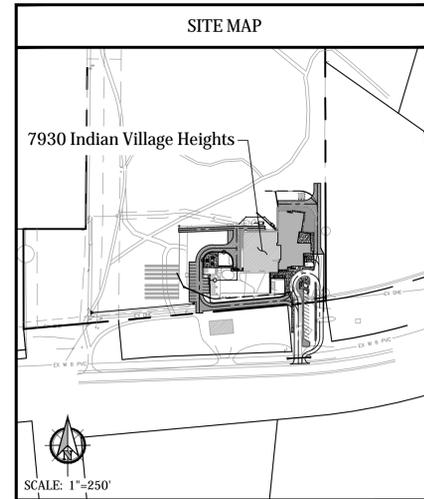
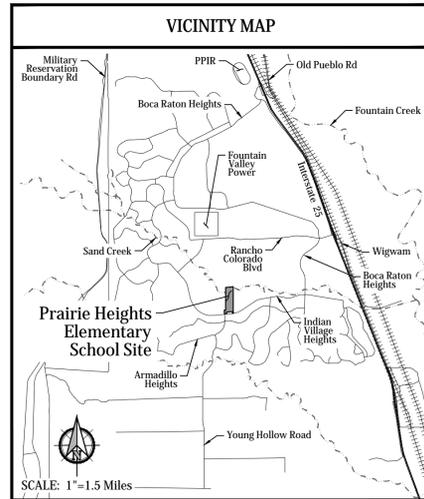


PUBLIC IMPROVEMENTS PLAN

FOR
PRAIRIE HEIGHTS SCHOOL

LOCATED AT
7930 INDIAN VILLAGE HEIGHTS
FOUNTAIN, COLORADO



PRE-EXCAVATION CHECKLIST	
Gas and other utility lines of record shown on the plans.	
Utilities Central Locating called at least 2 business days ahead. (1-800-922-1987)	
Employees briefed on marking and color codes.*	
Employees trained on excavation and safety procedures for natural gas lines.	
When excavation approaches gas lines, employees expose lines by careful probing and hand digging.	
<u>*A.G.A./A.P.W.A. STANDARD UTILITY MARKING COLOR CODE</u>	
Natural Gas	Yellow
Electric	Red
Water	Blue
Wastewater	Green

SHEET INDEX	
C100	COVER
C101	PUBLIC IMPROVEMENTS PLAN
C102	STANDARD DETAILS
C201	EXISTING CONDITIONS/DEMOLITION PLAN

PUBLIC IMPROVEMENTS PLAN
PRAIRIE HEIGHTS SCHOOL
COVER
FOUNTAIN, COLORADO



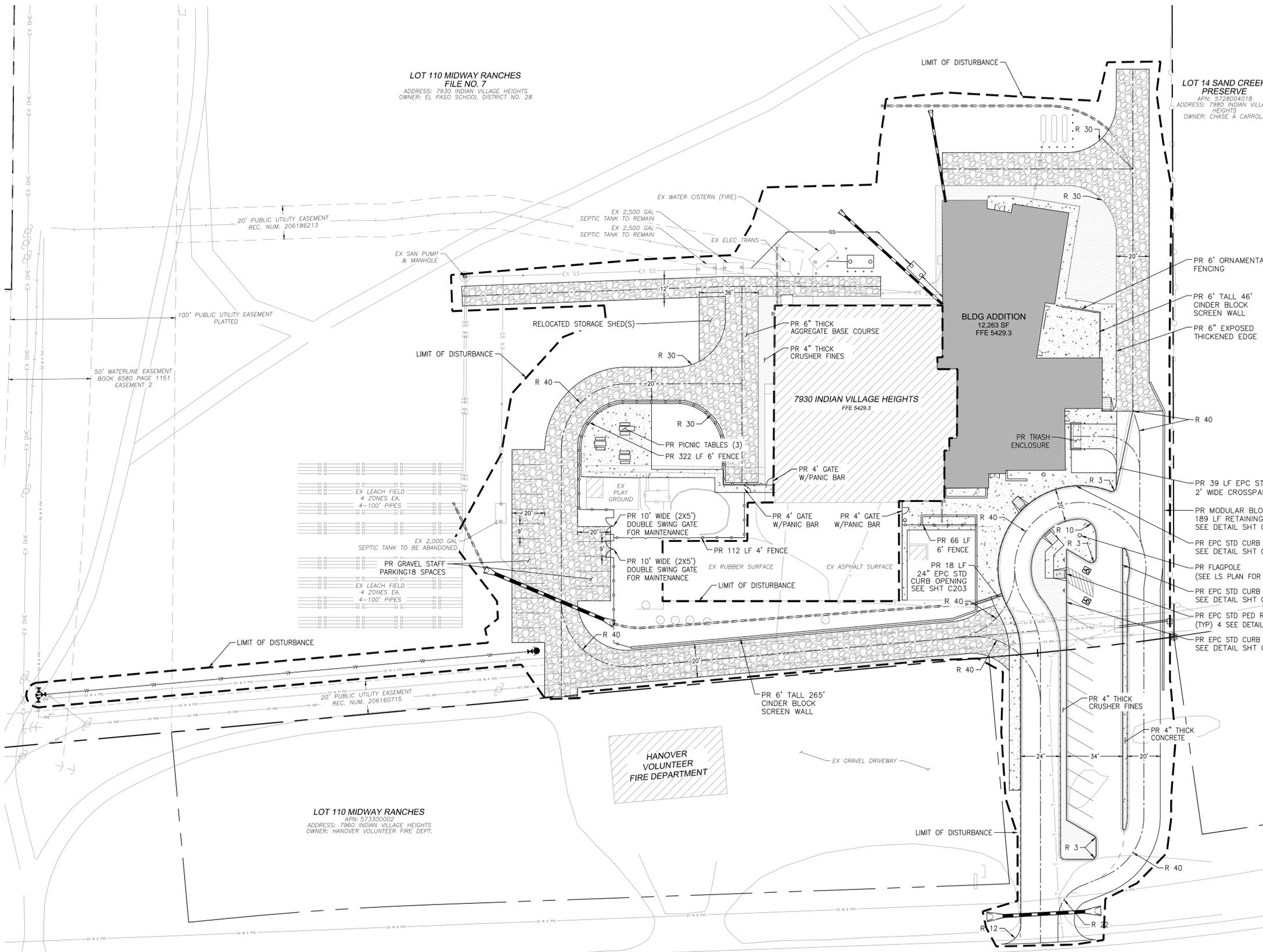
IN PROGRESS
NOT FOR CONSTRUCTION

For and on Behalf of
Kiowa Engineering Corporation Date

Project No.:	24047
Date:	1/27/25
Design:	TAC
Drawn:	TEG
Check:	-
Revisions:	

SHEET
C100
OF _ SHEETS

K:\2024\24047 Prairie Hts school Drawings\CDs\24047.C100-Pl.dwg Jan 27, 2025 - 5:07pm



SITE LEGEND	
	EXISTING SANITARY MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	EXISTING WATER VALVE
	PROPOSED WATER VALVE
	EXISTING ELECTRIC VAULT
	EXISTING ELECTRIC TRANSFER STATION
	EXISTING FIBER OPTIC VAULT
	EXISTING TELEPHONE PEDESTAL
	EXISTING LANDSCAPE TREE
	EXISTING SIGN
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER
	EXISTING WATER LINE
	EXISTING SANITARY SEWER
	EXISTING GAS MAIN
	EXISTING ELECTRIC LINE (UNDERGROUND)
	EXISTING ELECTRIC LINE (OVERHEAD)
	EXISTING FIBEROPTIC LINE
	EXISTING FENCE
	EXISTING CURB & GUTTER
	EXISTING BUILDING
	PROPOSED BUILDING ADDITION
	PROPOSED ASPHALT
	PROPOSED GRAVEL
	PROPOSED CONCRETE

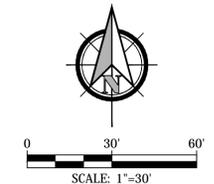
NOTES:
1.

PUBLIC IMPROVEMENTS PLAN
PRAIRIE HEIGHTS SCHOOL
SITE PLAN
FOUNTAIN, COLORADO

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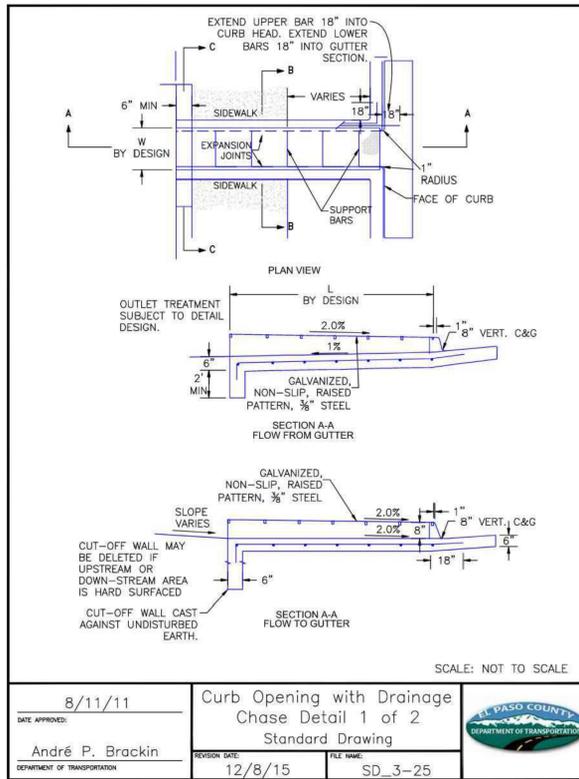
INDIAN VILLAGE HEIGHTS
(PUBLIC R.O.W. VARIES)

LOT 58 VALEROSA VILLAGE
FILE NO. 1
APN: 5733002005
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OWNER: RAMON VENZOR

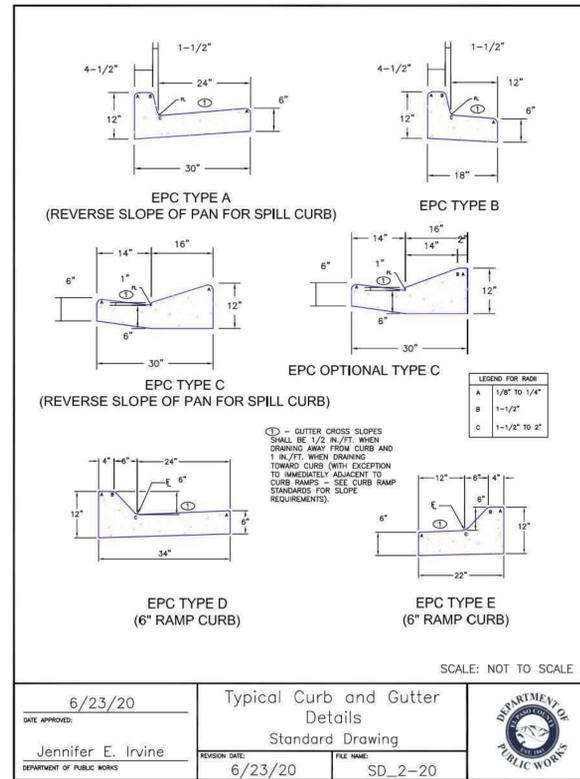


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NOT FOR CONSTRUCTION

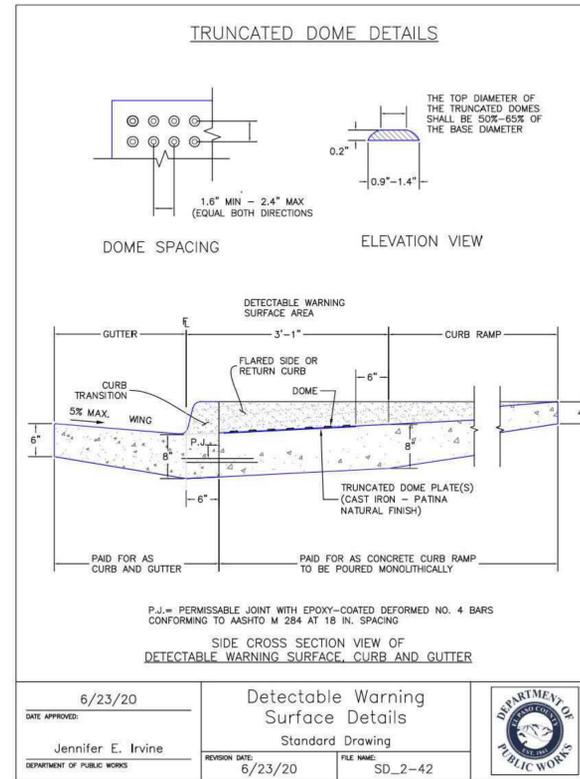
For and on Behalf of
Kiowa Engineering Corporation Date



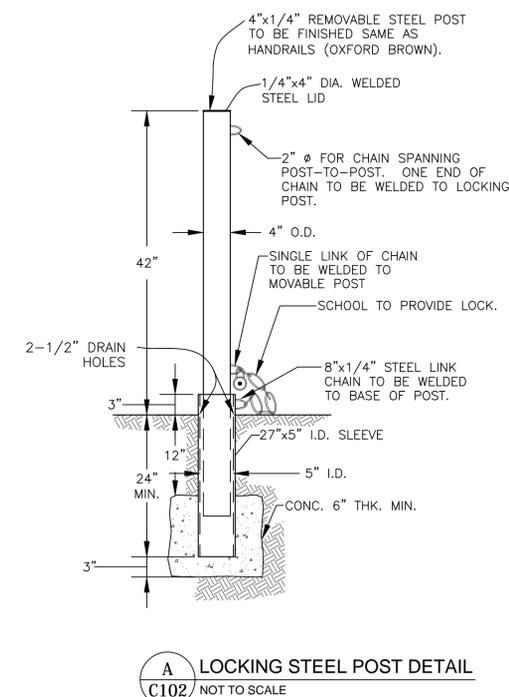
8/11/11	Curb Opening with Drainage Chase Detail 1 of 2	
André P. Brackin	Standard Drawing	
12/8/15	SD_3-25	



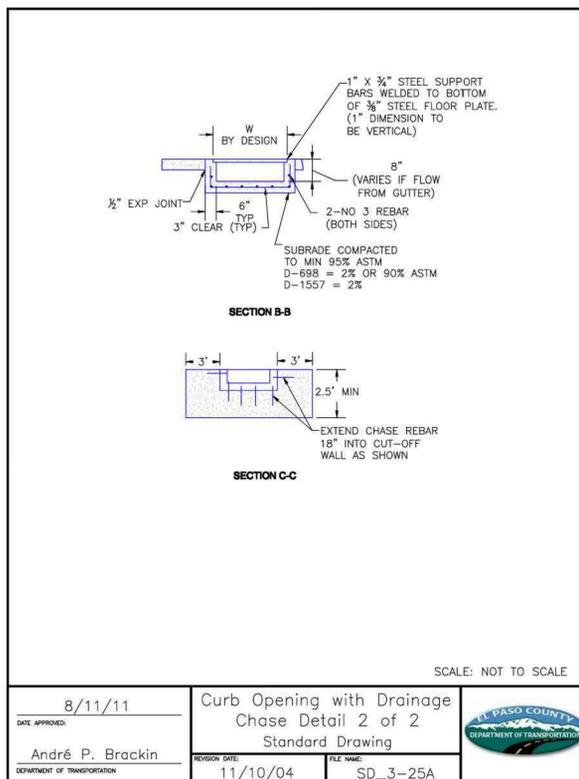
6/23/20	Typical Curb and Gutter Details	
Jennifer E. Irvine	Standard Drawing	
6/23/20	SD_2-20	



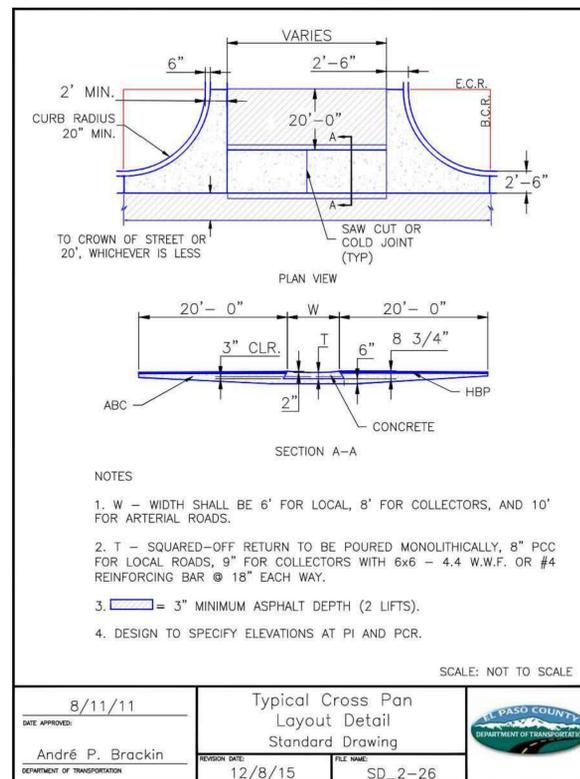
6/23/20	Detectable Warning Surface Details	
Jennifer E. Irvine	Standard Drawing	
6/23/20	SD_2-42	



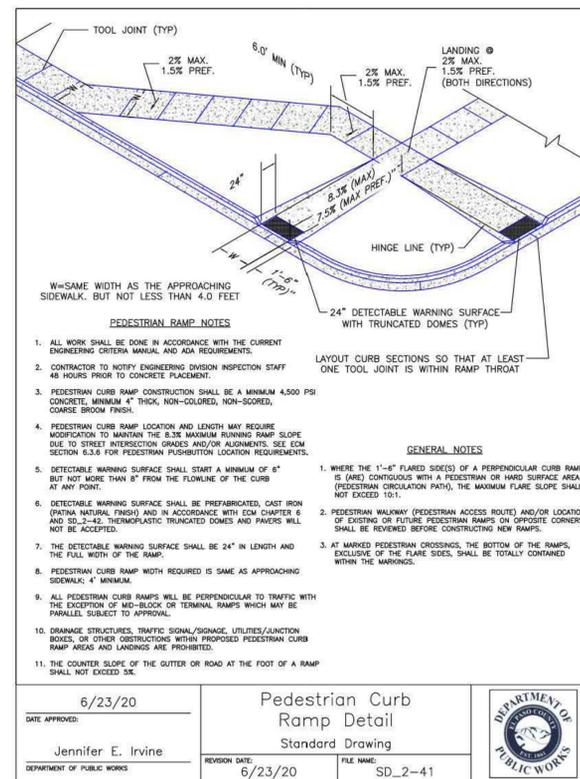
A LOCKING STEEL POST DETAIL
C102 NOT TO SCALE



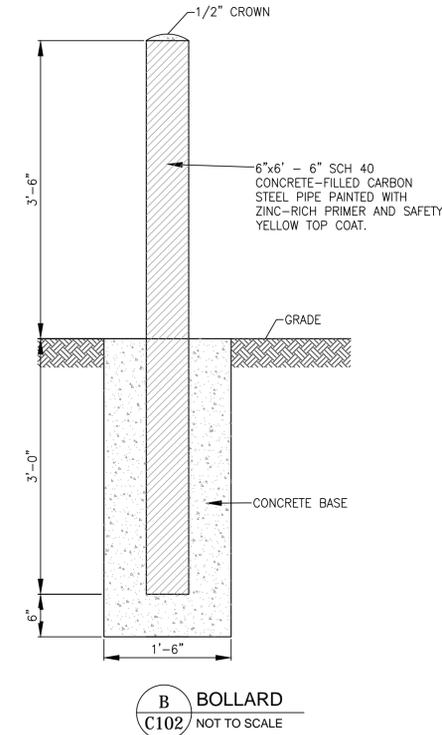
8/11/11	Curb Opening with Drainage Chase Detail 2 of 2	
André P. Brackin	Standard Drawing	
11/10/04	SD_3-25A	



8/11/11	Typical Cross Pan Layout Detail	
André P. Brackin	Standard Drawing	
12/8/15	SD_2-26	



6/23/20	Pedestrian Curb Ramp Detail	
Jennifer E. Irvine	Standard Drawing	
6/23/20	SD_2-41	



B BOLLARD
C102 NOT TO SCALE

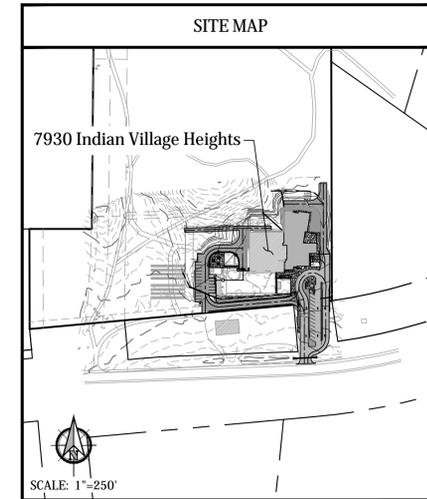
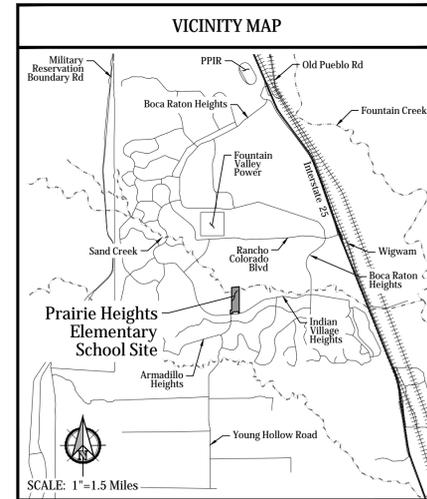


Know what's below.
Call before you dig.

Project No.:	24047
Date:	1/27/25
Design:	TAC
Drawn:	TEG
Check:	-
Revisions:	

GRADING AND EROSION CONTROL PLAN

FOR
PRAIRIE HEIGHTS SCHOOL
LOCATED AT
7930 INDIAN VILLAGE HEIGHTS
FOUNTAIN, COLORADO



APPROVAL SIGNATURES			
TITLE	NAME	SIGNATURE	DATE
PARKS DESIGN DEV. AND TOPS PROGRAM MANAGER	BRITT HALEY	_____	_____
PARKS OPERATION & DEVELOPMENT MANAGER	ERIC BECKER	_____	_____
CITY FORESTER	DENNIS WILL	_____	_____
REGIONAL SUPERVISOR, PARKS, TRAILS & OPEN SPACE	SCOTT ABBOTT	_____	_____
CONSTRUCTION PROJECT MANAGER	EMILY DUNCAN	_____	_____
CITY ENGINEERING	PATRICK MORRIS	_____	_____
CITY TRAFFIC ENGINEERING		_____	_____
DEPT. OF UTILITIES - WATER/WASTEWATER		_____	_____
DEPT. OF UTILITIES - GAS/ELECTRIC		_____	_____
CITY WATER RESOURCE DIVISION		_____	_____

STATEMENTS	
<u>Engineer's Statement:</u>	
This Grading and Erosion Control Plan was prepared under my direction and supervision and is correct to the best of my knowledge and belief. Said Plan has been prepared according to the criteria established by the County for Grading and Erosion Control Plans. I accept responsibility for any liability caused by any negligent acts or omissions on my part in preparing this Plan.	
Todd Cartwright PE 33365	Date _____
<u>Owner's Statement:</u>	
I, the owner/developer have read and will comply with the requirements of this Grading and Erosion Control Plan.	
Signature Hanover School District	Date _____
<u>El Paso County:</u>	
County Plan review is provided only for general conformance with County Design Criteria. The County is not responsible for the accuracy and adequacy of the design, dimensions, and/or elevations which shall be confirmed at the job site. The County through the approval of this document assumes no responsibility for completeness and/or accuracy of this document.	
Filed in accordance with the requirements of the El Paso County Land Development Code, Drainage Criteria Manual Volumes 1 and 2, and Engineering Criteria Manual as amended.	
In accordance with ECM Section 1.12, these construction documents will be valid for construction for a period of 2 years from the date signed by the El Paso County Engineer. If construction has not started within those 2 years, the Plans will need to be resubmitted for approval, including payment of review fees at the Planning and Community Development Director's discretion.	
County Engineer/ECM Administrator	Date _____

SUMMARY OF APPROXIMATE QUANTITIES				
CONTRACT ITEM NO.	CONTRACT ITEM	UNIT	PROJECT TOTALS	
			PLAN	AS CONST.
1	Mobilization	EA		
2	Construction staking	EA		
3	Construction traffic control	LS		
4	Concrete wash out structure	EA		
5	Silt Fencing	LF		
6	Stabilized construction entrance	EA		
7	Stabilized staging area	EA		
8	Clearing and grubbing	LS		
9	Earthwork- cut to fill	CY		
10	-----	LF		
11	-----	LF		
12	-----	LF		

PRE-EXCAVATION CHECKLIST
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<div style="text-align: center;">Natural Gas</div> <div style="text-align: center;">Yellow</div>
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<div style="text-align: center;">Water</div> <div style="text-align: center;">Blue</div>
<div style="text-align: center;">Wastewater</div> <div style="text-align: center;">Green</div>

SHEET INDEX	
C300	COVER
C301	GRADING AND EROSION CONTROL NOTES
C311	GRADING PLAN - INITIAL
C312	GRADING PLAN - INTERIM
C313	GRADING PLAN - FINAL
C321	EROSION CONTROL PLAN - INITIAL
C322	EROSION CONTROL PLAN - INTERIM
C323	EROSION CONTROL PLAN - FINAL
C331	EROSION CONTROL DETAILS

GRADING AND EROSION CONTROL PLAN
PRAIRIE HEIGHTS SCHOOL
COVER
FOUNTAIN, COLORADO

Project No.:	24047
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SHEET
C300
OF _ SHEETS

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EL PASO COUNTY STANDARD NOTES FOR GRADING & EROSION CONTROL PLANS	
1.	Stormwater discharges from construction sites shall not cause or threaten to cause pollution, contamination, or degradation of state waters. All work and earth disturbance shall be done in a manner that minimizes pollution of any on-site or off-site waters, including wetlands.
2.	Notwithstanding anything depicted in these plans in words or graphic representation, all design and construction related to roads, storm drainage and erosion control shall conform to the standards and requirements of the most recent version of the relevant adopted El Paso County standards, including the Land Development Code, the Engineering Criteria Manual, the Drainage Criteria Manual, and the Drainage Criteria Manual Volume 2. Any deviations from regulations and standards must be requested, and approved, in writing.
3.	A separate Stormwater Management Plan (SMWP) for this project shall be completed and an Erosion and Stormwater Quality Control Permit (ESQCP) issued prior to commencing construction. Management of the SWMP / CSWMP during construction is the responsibility of the designated Qualified Stormwater Manager or Certified Erosion Control Inspector. The SWMP / CSWMP shall be located on-site at all times during construction and shall be kept up to date with work progress and changes in the field.
4.	Once the ESQCP is approved and a "Notice to Proceed" has been issued, the contractor may install the initial stage erosion and sediment control measures as indicated on the approved GEC. A preconstruction meeting between the contractor, engineer, and El Paso County will be held prior to any construction. It is the responsibility of the applicant to coordinate the meeting time and place with County staff.
5.	Control measures must be installed prior to commencement of activities that could contribute pollutants to stormwater. Control measures for all slopes, channels, ditches, and disturbed land areas shall be installed immediately upon completion of the disturbance.
6.	All temporary sediment and erosion control measures shall be maintained and remain in effective operating condition until permanent soil erosion control measures are implemented and final stabilization is established. All persons engaged in land disturbance activities shall assess the adequacy of control measures at the site and identify if changes to those control measures are needed to ensure the continued effective performance of the control measures. All changes to temporary sediment and erosion control measures must be incorporated into the stormwater management plan.
7.	Temporary stabilization shall be implemented on disturbed areas and stockpiles where ground disturbing construction activity has permanently ceased or temporarily ceased for longer than 14 days.
8.	Final stabilization must be implemented at all applicable construction sites. Final stabilization is achieved when all ground disturbing activities are complete and all disturbed areas either have a uniform vegetative cover with individual plant density of 70 percent of pre-disturbance levels established or equivalent permanent alternative stabilization method is implemented. All temporary sediment and erosion control measures shall be removed upon final stabilization and before permit closure.
9.	All permanent stormwater management facilities shall be installed as designed in the approved plans. Any proposed changes that effect the design or function of permanent stormwater management structures must be approved by the ECM Administrator prior to implementation.
10.	Earth disturbances shall be conducted in such a manner so as to effectively minimize accelerated soil erosion and resulting sedimentation. All disturbances shall be designed, constructed, and completed so that the exposed area of any disturbed land shall be limited to the shortest practical period of time. Pre-existing vegetation shall be protected and maintained within 50 horizontal feet of a Waters of the State unless shown to be infeasible and specifically requested and approved.
11.	Compaction of soil must be prevented in areas designated for infiltration control measures or where final stabilization will be achieved by vegetative cover. Areas designated for infiltration control measures shall also be protected from sedimentation during construction until final stabilization is achieved. If compaction prevention is not feasible due to site constraints, all areas designated for infiltration and vegetation control measures must be loosened prior to installation of the control measure(s).
12.	Any temporary or permanent facility designed and constructed for the conveyance of stormwater around, through, or from the earth disturbance area shall be a stabilized conveyance designed to minimize erosion and the discharge of sediment off-site.
13.	Concrete wash water shall be contained and disposed of in accordance with the SWMP / CSWMP. No wash water shall be discharged to or allowed to enter state waters, including any surface or subsurface storm drainage system or facilities. Concrete washouts shall not be located in an area where shallow groundwater may be present, or within 50 feet of a surface water body, creek or stream.
14.	During dewatering operations, uncontaminated groundwater may be discharged on-site, but shall not leave the site in the form of surface runoff unless an approved state dewatering permit is in place.
15.	Erosion control blanketing or other protective covering shall be used on slopes steeper than 3:1.
16.	Contractor shall be responsible for the removal of all wastes from the construction site for disposal in accordance with local and state regulatory requirements. No construction debris, tree slash, building material wastes or unused building materials shall be buried, dumped, or discharged at the site.
17.	Waste materials shall not be temporarily placed or stored in the street, alley, or other public way, unless in accordance with an approved Traffic Control Plan. Control measures may be required by El Paso County Engineering if deemed necessary, based on specific conditions and circumstances.
18.	Tracking of soils and construction debris off-site shall be minimized. Materials tracked off-site shall be cleaned up and properly disposed of immediately.
19.	The owner/developer shall be responsible for the removal of all construction debris, dirt, trash, rock, sediment, soil, and sand that may accumulate in roads, storm drains and other drainage conveyance systems and stormwater appurtenances as a result of site development.
20.	The quantity of materials stored on the project site shall be limited, as much as practical, to that quantity required to perform the work in an orderly sequence. All materials stored on-site shall be stored in a neat, orderly manner, in their original containers, with the original manufacturer's labels.

EL PASO COUNTY STANDARD NOTES FOR GRADING & EROSION CONTROL PLANS (cont)	
21.	No chemical(s) having the potential to be released in stormwater are to be stored or used on-site unless permission for the use of such chemical(s) is granted in writing by the ECM administrator. In granting approval for the use of such chemical(s), special conditions and monitoring may be required.
22.	Bulk storage of allowed petroleum products or other allowed liquid chemicals in excess of 55 gallons shall require adequate secondary containment protection to contain all spills on-site and to prevent any spilled materials from entering state waters, any surface or subsurface storm drainage system or other facilities.
23.	No person shall cause the impeding of stormwater flow in the curb and gutter or ditch except with approved sediment control measures.
24.	Owner/developer and their agents shall comply with the "Colorado Water Quality Control Act" (Title 25, Article 8, CRS), and the "Clean Water Act" (33 USC 1344), in addition to the requirements of the Land Development Code, DCM Volume II and the ECM Appendix I. All appropriate permits must be obtained by the contractor prior to construction (1041, NPDES, Floodplain, 404, fugitive dust, etc.). In the event of conflicts between these requirements and other laws, rules, or regulations of other federal, state, local, or county agencies, the most restrictive laws, rules, or regulations shall apply.
25.	All construction traffic must enter/exit the site only at approved construction access points.
26.	Prior to construction the permittee shall verify the location of existing utilities.
27.	A water source shall be available on-site during earthwork operations and shall be utilized as required to minimize dust from earthwork equipment and wind.
28.	The soils report for this site has been prepared by Kumar & Assoc., 3/29/11 and shall be considered a part of these plans.
29.	At least ten (10) days prior to the anticipated start of construction, for projects that will disturb one (1) acre or more, the owner or operator of construction activity shall submit a permit application for stormwater discharge to the Colorado Department of Public Health and Environment, Water Quality Division. The application contains certification of completion of a Stormwater Management Plan (SWMP / CSWMP), of which this Grading And Erosion Control Plan may be a part. For information or application materials contact:
<p>Colorado Department of Public Health and Environment Water Quality Control Division WQCD - permits 4300 Cherry Creek Drive South Denver, CO 80246-1530 Attn: permits unit</p>	

SITE SPECIFIC NOTES	
1.	Stockpiles are expected for the minimal on-site topsoil. Location of topsoil stockpile is to be determined by contractor on-site and noted in CSWMP.
2.	No known potential natural pollutant sources are one site.
3.	All disturbed areas not receiving permanent surface treatment will be re-seeded with Colorado Native Seed Mix per Landscape Plans.
4.	No dedicated asphalt or concrete batch plants are anticipated with this project.
5.	Street sweeping will be completed internally after paving and on adjacent streets as needed.
6.	"All utility installations within the limits of disturbance shown on this plan are covered under this plan. Locations of utilities within the limits of disturbance may be modified after plan approval as a field change. Utility installations related to the private development that extend beyond the limits of disturbance shown on this plan are considered to be part of the larger development, and therefore require a plan modification or separate plan for the additional disturbance area."
7.	No Geohazards on site.
8.	There are no "No Build" areas.
9.	No Preservation easements on site.
10.	Contractor will determine C.W.A. location.
<p>TIMING Anticipated starting and completion time period of site grading: May 2025 - Aug 2025 Expected date on which the final stabilization will be completed: July 2026</p>	
<p>AREAS Total area of the site to be cleared, excavated, or graded: 2.81 Acres</p>	
<p>RECEIVING WATERS Name of receiving waters: Sand Creek</p>	
<p>EARTHWORKS 1626 CY CUT, 2216 CY FILL, NET 590 CY FILL</p>	
<p>SITE SOIL TYPE NOTE: The Soil Types for the site classified within Hydrologic Soil Group C and erosion potential is medium to low.</p>	

KIOWA GENERAL NOTES	
1.	All materials and workmanship shall be in conformance with the latest version of Colorado Department of Transportation (CDOT) standard specifications for road and bridge construction and supplemented with the City of Colorado Springs standard specifications.
2.	The contractor shall notify the owner (city) and engineer of any problem in conforming to the approved plans for any element of the proposed improvements prior to its construction.
3.	The contractor shall protect all existing facilities in the general area of construction. The contractor shall repair any damage caused by construction operations at no cost to the project.
4.	Utility lines as shown on these drawings are plotted from the best available information. The contractor shall call 811 for utility locations at least two working days prior to any digging. The contractor shall determine the exact location of all utilities prior to construction and shall protect them from damage during construction.
5.	Surveying for this project shall be conducted in accordance with CDOT standards.
6.	Benchmark: fims monument SR10 is a 2-inch diameter aluminum cap stamped "CSU FIMS control SR10" on top of the north curb of constitution avenue at the northwest corner of the bridge over sand creek.
7.	All existing manholes to be marked with t-posts and caution tape prior to commencing with the construction.
8.	water shall be used as a dust palliative where required. Locations shall be as directed by the engineer. Water will not be paid for separately, but will be subsidiary to the excavation item.
9.	All removed asphalt will become the property of the contractor and will be disposed of outside project limits.
10.	The soil to be placed as topsoil material shall be free of refuse, stumps, roots, rocks, brush, weeds, hard clods, toxic substances or other material which would be detrimental to its use on the project. It shall have a minimum p.I. Of 5 but shall not be such heavy clay as to preclude placement with a shoulder machine.
11.	Salvageable material: material that can be saved or salvaged. Unless otherwise specified in the contract, all salvageable material shall become the property of the contractor.
12.	Topographic data indicated on these drawings was compiled from field surveys. Contractor must verify extent of work within these areas. Dimensions, elevations, and locations of existing structures, pipelines, and utilities are approximate. Where such dimensions or locations determine the limits of the work, such dimensions or locations shall be verified in the field prior to construction.
13.	The locations of existing structures, pipelines, utilities, etc., shown on the drawings have been approximated. There may be other structures, pipelines, utilities, etc., not shown on the drawings which presently exist in the area of construction. The engineer and/or owner assumes no responsibility for the accuracy or completeness of the information shown. The contractor will be responsible for locating and protecting all impacted existing structures, pipelines, utilities, etc., in the project site.
14.	The contractor shall carefully preserve all monuments, benchmarks, property markers, reference points, and stakes. In case of his destruction of these, the contractor will be responsible for resetting same, at no cost to the owner, and shall be responsible for any loss of time that may be caused.
15.	The contractor shall notify the engineer where utilities conflict with the work in conformance with the specifications. Where field verification is noted noted on the plans, this shall require the contractor to determine the location of the facility in question prior to construction. A determination shall be made by the contractor if the current design will conflict with the existing facility and notify the engineer in writing.
16.	All existing areas disturbed outside the limits of construction activities shall be re-vegetated in conformance with the specifications at no additional cost to the project. All existing roadways and sidewalks damaged during construction shall be repaired or reconstructed in conformance with the specifications.
17.	Signage shall follow the "manual on uniform traffic control devices" latest edition and the city of Colorado Springs traffic engineering signage & pavement marking standards. Contractor shall submit to the county a traffic control plan prior to commencing with the work.
18.	Contractor shall establish trail corridor with stakes. The owner will then mark all trees to be saved in a walkthrough of the trail corridor with the contractor.
19.	All discharges to drainage courses and storm sewer systems must comply with the applicable provisions of the Colorado water quality control act and the Colorado discharge permit regulations, and are subject to inspection by El Paso county and CDPHE. El Paso has a ms-4 permit. Contractor shall devise and implement a permanent plan for periodic removal and disposal of sediment from erosion control facilities and for maintenance of erosion control facilities.
20.	The contractor shall obtain construction stormwater discharge permit from CDPHE.

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Electric	Red
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Kiowa
Engineering Corporation

1604 South 21st Street
Colorado Springs, Colorado 80904
(719) 630-7342

GRADING AND EROSION CONTROL PLAN
PRAIRIE HEIGHTS SCHOOL
GRADING AND EROSION CONTROL NOTES
FOUNTAIN, COLORADO

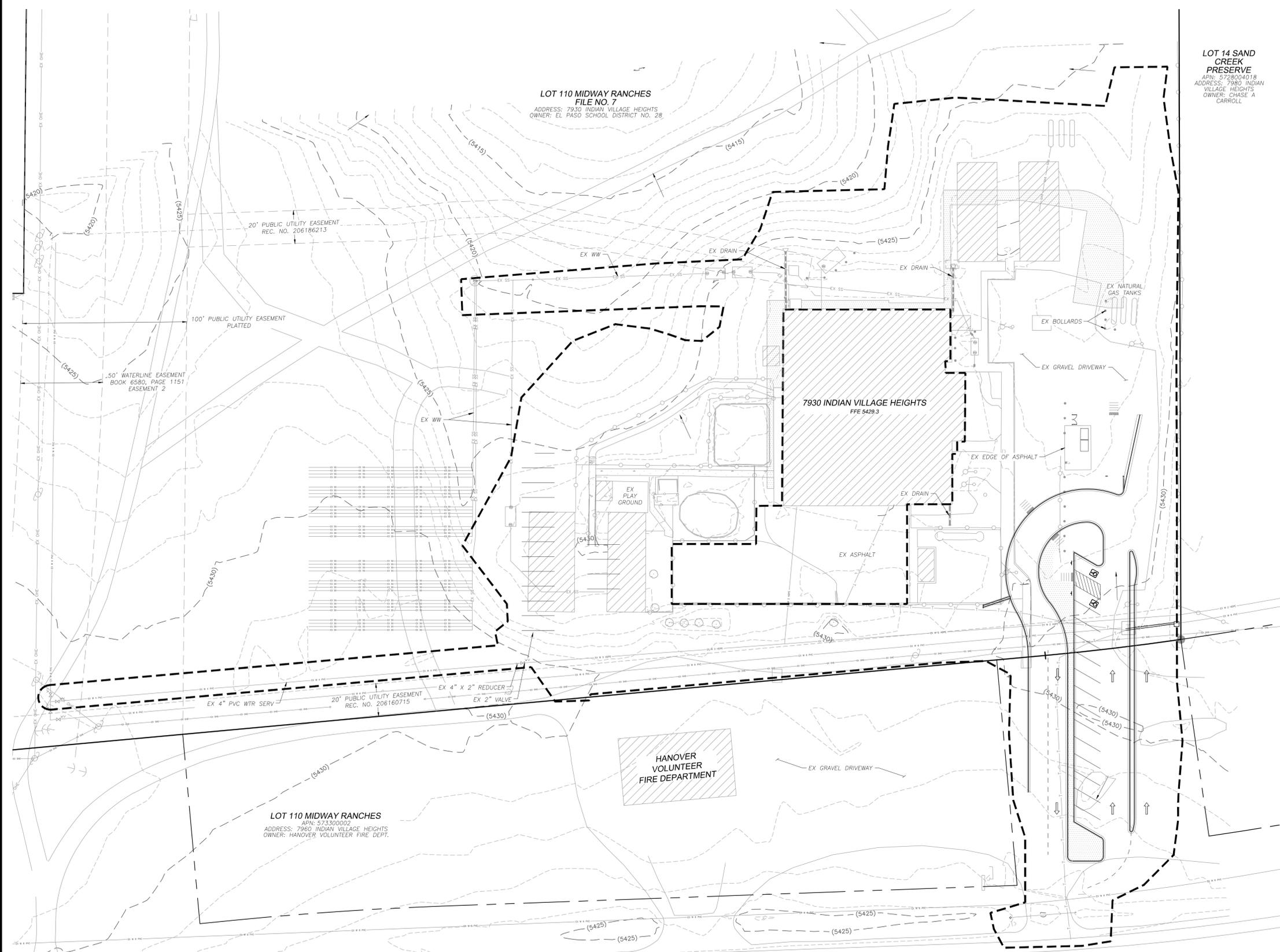
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SHEET

C301

OF _ SHEETS

K:\2024\24047 Prairie Hts school Drawings\CDs\24047 C310.CEC.dwg Jan 24, 2025 - 2:30pm



LOT 14 SAND CREEK PRESERVE
APN: 572804018
ADDRESS: 7980 INDIAN VILLAGE HEIGHTS
OWNER: CHASE A CARROLL

LOT 110 MIDWAY RANCHES
FILE NO. 7
ADDRESS: 7930 INDIAN VILLAGE HEIGHTS
OWNER: EL PASO SCHOOL DISTRICT NO. 28

7930 INDIAN VILLAGE HEIGHTS
FFE 5428.3

HANOVER VOLUNTEER FIRE DEPARTMENT

LOT 110 MIDWAY RANCHES
APN: 573300002
ADDRESS: 7960 INDIAN VILLAGE HEIGHTS
OWNER: HANOVER VOLUNTEER FIRE DEPT.

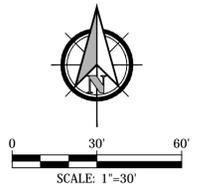
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(PUBLIC R.O.W. VARIES)

LOT 58 VALEROSA VILLAGE
FILE NO. 1
APN: 5733002005
ADDRESS: 7805 INDIAN VILLAGE HEIGHTS
OWNER: RAMON VENZOR

EROSION CONTROL AND GRADING LEGEND	
	CURB RAMPS TYPICAL - REFER TO DETAILS
	CUT/FILL DEMARCATION LINE
	EXISTING 100 YEAR FLOODPLAIN
	EXISTING CONTOURS
	EXISTING EASEMENT
	EXISTING FENCE
	EXISTING FLOW DIRECTION AND SLOPE
	EXISTING GAS LINE
	EXISTING INLET
	EXISTING INLET
	EXISTING PROPERTY OR ROW LINE
	EXISTING SANITARY SEWER
	EXISTING SPOT ELEVATION
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	PROPOSED CONTOURS
	PROPOSED EASEMENT
	PROPOSED FLOW DIRECTION AND SLOPE
	PROPOSED INLET
	PROPOSED SPOT ELEVATION
	PROPOSED SLOPE
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	CULVERT INLET PROTECTION
	CONCRETE WASHOUT AREA
	CONSTRUCTION FENCE
	DRAINAGE SWALE
	EROSION CONTROL BLANKET
	INLET PROTECTION CURB
	INLET PROTECTION AREA - ROCK SOCK
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	ROCK SOCK
	SEDIMENT CONTROL LOG
	SEEDING AND MULCHING
	SILT FENCE
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	STABILIZED STAGING AREA
	SLOPE TRACKING
	SURFACE ROUGHENING
	TEMPORARY COMPACTED BERM
	TEMPORARY SEDIMENT BASIN
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	VEHICLE TRACKING CONTROL
	CURB AND GUTTER: CARRY
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 2. ALL ELEVATIONS ARE FLOW LINE TO FLOW LINE UNLESS OTHERWISE INDICATED.
 3. ADD 5400 TO SPOT ELEVATIONS.

FLOODPLAIN STATEMENT:
LOT 110, MIDWAY RANCHES FILE NO. 7 DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN ACCORDING TO INFORMATION PUBLISHED IN THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOODPLAIN MAP NO. 08041C1170G DATED DECEMBER 7, 2018.



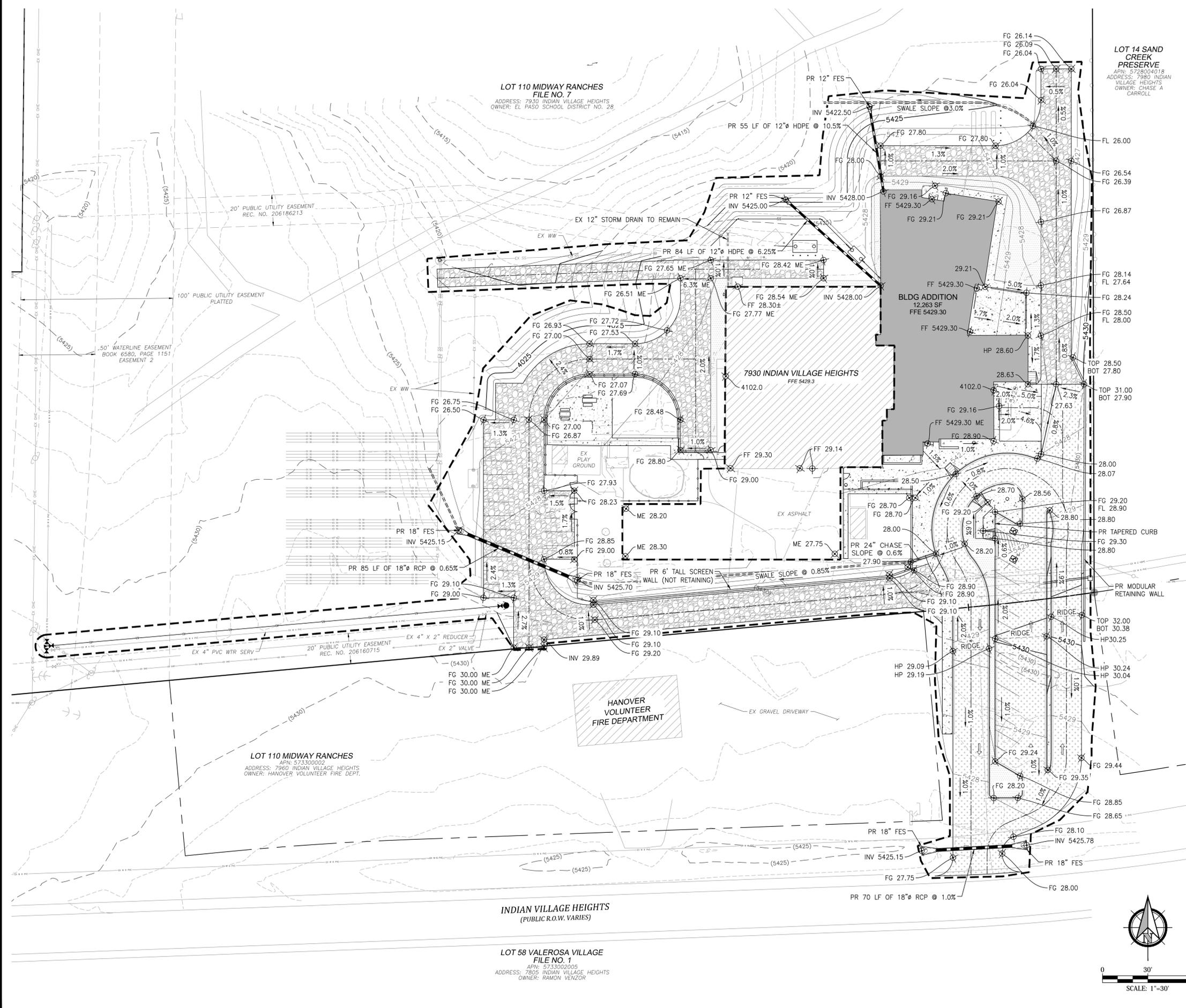
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For and on Behalf of
Kiowa Engineering Corporation Date

GRADING AND EROSION CONTROL PLAN
PRAIRIE HEIGHTS SCHOOL
GRADING PLAN - INITIAL
FOUNTAIN, COLORADO

Project No.:	24047
Date:	1/24/25
Design:	TAC
Drawn:	TEG
Check:	-
Revisions:	

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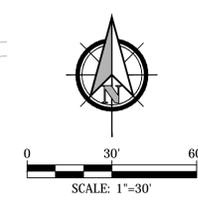


EROSION CONTROL AND GRADING LEGEND

	CURB RAMP TYPICAL - REFER TO DETAILS
	CUT/FILL DEMARCATION LINE
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	EXISTING CONTOURS
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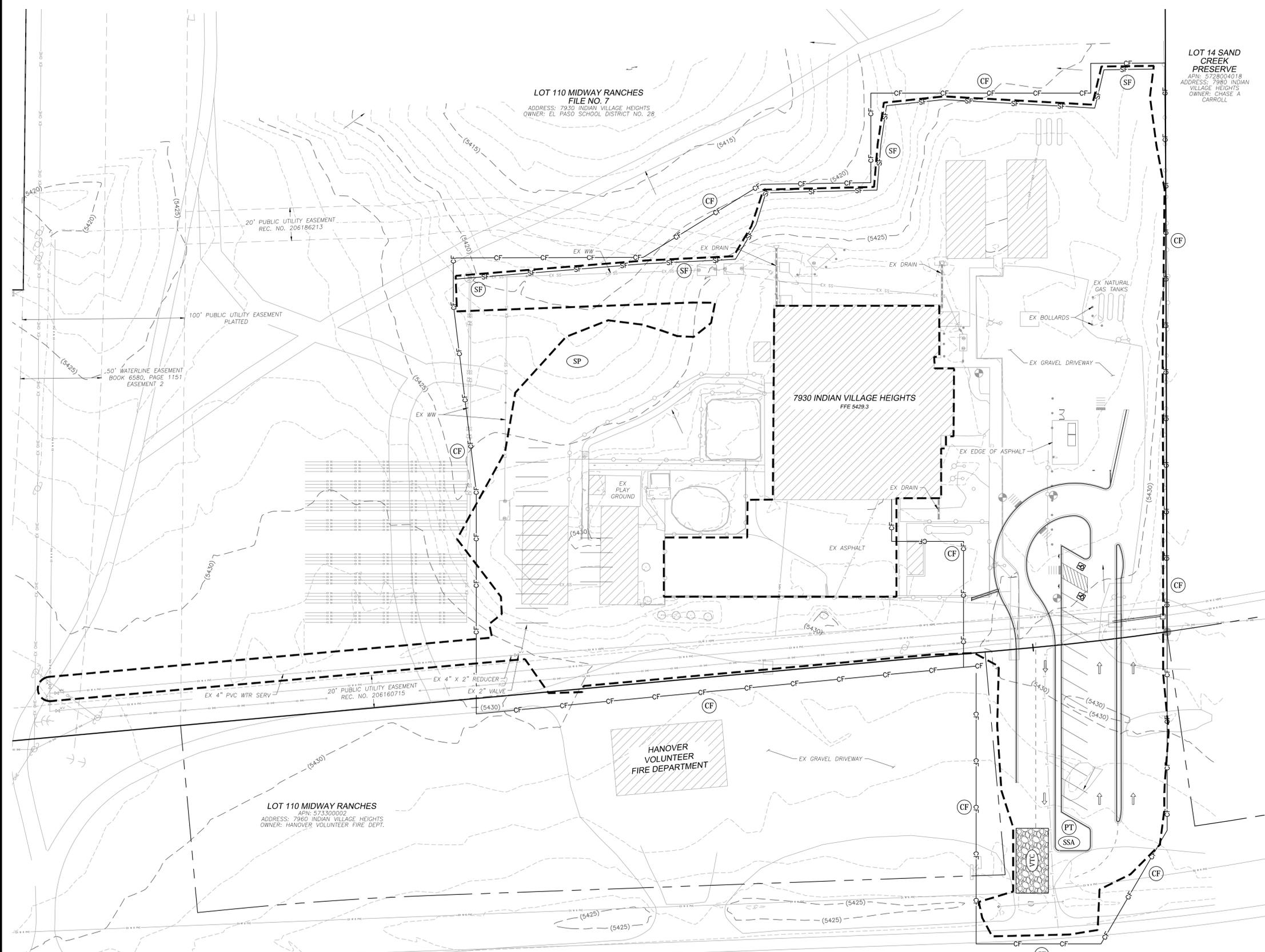
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For and on Behalf of
 Kiowa Engineering Corporation Date

GRADING AND EROSION CONTROL PLAN
PRAIRIE HEIGHTS SCHOOL
GRADING PLAN - INTERIM
 FOUNTAIN, COLORADO

Project No.:	24047
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Drawn:	TEG
Check:	-
Revisions:	

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LOT 14 SAND CREEK PRESERVE
APN: 572804018
ADDRESS: 7980 INDIAN VILLAGE HEIGHTS
OWNER: CHASE A CARROLL

LOT 110 MIDWAY RANCHES FILE NO. 7
ADDRESS: 7930 INDIAN VILLAGE HEIGHTS
OWNER: EL PASO SCHOOL DISTRICT NO. 28

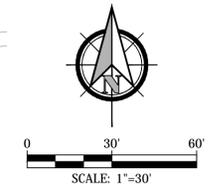
LOT 110 MIDWAY RANCHES
APN: 573300002
ADDRESS: 7960 INDIAN VILLAGE HEIGHTS
OWNER: HANOVER VOLUNTEER FIRE DEPT.

INDIAN VILLAGE HEIGHTS
(PUBLIC R.O.W. VARIES)

LOT 58 VALEROSA VILLAGE FILE NO. 1
APN: 5733002005
ADDRESS: 7805 INDIAN VILLAGE HEIGHTS
OWNER: RAMON VENZOR

EROSION CONTROL AND GRADING LEGEND	
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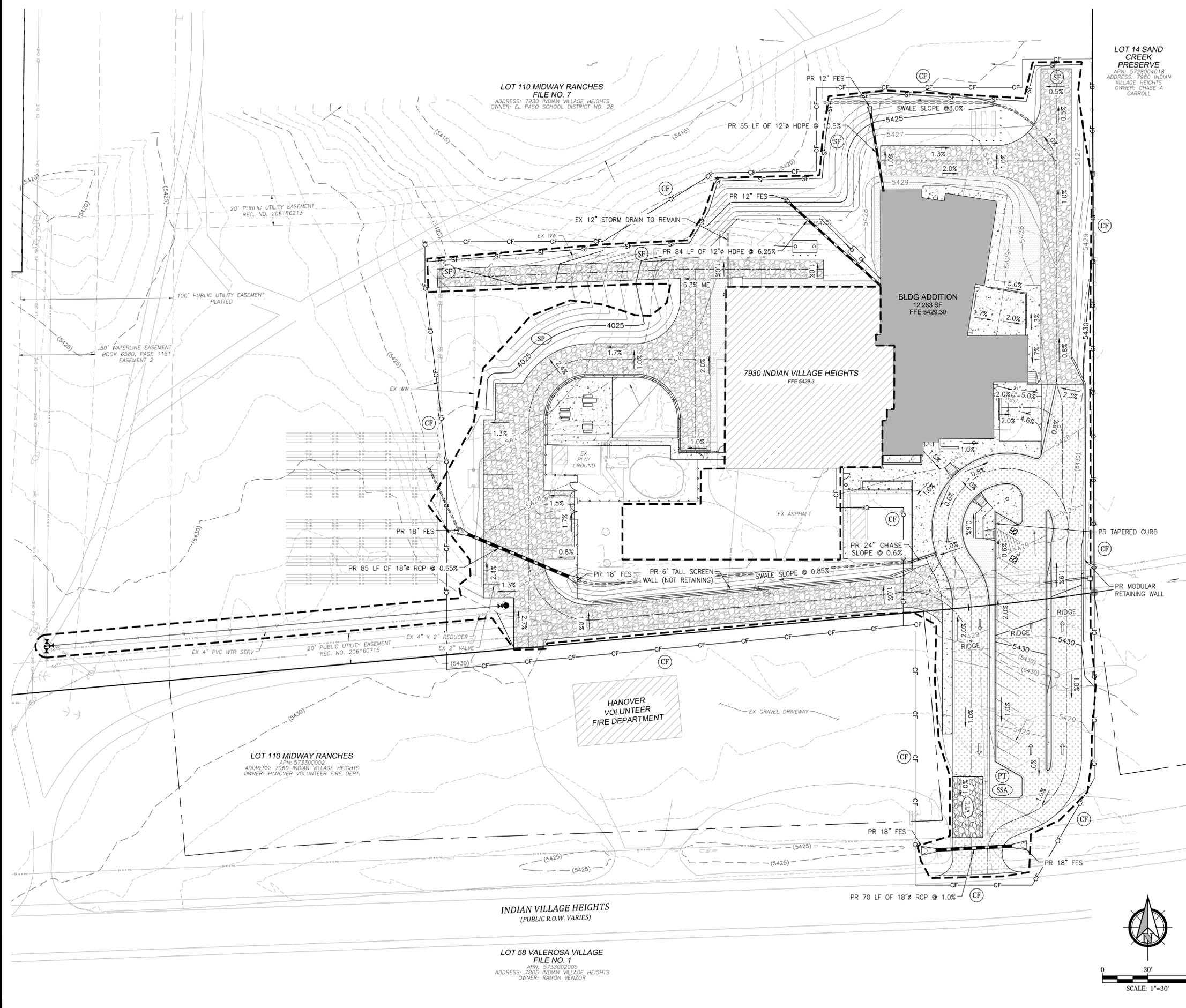
Kiowa
Engineering Corporation
1604 South 21st Street
Colorado Springs, Colorado 80904
(719) 630-7342

GRADING AND EROSION CONTROL PLAN
PRAIRIE HEIGHTS SCHOOL
EROSION CONTROL PLAN - INITIAL
FOUNTAIN, COLORADO

Project No.:	24047
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Drawn:	TEG
Check:	-
Revisions:	

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OF _ SHEETS

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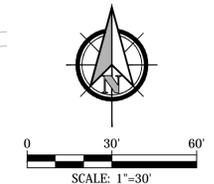
LOT 14 SAND CREEK PRESERVE
 APN: 572804018
 ADDRESS: 7980 INDIAN VILLAGE HEIGHTS
 OWNER: CHASE A CARROLL

LOT 110 MIDWAY RANCHES FILE NO. 7
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 OWNER: EL PASO SCHOOL DISTRICT NO. 28

LOT 110 MIDWAY RANCHES
 APN: 573300002
 ADDRESS: 7960 INDIAN VILLAGE HEIGHTS
 OWNER: HANOVER VOLUNTEER FIRE DEPT.

INDIAN VILLAGE HEIGHTS
 (PUBLIC R.O.W. VARIES)

LOT 58 VALEROSA VILLAGE FILE NO. 1
 APN: 5733002005
 ADDRESS: 7805 INDIAN VILLAGE HEIGHTS
 OWNER: RAMON VENZOR



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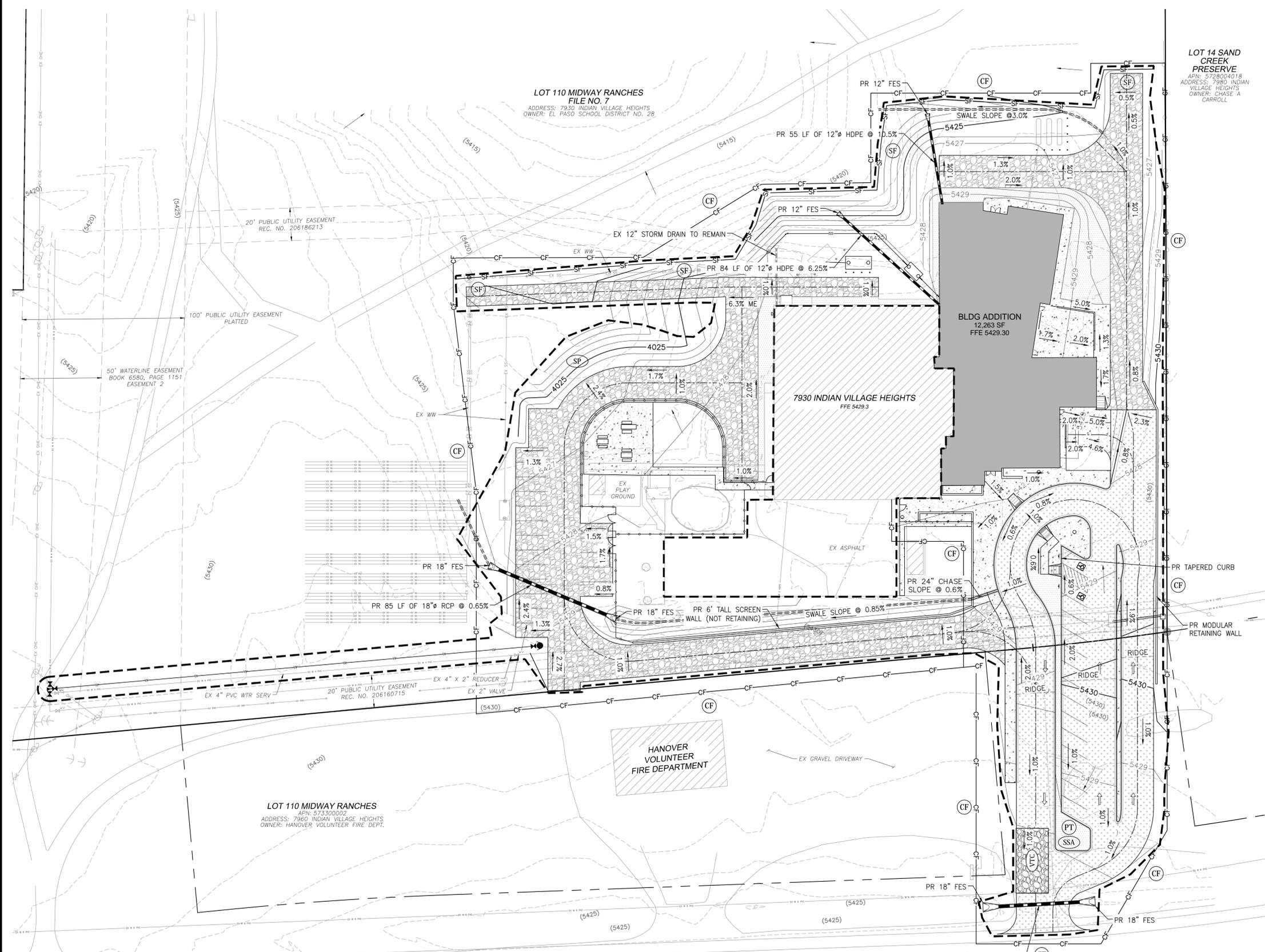
GRADING AND EROSION CONTROL PLAN
PRAIRIE HEIGHTS SCHOOL
EROSION CONTROL PLAN - INTERIM
 FOUNTAIN, COLORADO

Kiowa
 Engineering Corporation
 1604 South 21st Street
 Colorado Springs, Colorado 80904
 (719) 630-7342

Project No.:	24047
Date:	1/24/25
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Revisions:	

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EROSION CONTROL AND GRADING LEGEND

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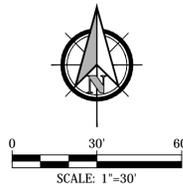
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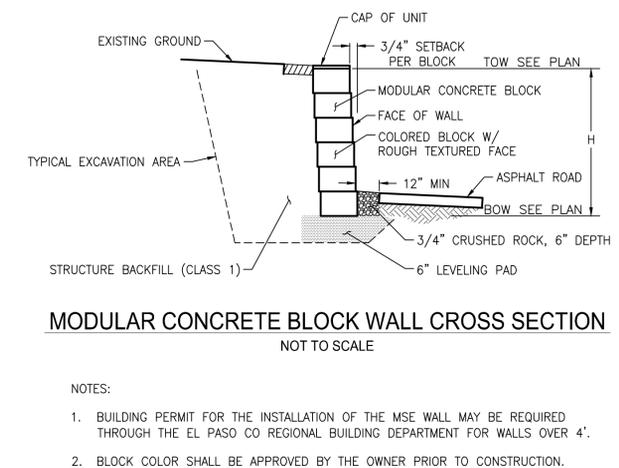
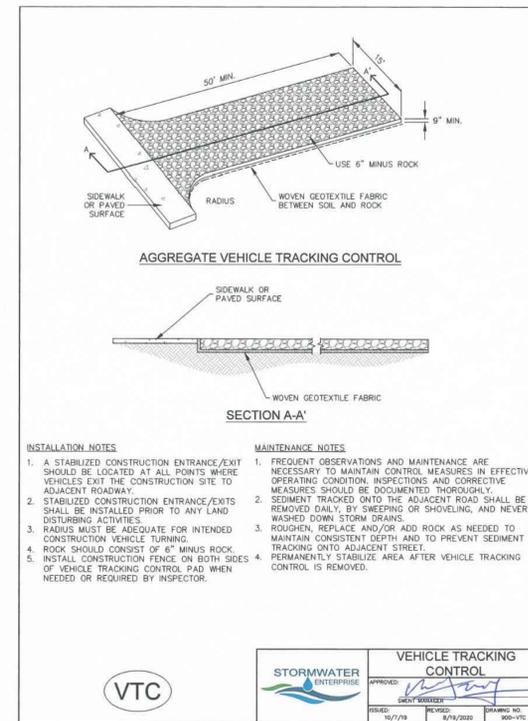
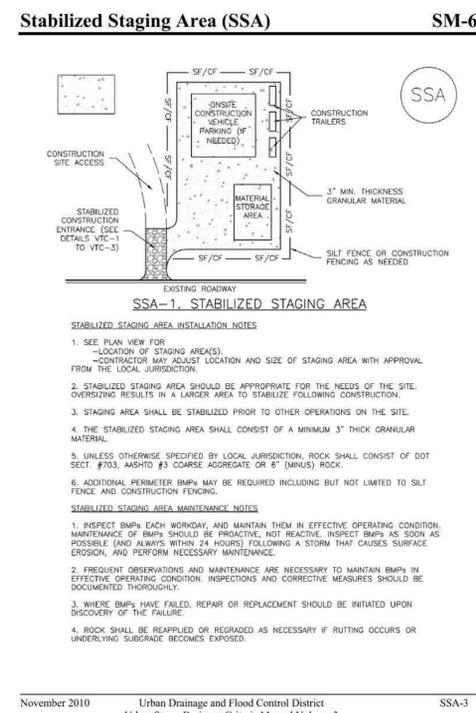
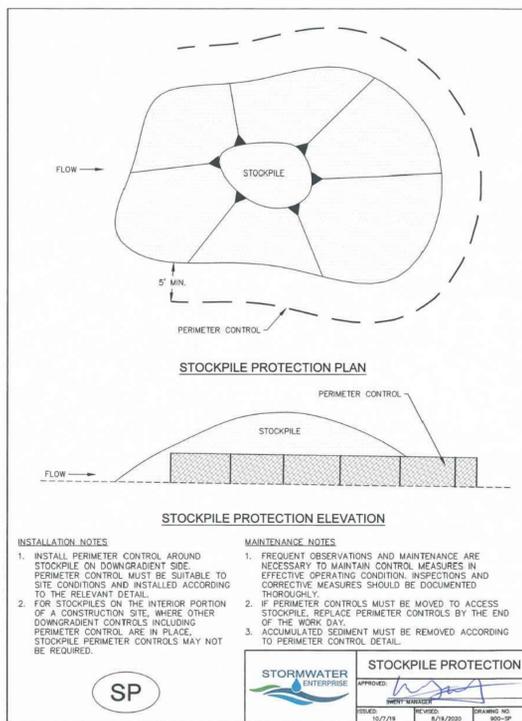
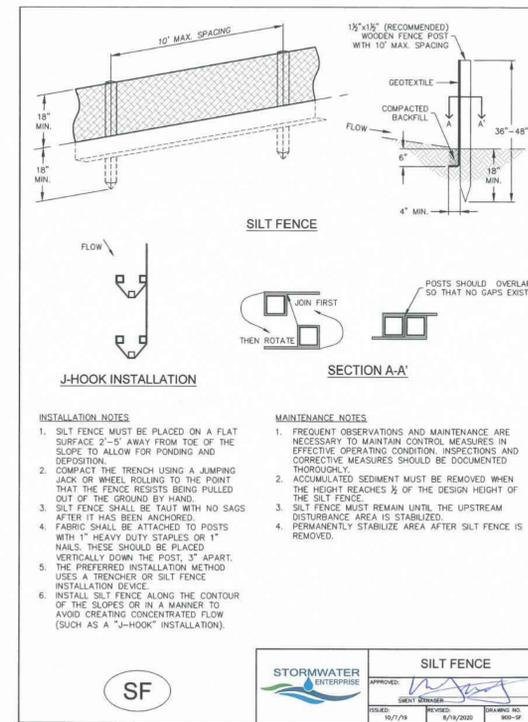
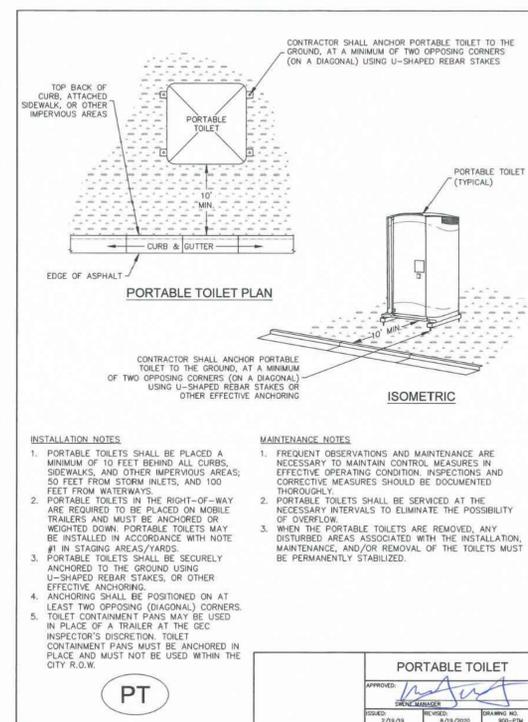
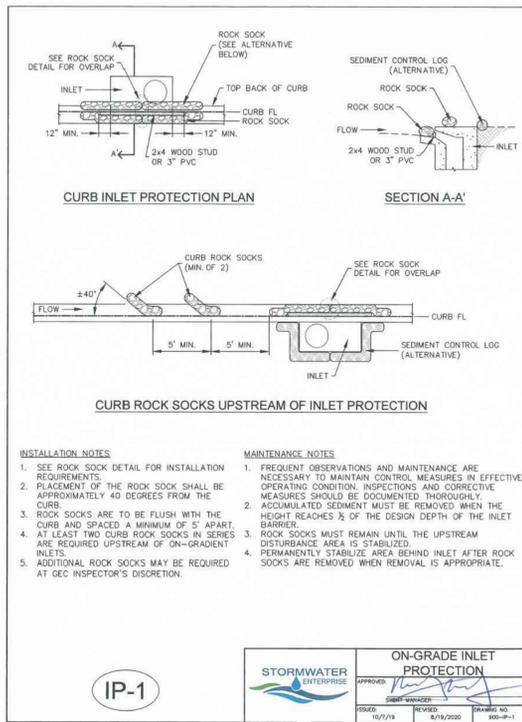
GRADING AND EROSION CONTROL PLAN
PRAIRIE HEIGHTS SCHOOL
EROSION CONTROL PLAN - INTERIM
 FOUNTAIN, COLORADO

Project No.:	24047
Date:	1/24/25
Design:	TAC
Drawn:	TEG
Check:	-
Revisions:	

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GRADING AND EROSION CONTROL PLAN
PRAIRIE HEIGHTS SCHOOL
EROSION CONTROL DETAILS
FOUNTAIN, COLORADO

Kiowa
Engineering Corporation
1604 South 21st Street
Colorado Springs, Colorado 80904
(719) 630-7342

Project No.: 24047
Date: 1/24/25
Design: TAC
Drawn: TEG
Check: -
Revisions:

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OF _ SHEETS

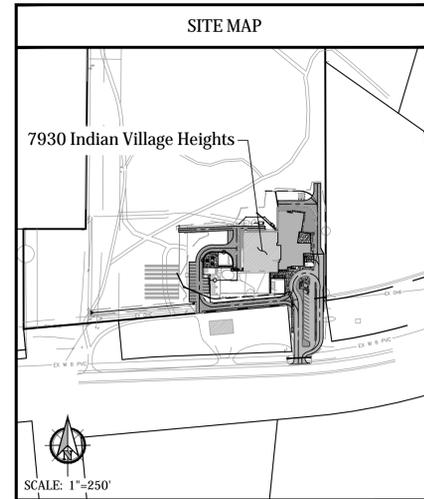
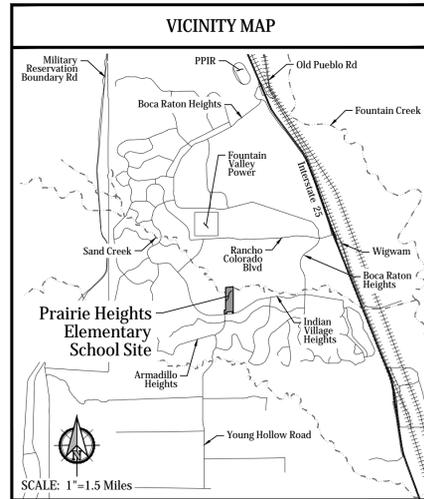


- So we're using SWENT details? -

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UTILITY SERVICE PLAN FOR PRAIRIE HEIGHTS SCHOOL

LOCATED AT
7930 INDIAN VILLAGE HEIGHTS
FOUNTAIN, COLORADO



GENERAL UTILITY SERVICE PLAN NOTES	
GENERAL:	
1.	All construction methods and materials shall meet <i>Colorado Springs Utilities' Wastewater and Water Line Extension and Service Standards (Water/Wastewater-LESS)</i> .
2.	The Contractor is responsible for any damage to any utility facilities as a result of his actions. The Contractor shall make all the required repairs immediately.
3.	All field staking shall comply with the <i>Water/Wastewater LESS</i> .
4.	Corrosion protection measures shall comply with the <i>Water/Wastewater LESS</i> .
5.	All trench backfill and compaction shall be in accordance Section 206 of the <i>City of Colorado Springs Standard Specifications Manual</i> and Section 5.18 of the <i>Water LESS</i> .
WASTEWATER:	
1.	All cleanouts shall be the same size as the service line.
2.	The Contractor shall notify El Paso County Department of Health and Environment when any septic tank is to be abandoned and pay all fees necessary to obtain a permit.

GENERAL UTILITY PLAN NOTES	
1.	All water and wastewater work shall comply with the <i>Colorado Springs Utilities Line Extensions & Service Standards</i> , current edition.
2.	The Contractor and survey crew shall verify elevations of any existing sanitary sewer, storm sewer, water lines and manholes to be tied to prior to construction or staking of pipe.
3.	The Contractor shall be responsible for recording As-Built information on a set of record drawings.
4.	The Contractor shall contact all appropriate utility companies, Colorado Springs Utilities and the City prior to the beginning of any construction. Contractor shall be responsible for locating any existing utility (including depths) which are within the proposed construction area. All existing utilities shall be protected from damage by the contractor. Damaged utilities shall be repaired by the Contractor at his own expense.
5.	The locations of existing utilities are based upon the best available information, are shown in an approximate way only, and have not been independently verified by the Owner or its representative. The Contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might be occasioned by the Contractor's failure to exactly locate and preserve any and all utilities.
6.	Pipe backfilling shall not occur until pipe has been inspected.
7.	Begin laying pipe at the lowest point, with the bells uphill. Lay the pipe in accordance with the manufacturer's specifications and recommendations. Lay pipe true to line and grade as shown on the drawings.
8.	All sanitary sewer pipe lengths and slopes are figured from center of manhole, bends, wye and the inside wall of inlets. Pipe lengths are given as a horizontal length and are approximate.
9.	All sanitary sewer pipe bedding to be Class B bedding, unless otherwise noted.
10.	Manhole rim elevations are approximate only and are not to be taken as final elevations. Ring and cover to be set in centered concrete rings with ram-neck for adjustment to match final pavement elevation.
11.	Where appropriate, neatly saw cut all existing concrete and asphalt. The placement of additional paving shall be done to a neat work line, saw cutting a minimum of one (1) foot. Saw cutting will not be paid for separately but will be considered incidental to the work. Repair/replace all disturbed existing items with like materials and thicknesses. Any asphalt removed is to be replaced to meet the specifications of the Colorado Dept. of Transportation. Existing concrete pavement shall be scored then broken at joint to create a rough surface for the construction joint.
12.	All asphalt work requiring patching will be performed to a neat work line. The existing asphalt shall be saw cut. All asphalt patch work shall be at least 2' wide after the completion of work. New curb can be placed flush with the existing asphalt if it is to a neat work line.
13.	With notification of the respective owner, adjust rims of all cleanouts, manholes and valve covers within pavement to 1/4 to 1/2 inch below the finished grade and cross slope prior to final lift paving and adjust to match finish grade in unpaved areas.

SHEET INDEX	
C400	COVER
C411	UTILITY PLAN
C421	WATER DETAILS
C431	WASTEWATER DETAILS

UTILITY PLAN
PRAIRIE HEIGHTS SCHOOL
COVER
FOUNTAIN, COLORADO

Project No.:	24047
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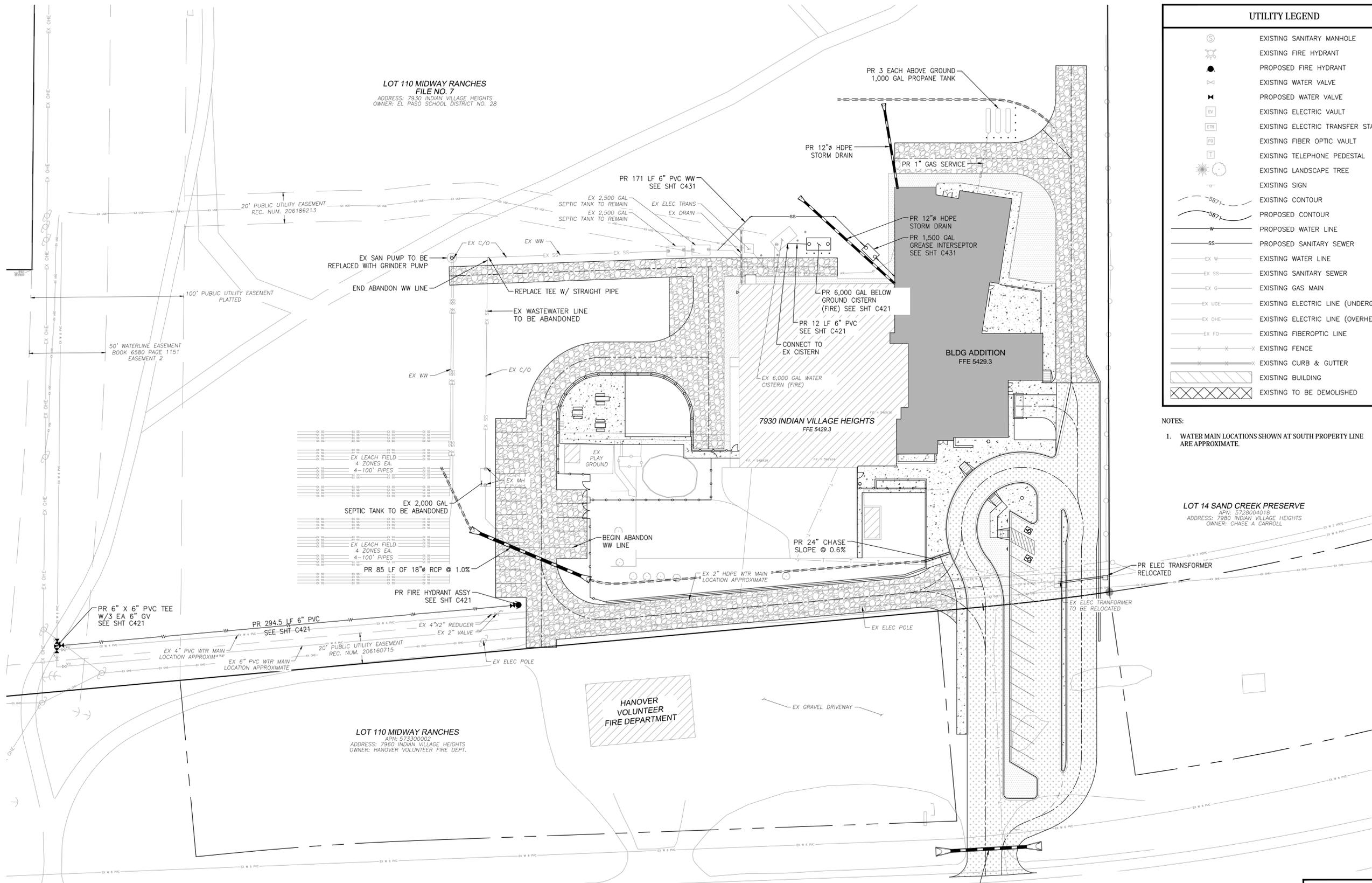
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Know what's below.
Call before you dig.

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LOT 110 MIDWAY RANCHES
FILE NO. 7
ADDRESS: 7930 INDIAN VILLAGE HEIGHTS
OWNER: EL PASO SCHOOL DISTRICT NO. 28

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ADDRESS: 7960 INDIAN VILLAGE HEIGHTS
OWNER: HANOVER VOLUNTEER FIRE DEPT.

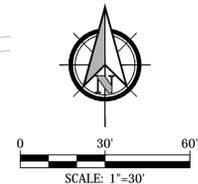
INDIAN VILLAGE HEIGHTS
(PUBLIC R.O.W. VARIES)

LOT 58 VALEROSA VILLAGE
FILE NO. 1
APN: 5733002005
ADDRESS: 7805 INDIAN VILLAGE HEIGHTS
OWNER: RAMON VENZOR

UTILITY LEGEND	
	EXISTING SANITARY MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	EXISTING WATER VALVE
	PROPOSED WATER VALVE
	EXISTING ELECTRIC VAULT
	EXISTING ELECTRIC TRANSFER STATION
	EXISTING FIBER OPTIC VAULT
	EXISTING TELEPHONE PEDESTAL
	EXISTING LANDSCAPE TREE
	EXISTING SIGN
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER
	EXISTING WATER LINE
	EXISTING SANITARY SEWER
	EXISTING GAS MAIN
	EXISTING ELECTRIC LINE (UNDERGROUND)
	EXISTING ELECTRIC LINE (OVERHEAD)
	EXISTING FIBEROPTIC LINE
	EXISTING FENCE
	EXISTING CURB & GUTTER
	EXISTING BUILDING
	EXISTING TO BE DEMOLISHED

NOTES:
1. WATER MAIN LOCATIONS SHOWN AT SOUTH PROPERTY LINE ARE APPROXIMATE.

LOT 14 SAND CREEK PRESERVE
APN: 5728004018
ADDRESS: 7980 INDIAN VILLAGE HEIGHTS
OWNER: CHASE A CARROLL



IN PROGRESS
NOT FOR CONSTRUCTION
For and on Behalf of
Kiowa Engineering Corporation
Date

Kiowa
Engineering Corporation
1604 South 21st Street
Colorado Springs, Colorado 80904
(719) 630-7342

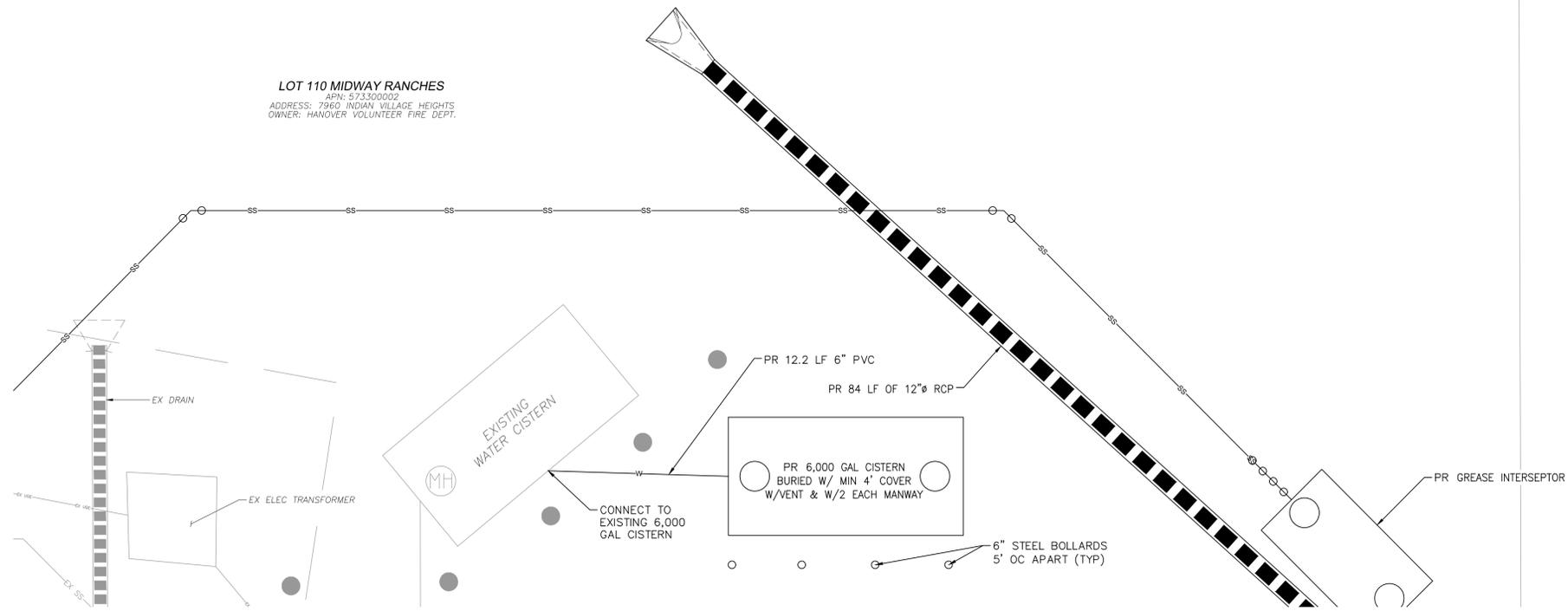
UTILITY PLAN
PRAIRIE HEIGHTS SCHOOL
UTILITY PLAN
FOUNTAIN, COLORADO

Project No.: 24047
Date: 1/27/25
Design: TAC
Drawn: TEG
Check: -
Revisions:

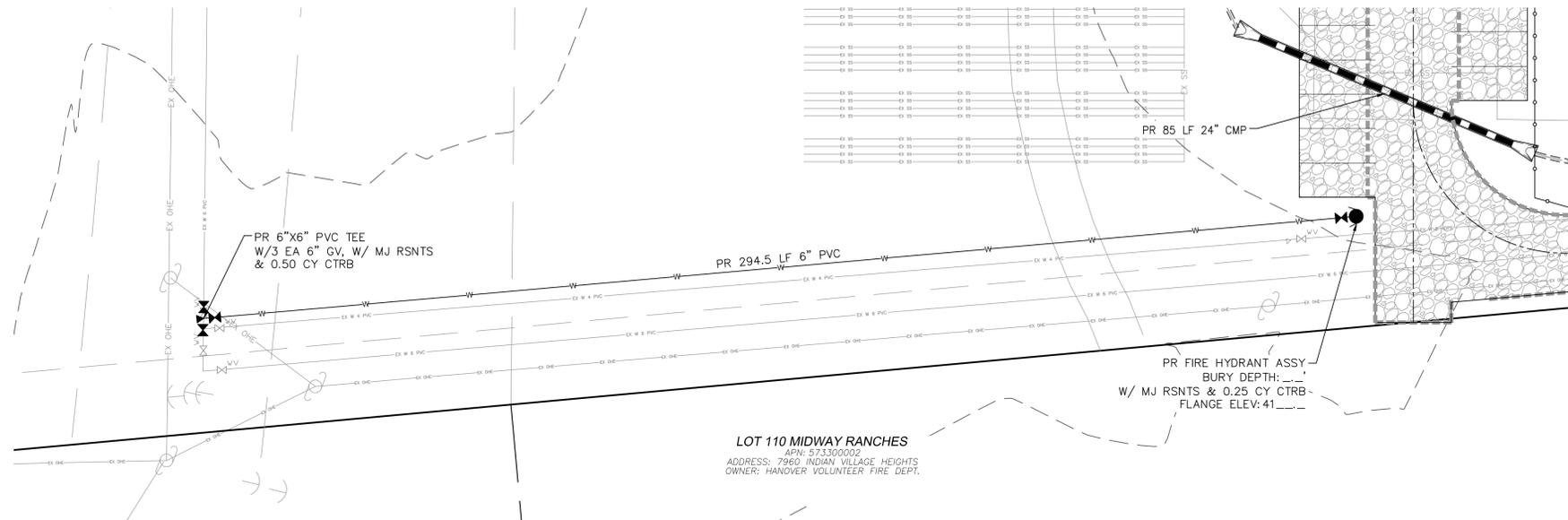
SHEET
C411
OF _ SHEETS

K:\2024\24047\Prairie Hts school\Drawings\CDs\24047 C400 UT.dwg Jan 27, 2025 - 4:45pm

LOT 110 MIDWAY RANCHES
 APN: 573300002
 ADDRESS: 7960 INDIAN VILLAGE HEIGHTS
 OWNER: HANOVER VOLUNTEER FIRE DEPT.



B WATER CISTERN DETAIL
 C421 SCALE: 1" = 5'



LOT 110 MIDWAY RANCHES
 APN: 573300002
 ADDRESS: 7960 INDIAN VILLAGE HEIGHTS
 OWNER: HANOVER VOLUNTEER FIRE DEPT.

B WATER MAIN EXTENSION DETAIL
 C421 SCALE: 1" = 20'



Know what's below.
 Call before you dig.

IN PROGRESS
 NOT FOR CONSTRUCTION

For and on Behalf of
 Kiowa Engineering Corporation Date

UTILITY PLAN
 PRAIRIE HEIGHTS SCHOOL
 WATER DETAILS
 FOUNTAIN, COLORADO

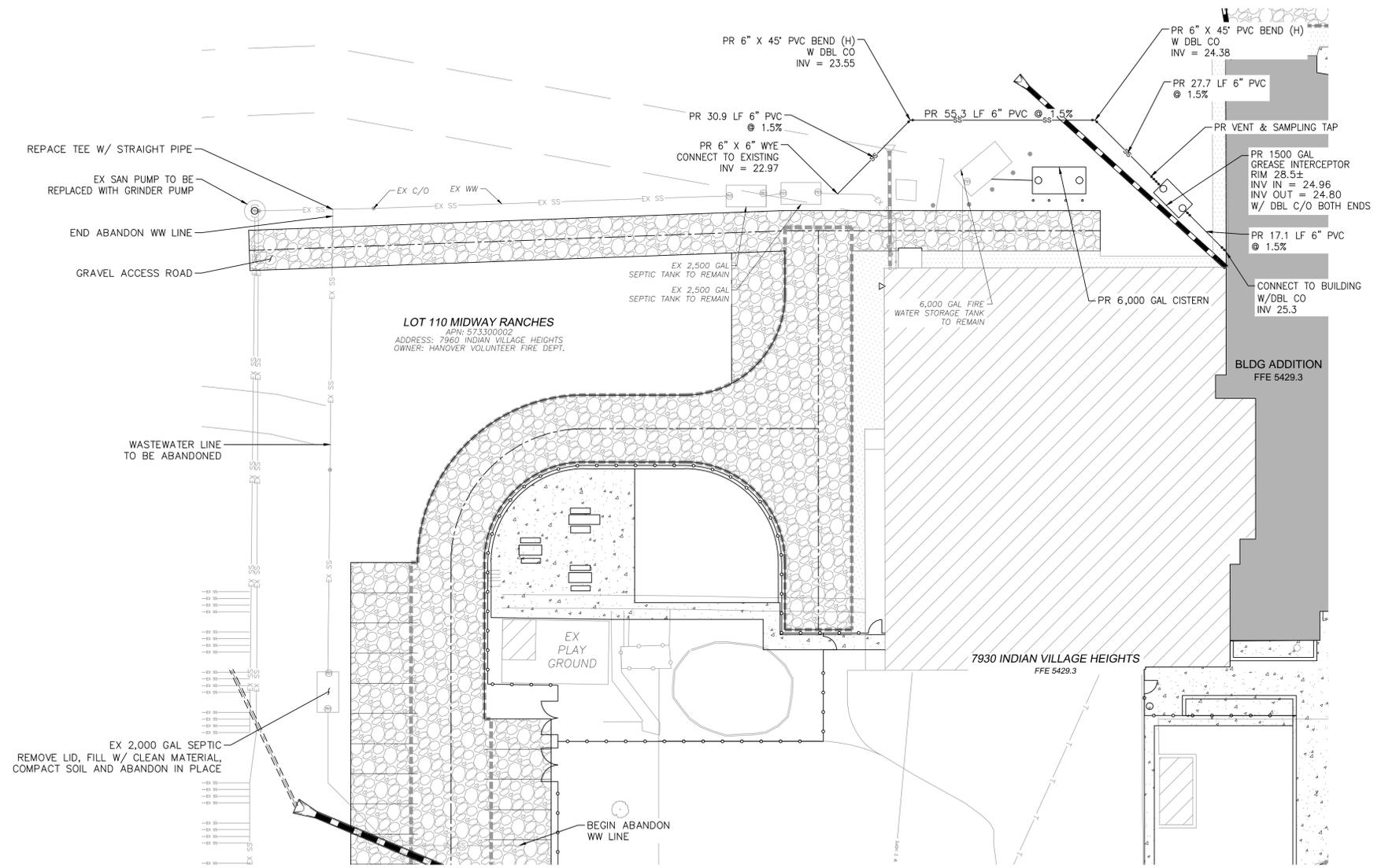
Project No.:	24047
Date:	1/27/25
Design:	TAC
Drawn:	TEG
Check:	-
Revisions:	

SHEET

C421

OF _ SHEETS

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A WASTEWATER SYSTEM DETAIL
C431 SCALE: 1" = 20'



Know what's below.
Call before you dig.

IN PROGRESS
 NOT FOR CONSTRUCTION

For and on Behalf of
 Kiowa Engineering Corporation Date

UTILITY PLAN
 PRAIRIE HEIGHTS SCHOOL
 WASTEWATER DETAIL
 FOUNTAIN, COLORADO

Project No.:	24047
Date:	1/27/25
Design:	TAC
Drawn:	TEG
Check:	-
Revisions:	