ROW)

AKERS DRIVE
(URBAN COLLECTOR - 80' ROW)

VINEYARD CIRCLE
(PUBLIC-URBAN LOCAL - 45' ROW)

AKERS DRIVE
(URBAN COLLECTOR - 80' ROW)



LEGEND

EX WATER	---	W
EX SAN SEWER	---	SN
EX GAS	---	G
PR WATER LINE	---	W
PR SANITARY SEWER	---	SS

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