



**Planning and Community
Development Department**
2880 International Circle
Colorado Springs, Colorado 80910
 Phone: 719.520.6300
 Fax: 719.520.6695
 Website www.elpasoco.com

**DEVIATION REQUEST
AND DECISION FORM**

Updated: 6/26/2019

PROJECT INFORMATION

Project Name : Prairie Heights Elementary School Expansion
 Schedule No.(s) : 5728004015
 Legal Description : LOT 110 MIDWAY RANCHES FIL NO 7 TOG WITH THAT POR OF VACATED INDIAN VILLAGE HEIGHTS

APPLICANT INFORMATION

Company : Kiowa Engineering
 Name : Matthew Erichsen
 Owner Consultant Contractor
 Mailing Address : 7222 Commerce Center Suite 260, CS, CO 80919

 Phone Number : 303-835-7421
 FAX Number :
 Email Address : merichsen@kiowaengineering.com

ENGINEER INFORMATION

Company : Kiowa Engineering
 Name : Matthew Erichsen Colorado P.E. Number : 33365
 Mailing Address : 7222 Commerce Center Suite 260, CS, CO 80919

 Phone Number : 303-835-7421
 FAX Number :
 Email Address : merichsen@kiowaengineering.com

OWNER, APPLICANT, AND ENGINEER DECLARATION

To the best of my knowledge, the information on this application and all additional or supplemental documentation is true, factual and complete. I am fully aware that any misrepresentation of any information on this application may be grounds for denial. I have familiarized myself with the rules, regulations and procedures with respect to preparing and filing this application. I also understand that an incorrect submittal will be cause to have the project removed from the agenda of the Planning Commission, Board of County Commissioners and/or Board of Adjustment or delay review until corrections are made, and that any approval of this application is based on the representations made in the application and may be revoked on any breach of representation or condition(s) of approval.


 Signature of owner (or authorized representative) _____ Date 5/19/26

Engineer's Seal, Signature
And Date of Signature



DEVIATION REQUEST (Attach diagrams, figures, and other documentation to clarify request)

A deviation from the standards of or in Section **Chapter 2, Paragraph 2.4.1** of the Engineering Criteria Manual (ECM) is requested.

Identify the specific ECM standard which a deviation is requested:

Engineering Criteria Manual chapter 2, paragraph 2.4.1. Access Design Criteria, E. Access Width., 3. Two-Way Commercial or Industrial Access Points, For Nonresidential Collector Roadways: A maximum 40-foot access width.

State the reason for the requested deviation:

We are requesting a 71' wide driveway (118' measured at the end of the PCR's at the edge of the road.) The property frontage is too narrow (119.55') for two separate driveways. Additional width is required for the layout including the bus turning radii and raised median.

Explain the proposed alternative and compare to the ECM standards (May provide applicable regional or national standards used as basis):

A raised median is provided to separate the in and the out direction with signage indicating "DO NOT ENTER" and "KEEP RIGHT" in accordance with MUTCD.

Alternative configurations were considered, including use of neighboring driveways. However, that option would require obtaining easements from adjacent properties, which is not practical. Specifically, an easement from the adjacent fire department property could conflict with emergency vehicle operations and create safety concerns.

LIMITS OF CONSIDERATION

(At least one of the conditions listed below must be met for this deviation request to be considered.)

- The ECM standard is inapplicable to the particular situation.
- Topography, right-of-way, or other geographical conditions or impediments impose an undue hardship and an equivalent alternative that can accomplish the same design objective is available and does not compromise public safety or accessibility.
- A change to a standard is required to address a specific design or construction problem, and if not modified, the standard will impose an undue hardship on the applicant with little or no material benefit to the public.

Provide justification:

The project site has limited frontage along Indian Village Heights of approximately 119.55 feet. This frontage is insufficient to provide two separate driveways while maintaining required spacing, turning radii for school buses, and safe internal circulation. The proposed wider combined access with a raised median provides a functional equivalent to separate ingress/egress movements while fitting within the constrained site geometry. The design maintains clear channelization and does not compromise emergency access or pedestrian safety.

CRITERIA FOR APPROVAL

Per ECM section 5.8.7 the request for a deviation may be considered if the request is **not based exclusively on financial considerations**. The deviation must not be detrimental to public safety or surrounding property. The applicant must include supporting information demonstrating compliance with **all of the following criteria**:

The deviation will achieve the intended result with a comparable or superior design and quality of improvement.

The proposed 71-foot access (flared to 118 feet at the PCR) with raised median and MUTCD-compliant signage provides clear separation of inbound and outbound traffic, equivalent to (or better than) two separate narrower accesses. It safely accommodates school bus turning movements and internal site circulation while fitting the narrow frontage.

The deviation will not adversely affect safety or operations.

A raised median physically separates entering and exiting traffic. "DO NOT ENTER" and "KEEP RIGHT" signage (per MUTCD) prevents wrong-way movements. The design supports low-volume bus traffic with minimal conflict points. Sight distance and turning radii are maintained or improved.

The deviation will not adversely affect maintenance and its associated cost.

The raised median and access pavement will be maintained by the property owner (Hanover School District 28). No additional maintenance burden is placed on the County. Materials and construction meet or exceed standard ECM requirements.

The deviation will not adversely affect aesthetic appearance.

The raised median can be landscaped consistent with the overall site landscaping plan to enhance appearance. The median is currently designed to be concrete pavement. The overall access design integrates with the school site improvements and surrounding context.

The deviation meets the design intent and purpose of the ECM standards.

The intent of the access width standard is to provide safe and efficient access. The proposed design achieves this through channelization, signage, and median separation while addressing site-specific constraints.

The deviation meets the control measure requirements of Part I.E.3 and Part I.E.4 of the County's MS4 permit, as applicable.

Yes — stormwater controls (e.g., curb inlets, grading) are incorporated into the site plan and will not be impacted by the access design.

REVIEW AND RECOMMENDATION:

Approved by the ECM Administrator

This request has been determined to have met the criteria for approval. A deviation from Section _____ of the ECM is hereby granted based on the justification provided.

Γ

Γ

L

J

Denied by the ECM Administrator

This request has been determined not to have met criteria for approval. A deviation from Section _____ of the ECM is hereby denied.

Γ

Γ

L

J

ECM ADMINISTRATOR COMMENTS/CONDITIONS:

1.1. PURPOSE

The purpose of this resource is to provide a form for documenting the findings and decision by the ECM Administrator concerning a deviation request. The form is used to document the review and decision concerning a requested deviation. The request and decision concerning each deviation from a specific section of the ECM shall be recorded on a separate form.

1.2. BACKGROUND

A deviation is a critical aspect of the review process and needs to be documented to ensure that the deviations granted are applied to a specific development application in conformance with the criteria for approval and that the action is documented as such requests can point to potential needed revisions to the ECM.

1.3. APPLICABLE STATUTES AND REGULATIONS

Section 5.8 of the ECM establishes a mechanism whereby an engineering design standard can be modified when if strictly adhered to, would cause unnecessary hardship or unsafe design because of topographical or other conditions particular to the site, and that a departure may be made without destroying the intent of such provision.

1.4. APPLICABILITY

All provisions of the ECM are subject to deviation by the ECM Administrator provided that one of the following conditions is met:

- The ECM standard is inapplicable to a particular situation.
- Topography, right-of-way, or other geographical conditions or impediments impose an undue hardship on the applicant, and an equivalent alternative that can accomplish the same design objective is available and does not compromise public safety or accessibility.
- A change to a standard is required to address a specific design or construction problem, and if not modified, the standard will impose an undue hardship on the applicant with little or no material benefit to the public.

1.5. TECHNICAL GUIDANCE

The review shall ensure all criteria for approval are adequately considered and that justification for the deviation is properly documented.

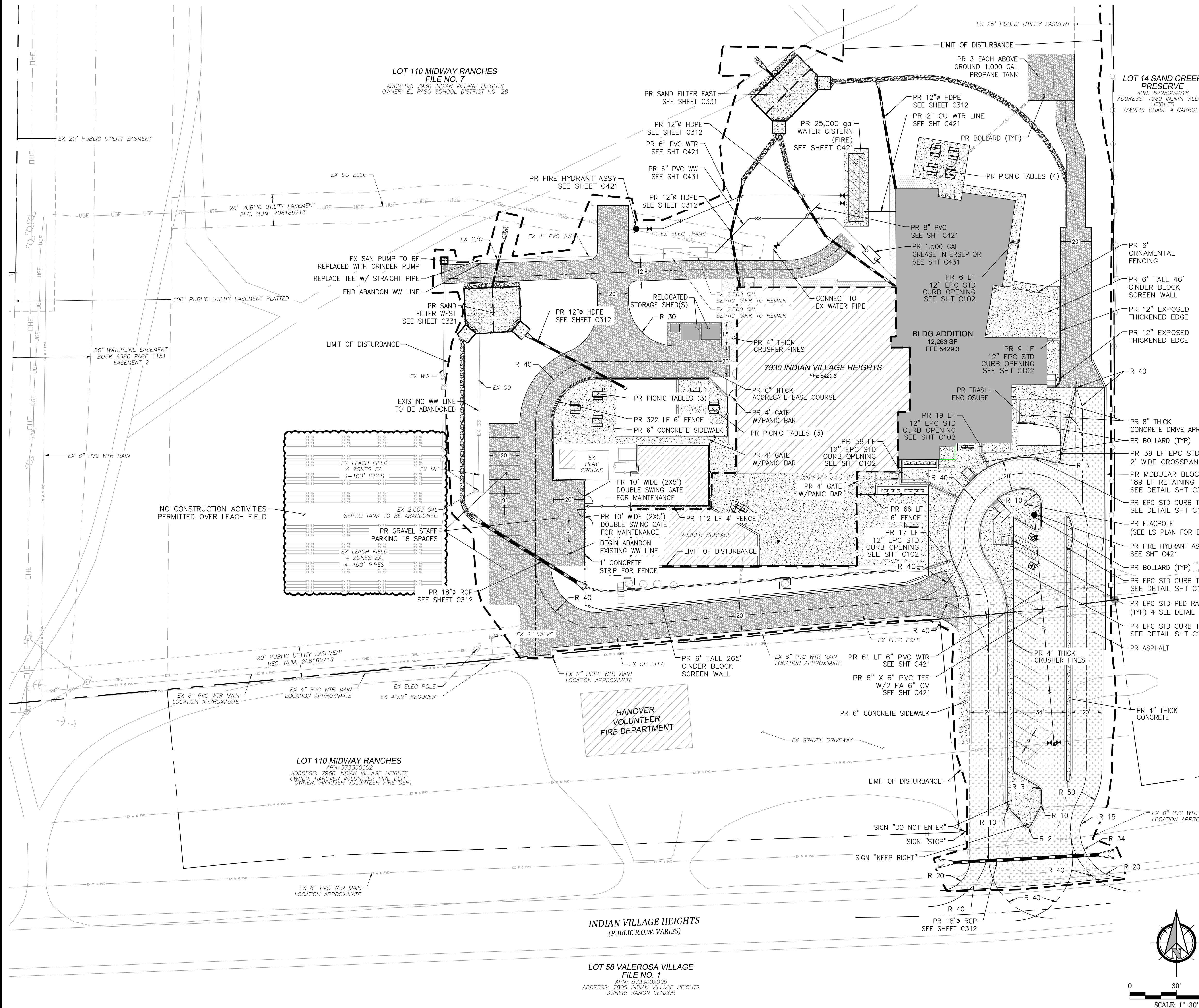
1.6. LIMITS OF APPROVAL

Whether a request for deviation is approved as proposed or with conditions, the approval is for project-specific use and shall not constitute a precedent or general deviation from these Standards.

1.7. REVIEW FEES

A Deviation Review Fee shall be paid in full at the time of submission of a request for deviation. The fee for Deviation Review shall be as determined by resolution of the BoCC.

K:\2024\24047 Prairie Hts school\Drawings\CDs\24047-C100-Pl.dwg May 21, 2026 - 9:53pm



SITE LEGEND

| | |
|--|--------------------------------------|
| | EXISTING SANITARY MANHOLE |
| | EXISTING FIRE HYDRANT |
| | PROPOSED FIRE HYDRANT |
| | EXISTING WATER VALVE |
| | PROPOSED WATER VALVE |
| | EXISTING ELECTRIC VAULT |
| | EXISTING ELECTRIC TRANSFER STATION |
| | EXISTING FIBER OPTIC VAULT |
| | EXISTING TELEPHONE PEDESTAL |
| | EXISTING LANDSCAPE TREE |
| | EXISTING SIGN |
| | EXISTING CONTOUR |
| | PROPOSED CONTOUR |
| | PROPOSED WATER LINE |
| | PROPOSED SANITARY SEWER |
| | EXISTING WATER LINE |
| | EXISTING SANITARY SEWER |
| | EXISTING GAS MAIN |
| | EXISTING ELECTRIC LINE (UNDERGROUND) |
| | EXISTING ELECTRIC LINE (OVERHEAD) |
| | EXISTING FIBEROPTIC LINE |
| | EXISTING FENCE |
| | EXISTING CURB & GUTTER |
| | EXISTING BUILDING |
| | PROPOSED BUILDING ADDITION |
| | PROPOSED ASPHALT/HBP PAVING |
| | PROPOSED GRAVEL |
| | PROPOSED CONCRETE |

- NOTES:**
- DO NOT REMOVE BOULDERS FROM SITE. SEE LANDSCAPE PLAN FOR NEW LOCATIONS.
 - SEE LANDSCAPE PLAN FOR SURFACE TREATMENT.
 - ALL GRAVEL ROADS ARE 6" OF CDOT CLASS 5 OR 6 AGGREGATE BASE COURSE (ABC).
 - ALL FLATWORK CONCRETE TO HAVE BROOM FINISH.

Kiowa
Engineering Corporation
1604 South 21st Street
Colorado Springs, Colorado 80904
(719) 630-7342

**PUBLIC IMPROVEMENTS PLAN
PRAIRIE HEIGHTS SCHOOL
SITE PLAN
FOUNTAIN, COLORADO**

| | |
|--------------|---------------------|
| Project No.: | 24047 |
| Date: | 5/15/26 |
| Design: | TAC |
| Drawn: | TEG |
| Check: | - |
| Revisions: | |
| | 03-04/27/2026-PR-15 |
| | 04-05/14/2026-PR-16 |

SHEET
C101
OF _ SHEETS

SCALE: 1"=30'
811
Know what's below.
Call before you dig.

For and on Behalf of
Kiowa Engineering Corporation
Date

EPC File: PPR254