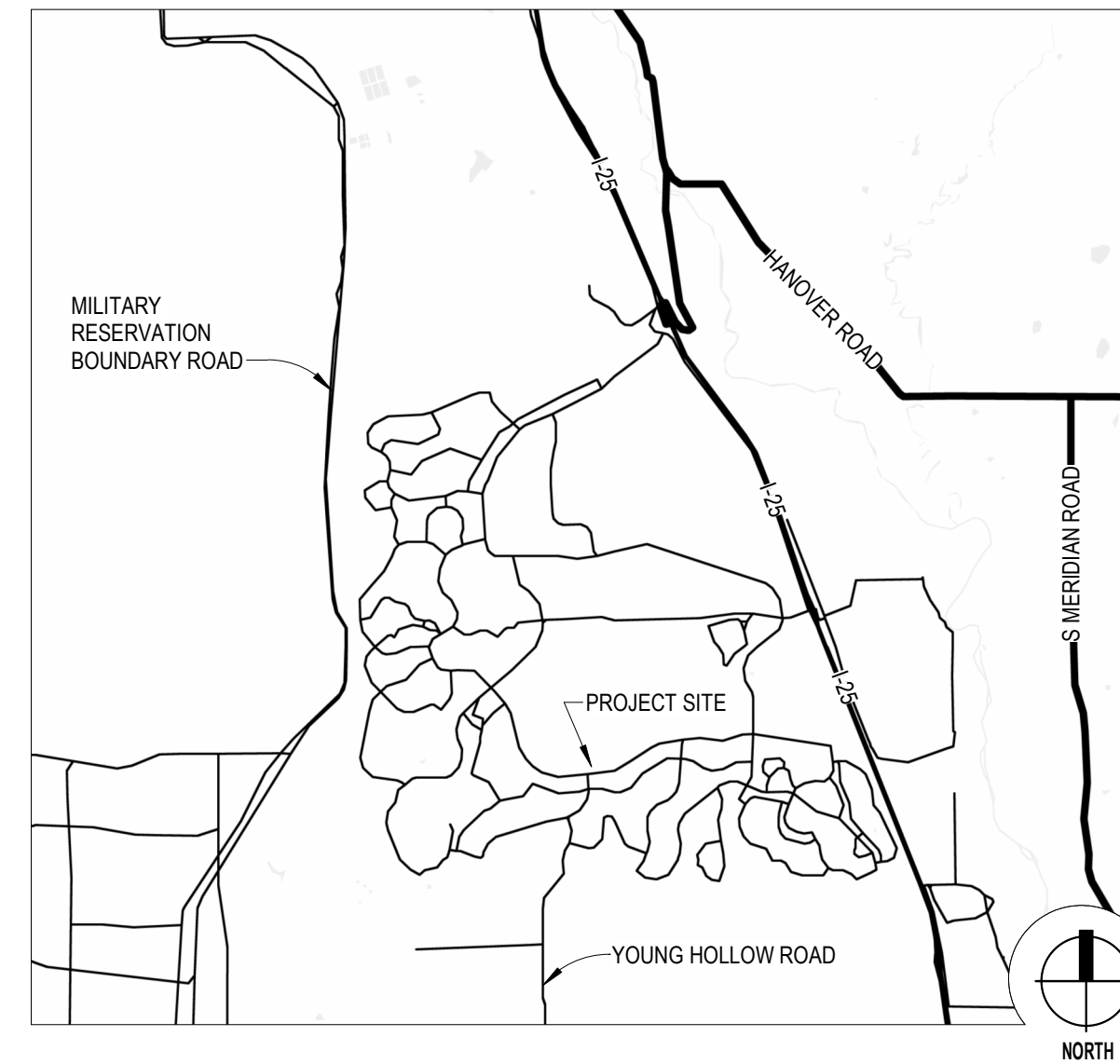


SUMMARY TABLE

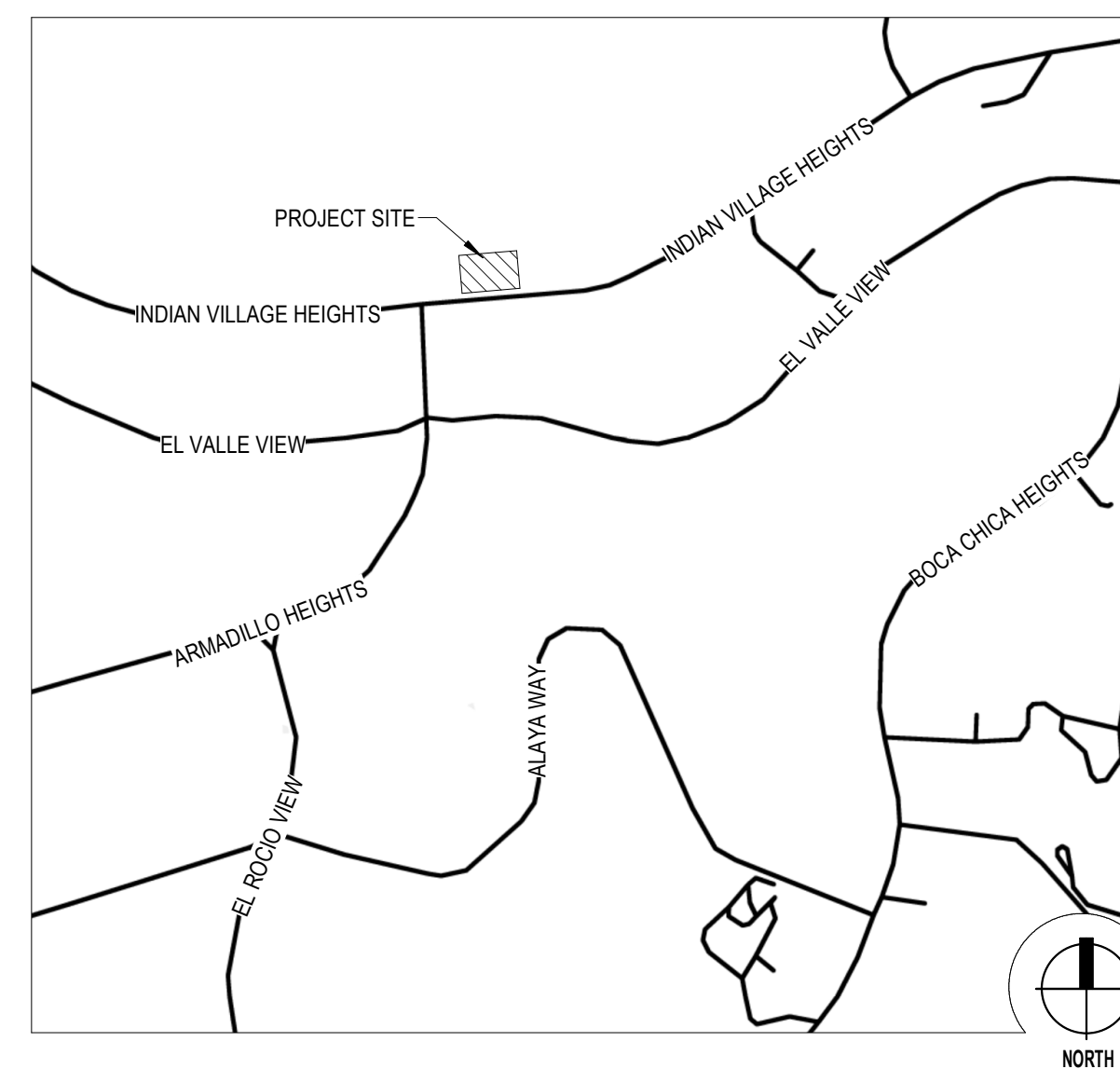
OWNER NAME: EL PASO COUNTY SCHOOL DIST NO 28 DBA HANOVER SCHOOL DIST NO 28
 OWNER PHONE NUMBER: (719) 683-2247
 OWNER EMAIL:
 PROPERTY ADDRESS: 7930 INDIAN VILLAGE HEIGHTS, FOUNTAIN, CO 80817
 PROPERTY TAX SCHEDULE NUMBER: 5728004015
 CURRENT ZONING: RR-5
 LEGAL DESCRIPTION: LOT 110 MIDWAY RANCHES FIL NO 7 TOG WITH THAT POR OF VACATED INDIAN VILLAGE HEIGHTS CONV BY REC #211079061
 LOT/PARCEL SIZE: 38.55 ACRES
 LOT AREA COVERAGE CALCULATION: 23,985 SF / 1,679,673.6 SF = 1.427% < 25% MAXIMUM
 EXISTING / PROPOSED LAND USE AND ZONING: EDUCATIONAL INSTITUTION, PUBLIC & RR-5. NO CHANGE PROPOSED
 TOTAL GROSS BUILDING SQUARE FOOTAGE: 23,985 SF
 PARKING COMPUTATIONS: 2 SPACES REQUIRED PER CLASSROOM (LDC 6.2.5 TABLE 6-2)
 12 CLASSROOMS = 24 SPACES REQUIRED
 31 SPACES PROVIDED

ACKNOWLEDGEMENT:
 The owner agrees on behalf of himself and any developer or builder successors and assigns that Subdivider and/or said successors and assigns shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program Resolution (Resolution No. 19-471), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on plat notes to ensure that a title search would find the fee obligation before sale of the property.

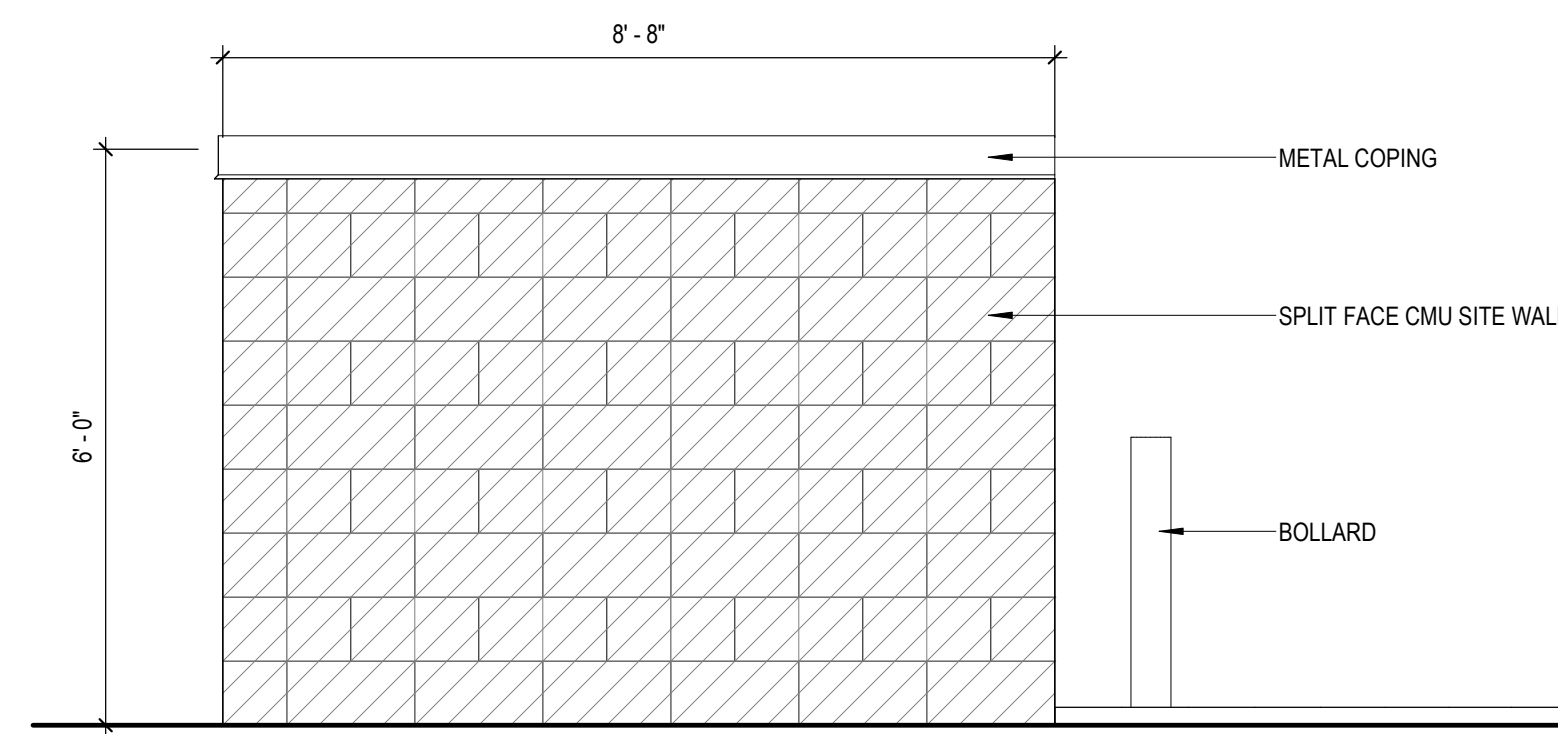
VICINITY MAP - WIDER CONTEXT



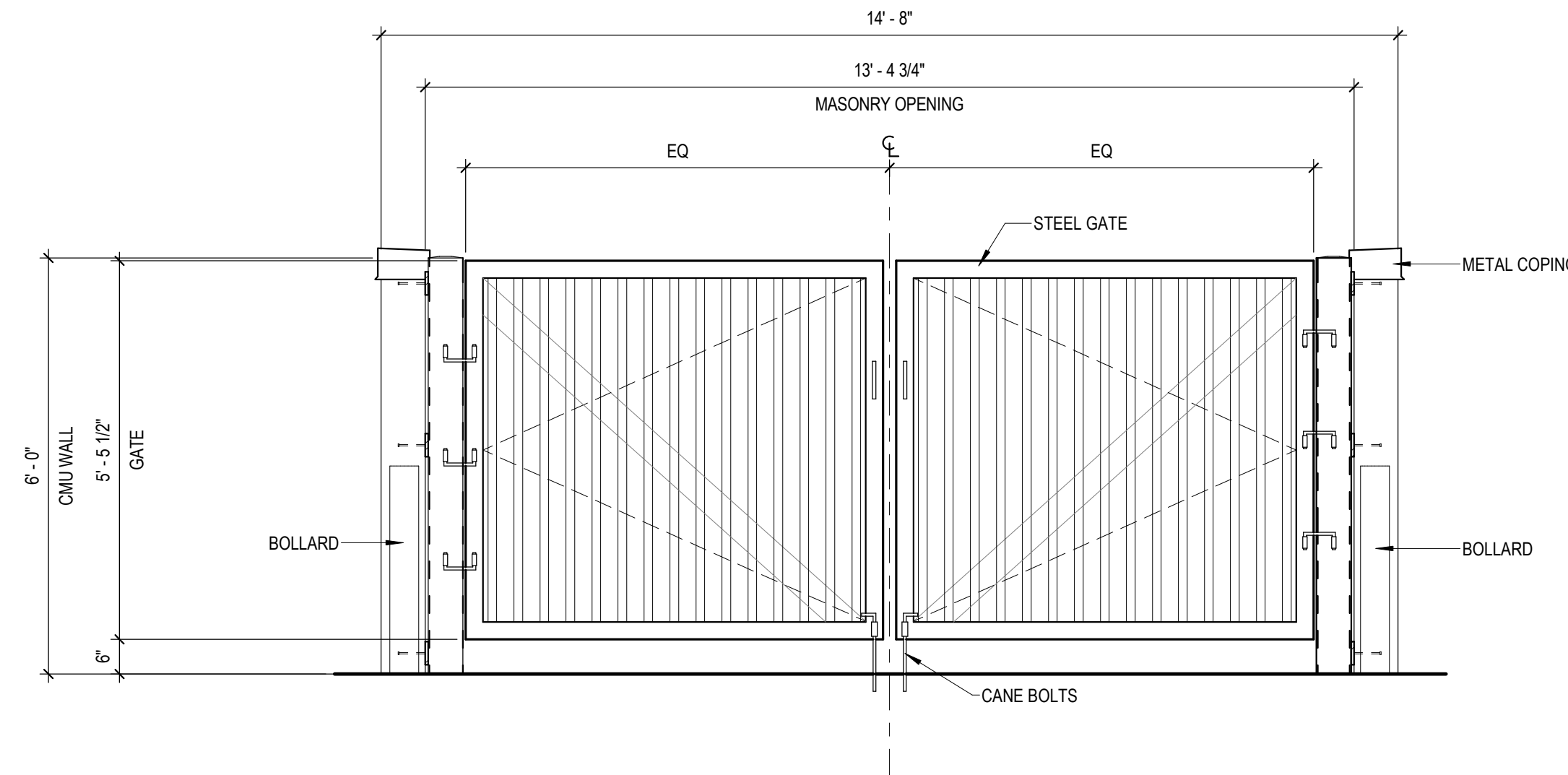
VICINITY MAP - IMMEDIATE CONTEXT



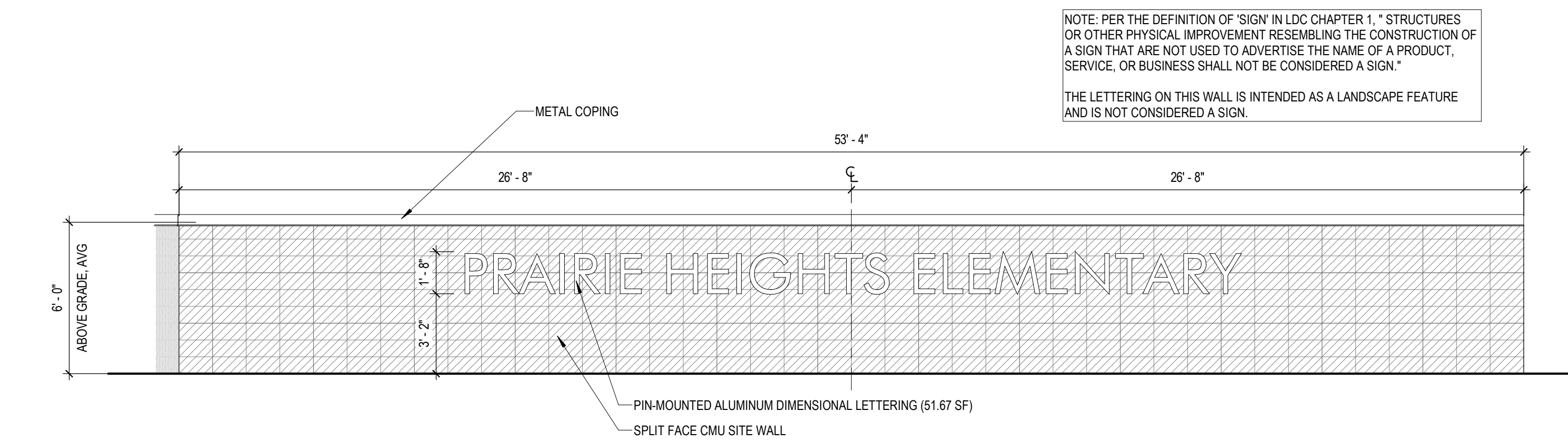
SIGNATURE BLOCK



2 TRASH ENCLOSURE - SOUTH
1/2" = 1'-0"



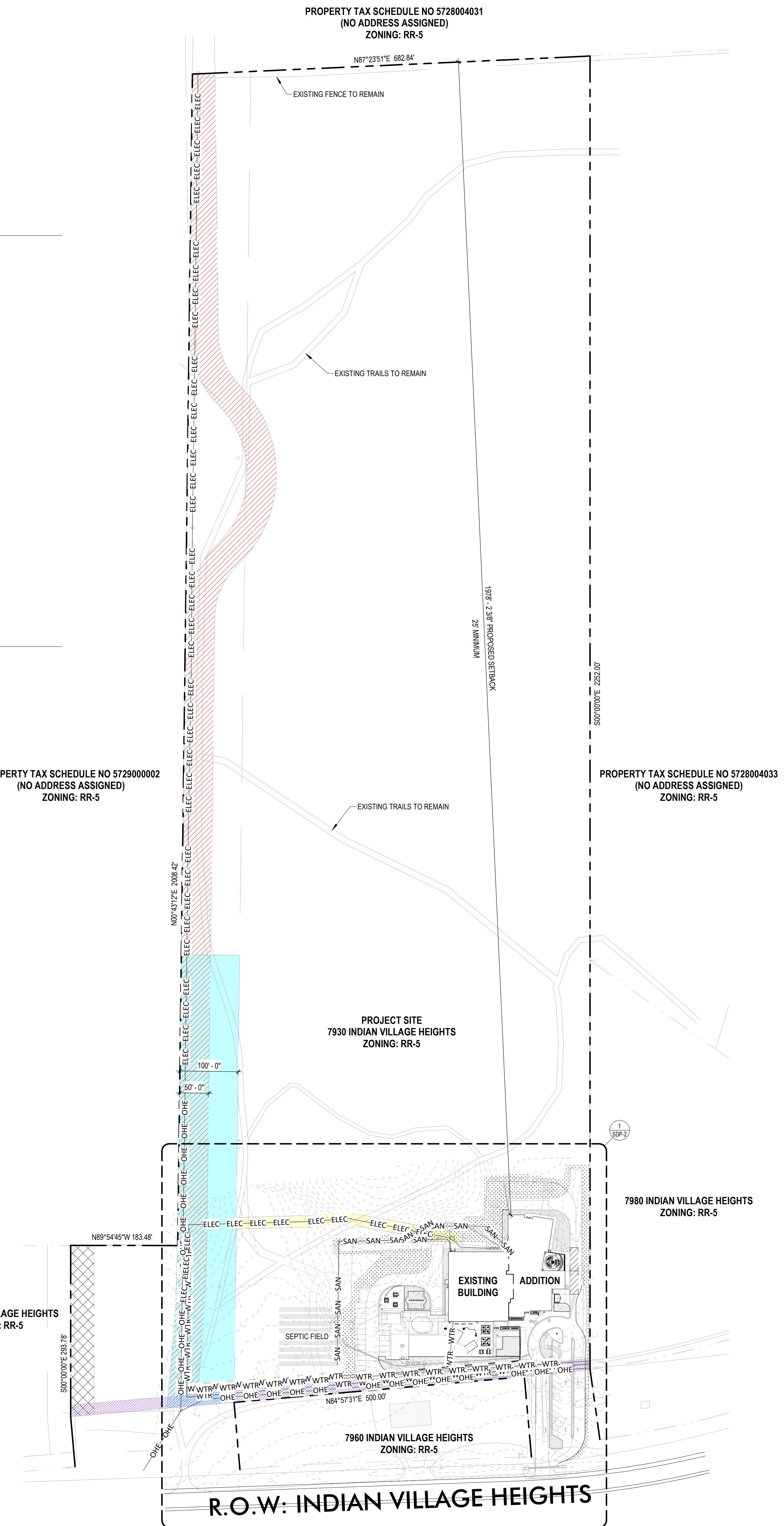
3 TRASH ENCLOSURE - EAST
1/2" = 1'-0"



NOTE: PER THE DEFINITION OF "SIGN" IN LDC CHAPTER 1, "S" STRUCTURES OR OTHER PHYSICAL IMPROVEMENT RESEMBLING THE CONSTRUCTION OF A SIGN THAT ARE NOT USED TO ADVERTISE THE NAME OF A PRODUCT, SERVICE, OR BUSINESS SHALL NOT BE CONSIDERED A SIGN.
 THE LETTERING ON THIS WALL IS INTENDED AS A LANDSCAPE FEATURE AND IS NOT CONSIDERED A SIGN.

SDP LEGEND

- 20' UTILITY EASEMENT (REC. NO. 206160715)
- 80' PUBLIC INGRESS/EGRESS AND UTILITY EASEMENT (PLATTED) 40' OF EASEMENT ON PROJECT SITE
- 100' PUBLIC UTILITY EASEMENT (PLATTED)
- 20' UTILITY EASEMENT (REC. NO. 206160213)
- 50' WATERLINE EASEMENT BOOK 6580 PAGE 1151 EASEMENT NO. 2
- WTR - WTR - WTR WATER LINE
- ELEC - ELEC - ELEC ELECTRICAL (UNDERGROUND)
- OHE - OHE - OHE ELECTRICAL (OVERHEAD)
- SAN - SAN - SAN SANITARY SEWER
- PROPERTY LINE



1 SDP - FULL SITE
1" = 100'-0"

NOT FOR CONSTRUCTION

REVISION	DATE
DESIGN DEVELOPMENT	
Project Number	024159.00
Date	JANUARY 24, 2025
Drawn By	Author
Checked By	Checker
ALL DRAWING AND WRITTEN INFORMATION APPEARING HEREIN SHALL NOT BE DUPLICATED, DISCLOSED OR OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF MOA ARCHITECTURE	

Sheet Name: **SITE DEVELOPMENT PLAN**



PRAIRIE HEIGHTS ELEMENTARY SCHOOL
 7930 INDIAN VILLAGE HEIGHTS, FOUNTAIN, CO

NOT FOR CONSTRUCTION

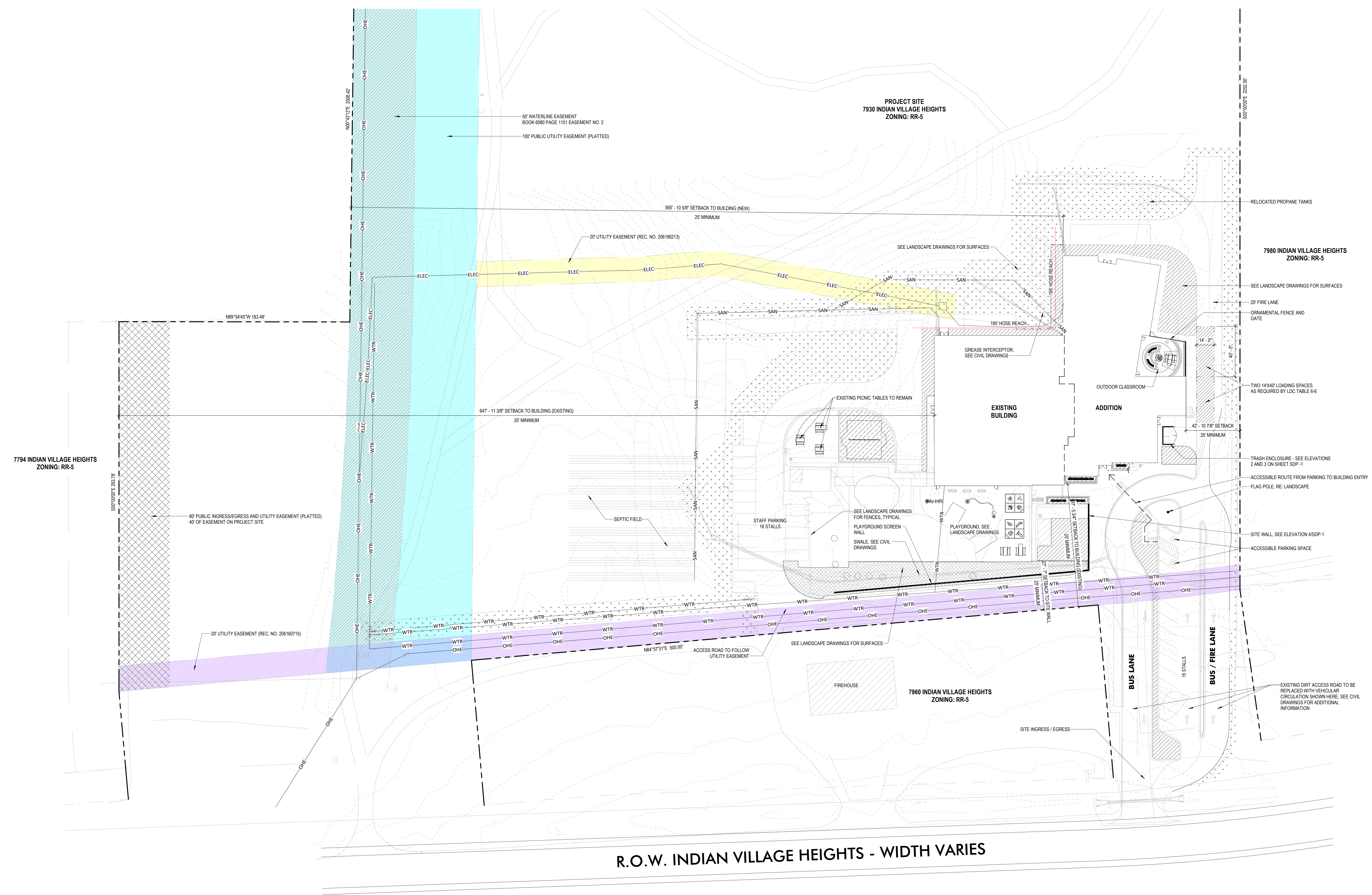
REVISION	DATE
DESIGN DEVELOPMENT	
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Sheet Name
 SITE DEVELOPMENT PLAN

SDP-2

SDP LEGEND

- 20' UTILITY EASEMENT (REC. NO. 206160715)
- 80' PUBLIC INGRESS/EGRESS AND UTILITY EASEMENT (PLATTED) 40' OF EASEMENT ON PROJECT SITE
- 100' PUBLIC UTILITY EASEMENT (PLATTED)
- 20' UTILITY EASEMENT (REC. NO. 206186213)
- 50' WATERLINE EASEMENT BOOK 6580 PAGE 1151 EASEMENT NO. 2
- WTR—WTR—WTR WATER LINE
- ELEC—ELEC—ELEC ELECTRICAL (UNDERGROUND)
- OHE—OHE—OHE ELECTRICAL (OVERHEAD)
- SAN—SAN—SAN SANITARY SEWER
- PROPERTY LINE



R.O.W. INDIAN VILLAGE HEIGHTS - WIDTH VARIES