



**Planning and Community
Development Department**
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DEVIATION REQUEST AND DECISION FORM

Updated: 6/26/2019

PROJECT INFORMATION

Project Name :	Joyful View Subdivision
Schedule No.(s) :	3300000466, 330000047
Legal Description :	TR IN SW4 SEC 33-13-63 DESC AS FOLS: COM AT THE SW COR OF SD SEC 33, TH S 89<29'18" E 1167.44 FT FOR POB, TH N 00<43'29" E 2633.72 FT, S 89<29'18" E 577.00 FT, S 00<34'42" W 2633.71 FT, TH N 89<29'18" W 583.72 FT TO POB AKA TRACT 3 TR IN SW4 SEC 33-13-63 DESC AS FOLS: COM AT THE SW COR OF SD SEC 33, TH S 89<29'18" E 1167.44 FT FOR POB, TH N 00<43'29" E 2633.72 FT, S 89<29'18" E 577.00 FT, S 00<34'42" W 2633.71 FT, TH N 89<29'18" W 583.72 FT TO POB AKA TRACT 3

APPLICANT INFORMATION

Company :	Vertex Consulting Services
Name :	Nina Ruiz
	<input type="checkbox"/> Owner <input checked="" type="checkbox"/> Consultant <input type="checkbox"/> Contractor
Mailing Address :	455 E Pikes Peak Ave Suite 101 Colorado Springs, CO 80903
Phone Number :	719-733-8605
FAX Number :	N/A
Email Address :	Nina.ruiz@vertexc.com

ENGINEER INFORMATION

Company :	LSC Transportation Consultants, Inc.	Colorado P.E. Number :	31684
Name :	Jeffrey C. Hodsdon		
Mailing Address :	2504 E Pikes Peak Ave Suite 304 Colorado Springs, CO 80909		
Phone Number :	719-633-2868		
FAX Number :	719-633-5430		
Email Address :	jeff@LSCtrans.com		

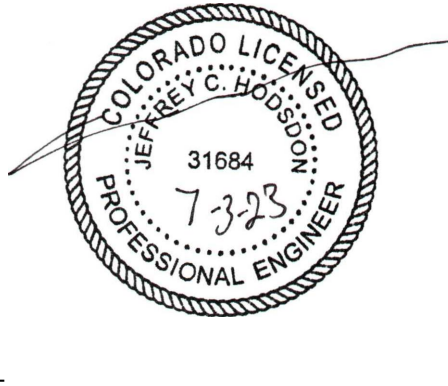
OWNER, APPLICANT, AND ENGINEER DECLARATION

To the best of my knowledge, the information on this application and all additional or supplemental documentation is true, factual and complete. I am fully aware that any misrepresentation of any information on this application may be grounds for denial. I have familiarized myself with the rules, regulations and procedures with respect to preparing and filing this application. I also understand that an incorrect submittal will be cause to have the project removed from the agenda of the Planning Commission, Board of County Commissioners and/or Board of Adjustment or delay review until corrections are made, and that any approval of this application is based on the representations made in the application and may be revoked on any breach of representation or condition(s) of approval.

Signature of owner (or authorized representative)

Date

Engineer's Seal, Signature
And Date of Signature



DEVIATION REQUEST (Attach diagrams, figures, and other documentation to clarify request)

A deviation from the standards of or in Section 2.3.2 of the Engineering Criteria Manual (ECM) is requested.

Identify the specific ECM standard which a deviation is requested: The applicant is requesting a deviation to allow construction of Joyful View and Ellias Way, which will provide access to the proposed subdivision, as **private** Rural Local (Gravel) roads with a width of 20' within a 30' easement. Please refer to the attached construction drawings.

2.3.2 Design Standards by Functional Classification
Table 2-5: Roadway Design Standards for Rural Collectors and Locals
Criteria for a Rural Local Gravel roadway -roadway surface width and ROW width.

There are no restrictions to building out Ellias Way to full width to county standard

State the reason for the requested deviation:

- No adjacent or connecting public ROW is available. Joyful View is being added as a private road easement and will be the only available connection to public ROW.
- The applicant does not have legal rights to access beyond the 30' easement that is in place.
- Adjacent property owners will not provide the applicant with an additional easement.
- It is **not possible to meet the EPC requirement for a public road due to easement constraints.**

Explain the proposed alternative and compare to the ECM standards (May provide applicable regional or national standards used as basis):

The following alternatives to Rural Local gravel roadway standards are requested, per criteria in Table 2-5 of the ECM. Please refer to the attached CD set.

- Joyful View and Ellias Way **would be 20-foot-wide private, gravel roadways within the available 30-foot easement.**
- The ECM requires that Rural Local gravel roadways consist of one 12-foot-wide travel lane per direction and 4-foot outside shoulders on each side, totaling 32 feet
- The proposed total roadway width would be 12 feet narrower than the ECM standard.
- The roadway design includes drainage facilities.
- **Joyful View is being proposed as a half-section,** which would allow for expansion to the full ECM cross section in the future (by others) if an additional easement or potentially future ROW becomes available.

The private road can be completely built on development side.

This road section does not provided minimum 2 way traffic on a dead end road. Does not meet fire access road standards.

This justification conflicts with the ability to provide a full cross section

LIMITS OF CONSIDERATION

(At least one of the conditions listed below must be met for this deviation request to be considered.)

- The ECM standard is inapplicable to the particular situation.
- Topography, right-of-way, or other geographical conditions or impediments impose an undue hardship and an equivalent alternative that can accomplish the same design objective is available and does not compromise public safety or accessibility.
- A change to a standard is required to address a specific design or construction problem, and if not modified, the standard will impose an undue hardship on the applicant with little or no material benefit to the public.

Provide justification:

- No adjacent or connecting public ROW is available. Joyful View is being added as a private road easement and will be the only available connection to the public ROW.
- The applicant does not have legal rights to access beyond the 30' easement that is in place.
- Adjacent property owners will not provide the applicant with an additional easement.
- It is not possible to meet the EPC requirement for a public road due to easement constraints.

CRITERIA FOR APPROVAL

Per ECM section 5.8.7 the request for a deviation may be considered if the request is **not based exclusively on financial considerations**. The deviation must not be detrimental to public safety or surrounding property. The applicant must include supporting information demonstrating compliance with **all of the following criteria**:

The deviation will achieve the intended result with a comparable or superior design and quality of improvement.

- The alignment of Ellias Way does not have horizontal or vertical curvature, so a narrower roadway width would not affect sight distance for oncoming vehicles in either direction.
- Ellias Way would be a low-volume roadway. The projected ADT of 110 vehicles/day (vpd) would be lower than the design ADT for a Rural Local gravel roadway (200 vpd).
- The roadway design includes drainage facilities.
- Joyful View is being proposed as a half-section, which would allow for expansion to the full ECM cross section in the future (by others) if an additional easement or potentially future ROW becomes available.

The deviation will not adversely affect safety or operations.

- The projected ADT of 110 vehicles/day (vpd) would be relatively low and significantly lower than the design ADT for a Rural Local gravel roadway (200 vpd).
- The cul-de-sac will allow passenger, maintenance, and emergency vehicles to perform their duties along Ellias Way (the proposed site access roadway).
- This low-volume roadway will serve as access to this 9-lot subdivision and the adjacent lot to the west. Therefore, use will be predominantly by familiar drivers (mostly all passenger vehicles from subdivision residents).
- Similar low-volume roadways are frequently narrow and sometimes may function as one-lane roads, as speeds are generally within the local environment.
- A letter from the fire district will be required as part of the length of cul-de-sac deviation. This cross section would also be reviewed.
- Per Table 13-1 of *Geometric Design of Very Low Volume Local Roads*, a 20-foot total roadway width (including the width of both traveled way and shoulders) would be an acceptable roadway width given the site-specific conditions for this development. The design guidelines defined in the *Geometric Design Guidelines for Very Low-Volume Roads* provide less strict design criteria and do not compromise safety when applied to very low-volume roadways with familiar drivers. These guidelines allow for flexibility in designs to accommodate specific needs. Please refer to the table below for more details:

State what reference this is from

Letter not provided.

FD does not support one way road on a dead end road.

The deviation will not adversely affect safety or operations.

Total Roadway Width (ft) by Functional Classification						
Design Speed (mph)	Major Access	Minor Access	Recreational and Scenic	Industrial/Commercial Access	Resource Recovery	Agricultural Access
15	-	18.0	18.0	20.0	20.0	22.0
20	-	18.0	18.0	20.0	20.0	24.0
25	18.0	18.0	18.0	21.0	21.0	24.0
30	18.0	18.0	18.0	22.5	22.5	24.0
35	18.0	18.0	18.0	22.5	22.5	24.0
40	18.0	18.0	20.0	22.5	-	24.0
45	20.0	20.0	20.0	23.0	-	26.0
50	20.0	20.0	20.0	24.5	-	-
55	22.0	-	22.0	-	-	-
60	22.0	-	-	-	-	-

Note: Total Roadway width includes the width of both traveled way and shoulders.

The deviation will not adversely affect maintenance and its associated cost.

- The owner's association will maintain these roadways

The deviation will not adversely affect aesthetic appearance.

- The roadway will be built as a 20' gravel roadway and will have an appearance similar to other gravel roadways in rural El Paso County.

The deviation meets the design intent and purpose of the ECM standards.

- The intent can be met, given the relatively low traffic volume and the addition of the emergency-only connection.
- The number of lots does not exceed the threshold number requiring a waiver of the Land Development Code.

The deviation meets the control measure requirements of Part I.E.3 and Part I.E.4 of the County's MS4 permit, as applicable.

- The proposed deviation requests have no impact on control measure requirements specified by the County's MS4 Permit.
- Appropriate stormwater control measures will be implemented by the project in accordance with the approved Drainage Report and Drainage Plans.

Please explain this?

REVIEW AND RECOMMENDATION:

Approved by the ECM Administrator

This request has been determined to have met the criteria for approval. A deviation from Section _____ of the ECM is hereby granted based on the justification provided.

Γ

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J

Denied by the ECM Administrator

This request has been determined not to have met criteria for approval. A deviation from Section _____ of the ECM is hereby denied.

Γ

Γ

L

J

ECM ADMINISTRATOR COMMENTS/CONDITIONS:

Attachments

- Plat
- Joyful View CDs

Final Plat

JOYFUL VIEW SUBDIVISION

A PART OF SECTION 33, TOWNSHIP 13 SOUTH, RANGE 63 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

KNOW ALL MEN BY THESE PRESENTS:

That the undersigned, OGC RE2 LLC, a Colorado limited liability company, being the owner of the following described tract of land:

TO WIT (DEED DESCRIPTION):

Tract 2:
A tract of land located in the Southwest 1/4 of Section 33, Township 13 South, Range 63 West of the 6th Principal Meridian, El Paso County, State of Colorado, described as follows:

Commencing at the Southwest corner of Said Section 33; thence South 89°29'18" East coincident with the South line of said Section 33, a distance of 583.72 feet to the Point of Beginning of a tract of land described herein; thence North 00°52'15" East, a distance of 2633.76 feet; thence South 89°29'18" East, a distance of 577.00 feet; thence South 00°43'29" West, a distance of 2633.72 feet; thence North 89°29'18" West coincident with the South line of said Section 33, a distance of 583.72 feet to the Point of Beginning, County of El Paso, State of Colorado.

Tract 3:
A tract of land located in the Southwest 1/4 of Section 33, Township 13 South, Range 63 West of the 6th principal meridian, El Paso County, State of Colorado, described as follows:

Commencing at the Southwest corner of said Section 33; thence South 89°29'18" East coincident with the South line of said Section 33, a distance of 1167.44 feet to the Point of Beginning; thence North 00°43'29" East, a distance of 2633.72 feet; thence South 89°29'18" East, a distance of 577.00 feet; thence South 00°34'42" West, a distance of 2633.71 feet; thence North 89°29'18" West coincident with the South line of said Section 33, a distance of 583.72 feet to the Point of Beginning, County of El Paso, State of Colorado.

DEDICATION:

The undersigned, being all the Owners, Mortgages, Beneficiaries of Deeds of Trust and holders of other interests in the land described herein, have laid out, subdivided, and platted said lands into lots and easements as shown hereon under the name and subdivision of "JOYFUL VIEW". All public improvements so platted are hereby dedicated to public use and said Owner does hereby covenant and agree that the public improvements will be constructed to El Paso County standards and that proper drainage and erosion control for same will be provided at said Owner's expense, all to the satisfaction of the Board of County Commissioners of El Paso County, Colorado. Upon acceptance by resolution, all public improvements so dedicated will become matters of maintenance by El Paso County, Colorado. The utility easements shown hereon are hereby dedicated for public utilities and communication systems and other purposes as shown hereon. The entities responsible for providing the services for which the easements are established are hereby granted the perpetual right of ingress and egress from and to adjacent properties for installation, maintenance, and replacement of utility lines and related facilities.

IN WITNESS WHEREOF:

The aforementioned Kevin O'Neil, as Owner of OGC RE2 LLC, a Colorado limited liability company, has executed this instrument this _____ day of _____, 2023 A.D.

Kevin O'Neil, Owner

NOTARIAL:

STATE OF COLORADO)
COUNTY OF EL PASO) SS

The foregoing instrument was acknowledged before me this _____ day of _____, 2023 A.D. by Kevin O'Neil

Witness my hand and seal _____

Address _____

My Commission expires _____

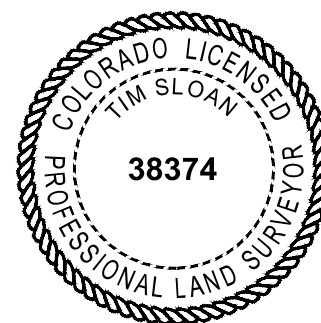
SURVEYOR'S CERTIFICATE:

I, Tim Sloan, a duly registered Professional Land Surveyor in the State of Colorado, do hereby certify that this plat truly and correctly represents the results of a survey made on March 16, 2023, by me or under my direct supervision and that all monuments exist as shown hereon; that mathematical closure errors are less than 1:10,000; and that said plat has been prepared in full compliance with all applicable laws of the State of Colorado dealing with monuments, subdivision, or surveying of land and all applicable provisions of the El Paso County Land Development Code.

I attest on this _____ day of _____, 20__.

Tim Sloan, Professional Land Surveyor Date _____

Colorado Registered PLS # _____

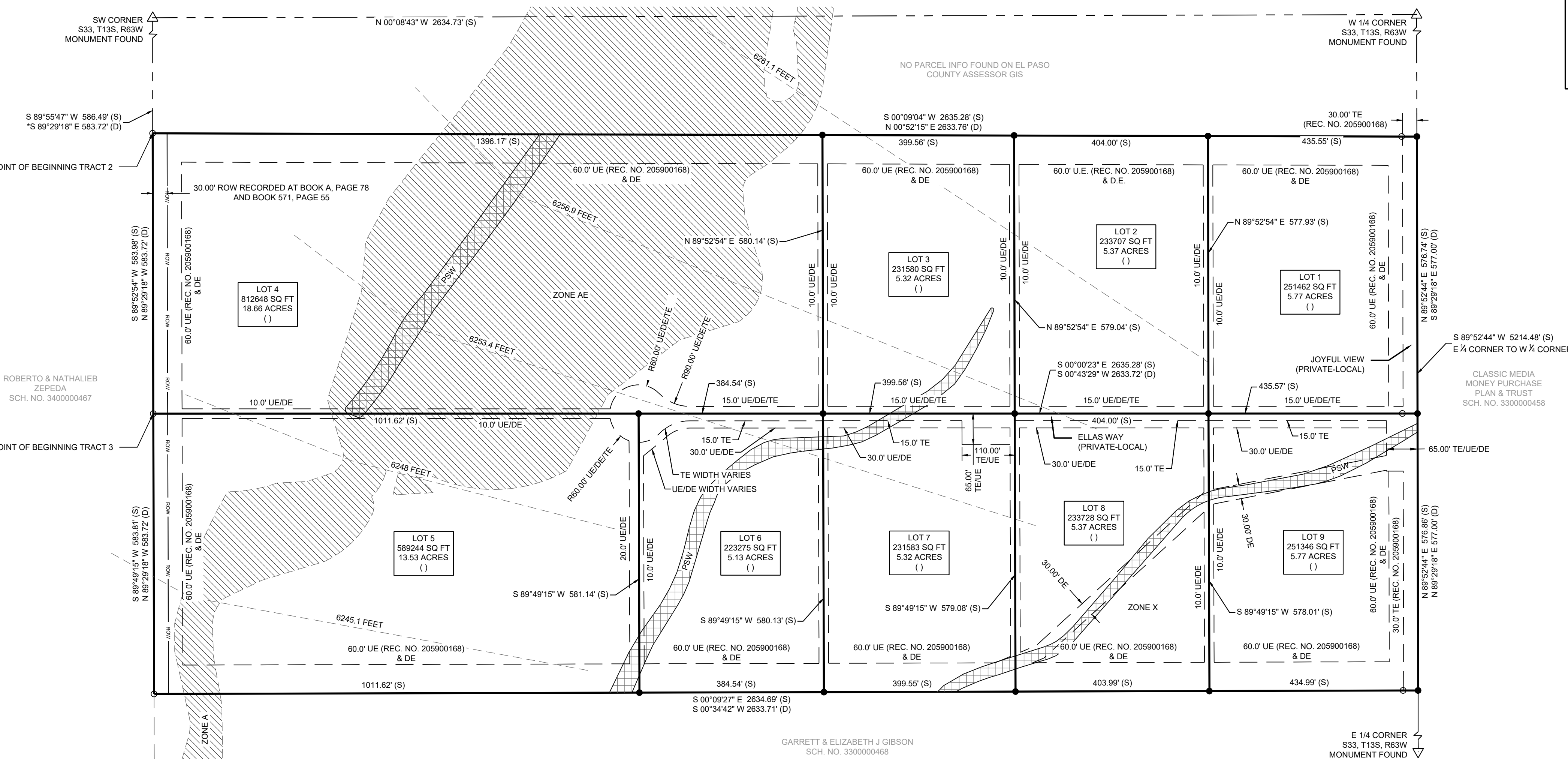


BOARD OF COUNTY COMMISSIONERS CERTIFICATE:

This Plat JOYFUL VIEW SUBDIVISION was approved for filing by the El Paso County, Colorado Board of County Commissioners on the _____ day of _____, 2023, subject to any notes specified hereon and any conditions included in the resolution of approval. The dedications of land to the public easements are accepted, but public improvements thereon will not become the maintenance responsibility of El Paso County until preliminary acceptance of the public improvements in accordance with the requirements of the Land Development Code and Engineering Criteria Manual, and the Subdivision Improvements Agreement.

Chair, Board of County Commissioners Date _____

Director, Planning and Community Development Department Date _____



NOTES:

- NO GAPS OR OVERLAPS EXIST.
- THERE ARE NO LINES OF POSSESSION THAT AFFECT THIS SURVEY.
- PARENT TRACT IS RECORDED AS INSTRUMENT #205900168, CLERK & RECORDER'S OFFICE, EL PASO COUNTY, COLORADO.
- ALL BUILDING SETBACK REQUIREMENTS SHALL BE DETERMINED BY THE ZONING DISTRICT, UNLESS OTHERWISE NOTED.
- THIS ZONING DOES NOT CONSTITUTE A TITLE SEARCH BY SMH CONSULTANTS. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD, FOR INFORMATION REGARDING EASEMENTS AND RIGHT OF WAY, SMH CONSULTANTS RELIED UPON THE TITLE POLICY PREPARED BY HERITAGE TITLE COMPANY INC., DATED APRIL 6, 2018.
- BASIS OF BEARINGS IS THE SOUTH LINE OF SECTION 33, TOWNSHIP 13 SOUTH, RANGE 65 WEST, MONUMENTED AS SHOWN AND ASSUMED TO BEAR NORTH 89 DEGREES 29 MINUTES 18 SECONDS WEST, 583.72 FEET.
- SEWAGE TREATMENT IS THE RESPONSIBILITY OF EACH INDIVIDUAL PROPERTY OWNER. THE EL PASO COUNTY PUBLIC HEALTH DEPARTMENT MUST APPROVE EACH SYSTEM AND, IN SOME CASES, THE DEPARTMENT MAY REQUIRE AN ENGINEER-DESIGNED SYSTEM PRIOR TO PERMITTING APPROVAL.
- INDIVIDUAL WELLS ARE THE RESPONSIBILITY OF EACH PROPERTY OWNER. PERMITS FOR INDIVIDUAL WELLS MUST BE OBTAINED FROM THE STATE ENGINEER WHO BY LAW HAS THE AUTHORITY TO SET CONDITIONS FOR THE ISSUANCE OF THESE PERMITS.
- WATER IN THE DENVER WATER BASIN AQUIFERS IS ALLOCATED BASED ON A 100-YEAR AQUIFER LIFE; HOWEVER, FOR EL PASO COUNTY PLANNING PURPOSES, WATER IN THE DENVER BASIN AQUIFERS IS ELATED BASED ON A 300-YEAR AQUIFER LIFE. APPLICANTS, THE HOME OWNERS ASSOCIATION, AND ALL FUTURE OWNERS IN THE SUBDIVISION SHOULD BE AWARE THAT THE ECONOMIC LIFE OF A WATER SUPPLY BASED ON WELLS IN A GIVEN DENVER BASIN AQUIFER MAY BE LESS THAN EITHER THE 100 YEARS OR 300 YEARS INDICATED DUE TO ANTICIPATED WATER LEVEL DECLINES. FURTHERMORE, THE WATER SUPPLY PLAN SHOULD NOT RELY SOLELY UPON NON-RENEWABLE AQUIFERS. ALTERNATIVE RENEWABLE WATER RESOURCES SHOULD BE ACQUIRED AND INCORPORATED IN A PERMANENT WATER SUPPLY PLAN THAT PROVIDES FUTURE GENERATIONS WITH A WATER SUPPLY.
- THE SUBDIVIDER(S) AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNEES SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.
- THE OWNER, ITS SUCCESSORS AND ASSIGNS SHALL ADVISE THE FUTURE OWNERS OF THESE LOTS OF ALL APPLICABLE REQUIREMENTS OF THE DETERMINATION OF WATER RIGHT 1940-8D.
- ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORMWATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPED THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
- DUE TO WILDFIRE CONCERNS, THE PROPERTY OWNER IS ENCOURAGED TO INCORPORATE WILDFIRE FUEL BREAK PROVISIONS AS RECOMMENDED BY THE COLORADO STATE FOREST SERVICE AND ILLUSTRATED THROUGH PUBLICATIONS AVAILABLE THROUGH THE STATE FOREST SERVICE.
- ACCESS TO LOTS 1-9 SHALL BE THROUGH THE SHOWN TRAVEL EASEMENT. THE RESPONSIBILITY AND MAINTENANCE OF SAID EASEMENT IS SUBJECT TO THE MAINTENANCE AGREEMENT AND ALL COVENANTS AND RESTRICTIONS CONTAINED THEREIN, AS RECORDED AT RECEPTION NO. _____ OF THE RECORDS OF EL PASO COUNTY CLERK AND RECORDER.
- NO DRIVEWAY SHALL BE ESTABLISHED UNLESS AN ACCESS PERMIT HAS BEEN GRANTED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT. INDIVIDUAL LOT PURCHASERS ARE RESPONSIBLE FOR CONSTRUCTING DRIVEWAYS, INCLUDING NECESSARY DRAINAGE CULVERTS FROM ELLAS WAY PER LAND DEVELOPMENT CODE SECTION 8.3.3.C.2 AND 8.3.3.C.3.
- DUE TO THEIR LENGTH, SOME OF THE DRIVEWAYS WILL NEED TO BE SPECIFICALLY APPROVED BY THE ELLICOTT FIRE PROTECTION DISTRICT.
- NO STRUCTURES OR MAJOR MATERIAL STORAGE ACTIVITIES ARE PERMITTED WITHIN THE DESIGNATED DRAINAGE EASEMENTS, EXCEPT FENCES. FENCES SHALL NOT IMPEDE RUNOFF FROM REACHING DRAINAGE SWALES.
- THE SUBDIVIDER(S) AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNEES SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.
- MAILBOXES SHALL BE INSTALLED IN ACCORDANCE WITH ALL EL PASO COUNTY DEPARTMENT OF TRANSPORTATION AND THE UNITED STATES POSTAL SERVICE REGULATIONS.
- THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE FINAL PLAT FOR THIS SUBDIVISION AND ARE ON FILE AT THE COUNTY DEVELOPMENT SERVICE DEPARTMENT: DRAINAGE REPORT, WATER RESOURCES REPORT, WASTEWATER DISPOSAL REPORT, GEOLOGY AND SOILS REPORT, FIRE PROTECTION REPORT, NATURAL FEATURES REPORT, ON-SITE WASTEWATER TREATMENT SYSTEM REPORT, AND TRAFFIC STUDY.
- THE ADDRESSES EXHIBITED ON THIS PLAT ARE FOR INFORMATIONAL PURPOSES ONLY. THEY ARE NOT THE LEGAL DESCRIPTION AND ARE SUBJECT TO CHANGE.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO C.R.S. § 18-4-508.
- A LOT-SPECIFIC SUBSURFACE SOIL INVESTIGATION WILL BE REQUIRED FOR ALL PROPOSED STRUCTURES INCLUDING (BUT NOT LIMITED TO) RESIDENCES, RETAINING WALLS ETC AND SEPTIC SYSTEMS. NO BASEMENTS OR INHABITABLE BELOW-GRADE AREAS ARE ALLOWED UNLESS GROUNDWATER MONITORING (THROUGH THE ANNUAL SEASONAL FLUCTUATIONS) BEFORE CONSTRUCTION DEMONSTRATES THAT BELOW-GRADE AREAS CAN MAINTAIN 3-5 FEET BETWEEN THE BOTTOM OF THE FOUNDATION AND THE GROUNDWATER, OR SITE GRADING INDICATES THAT IT WILL MITIGATE THE DEPTH TO GROUNDWATER.
- ALL PROPERTY WITHIN THIS SUBDIVISION IS SUBJECT TO A DECLARATION OF COVENANTS AS RECORDED AT RECEPTION NO. _____ OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER.
- THE PRIVATE ROADS SHOWN ON THIS PLAT WILL NOT BE MAINTAINED BY EL PASO COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH EL PASO COUNTY STANDARDS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION AND MAINTENANCE.
- THE TEMPORARY TURNAROUND EASEMENT AS SHOWN ON THIS PLAT AND REFERENCED IN THE EASEMENT AGREEMENT AS RECORDED AT RECEPTION NO. _____ OF THE RECORDS OF EL PASO COUNTY WILL BE VACATED UPON THE COMPLETION OF ROADWAY CONSTRUCTION OF JOYFUL VIEW WITH A FUTURE FINAL PLAT IN ACCORDANCE WITH THE TERMS OF SAID EASEMENT AGREEMENT.

RECORDINGS:

STATE OF COLORADO)
COUNTY OF EL PASO) SS

I hereby certify that this instrument was filed for record in my office at _____ o'clock _____ M. this _____ day of _____,

2023 A.D., and is duly recorded under Reception Number _____

_____ of the records of El Paso County, State of Colorado.

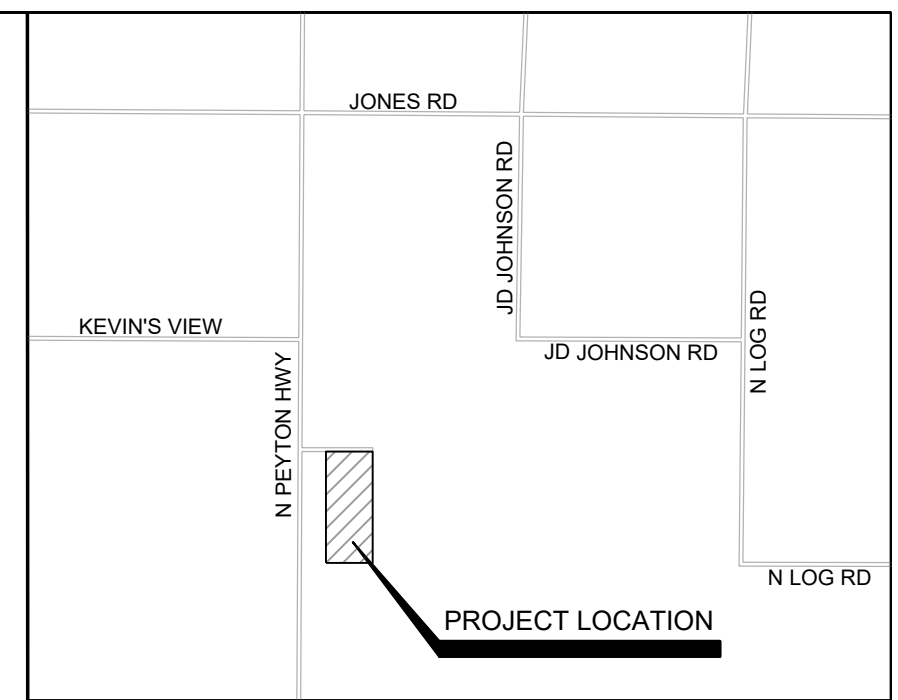
By: _____ El Paso County Clerk and Recorder Date _____

GARRETT & ELIZABETH J GIBSON
SCH. NO. 330000469

GEOLOGIC HAZARD NOTE:

THE FOLLOWING LOTS HAVE BEEN FOUND TO BE IMPACTED BY GEOLOGIC HAZARDS. MITIGATION MEASURES AND A MAP OF THE HAZARD AREA CAN BE FOUND IN THE SOILS & GEOLOGY REPORT BY ENTECH ENGINEERING, INC. DATED SEPTEMBER 22, 2021 IN FILE SF22-31 AVAILABLE AT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT:
*DOWNSLOPE CREEP:
*ROCKFALL SOURCE:
*ROCKFALL RUNOUT ZONE:
*POTENTIALLY SEASONALLY HIGH GROUNDWATER: LOTS 3, 6, 7, 8, & 9
*OTHER HAZARD: ARTIFICIAL FILL AREA: LOT 5

IN AREAS OF HIGH GROUNDWATER:
DUE TO HIGH GROUNDWATER IN THE AREA, ALL FOUNDATIONS SHALL INCORPORATE AN UNDERGROUND DRAINAGE SYSTEM.



VICINITY MAP
(NOT TO SCALE)

LEGEND	
○	Monument Found (1/2" Rebar).
●	1/2"x24" Rebar w/PLS38374 Cap Set
△	Section Corner, NOTE: All section corner monument origins are unknown unless otherwise noted.
(*)	Assumed Bearing
D	Deed Dimension
SE	Surveyed Easement
DE	Drainage Easement
UE	Public Utility Easement
TE	Travel Easement
PSW	Potentially Shallow Groundwater Area
	Floodplain / No Build Area / Drainage Easement
	PSW / No Build Area

LINETYPE LEGEND	
---	Adjacent Property Line
---	Property Line
---	Section Line
---	Easement
---	Flood Plain Boundary
---	Right of Way Line

ENVIRONMENTAL:

DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES, INCLUDING, BUT NOT LIMITED TO, THE COLORADO DEPARTMENT OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS, THE U.S. FISH & WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS IT RELATES TO THE PREBLE'S MEADOW JUMPING MOUSE AS A LISTED THREATENED SPECIES.

FLOODPLAIN NOTE:

THIS PROPERTY IS LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER 0804108055, EFFECTIVE DATE DECEMBER 7, 2016 AND AS AMENDED BY THE FEMA APPROVED LETTER OF MAP REVISION (LOMR) CASE NUMBER 20-08-0369P DATED FEBRUARY 16, 2021. NO STRUCTURES ARE PERMITTED WITHIN THE DESIGNATED FLOODPLAIN AREAS.

EASEMENTS:

UNLESS OTHERWISE INDICATED, ALL SIDE, FRONT, AND REAR LOT LINES ARE HEREBY PLATTED ON EITHER SIDE WITH A 10-FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT, UNLESS OTHERWISE INDICATED. ALL EXTERIOR SUBDIVISION BOUNDARIES ARE HEREBY PLATTED WITH A 20-FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT. THE SOLE RESPONSIBILITY FOR THE MAINTENANCE OF THESE EASEMENTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNERS.

UTILITY NOTES:

ANY UTILITY COMPANY THAT LOCATES FACILITIES IN ANY EASEMENT SHALL HAVE THE RIGHT TO PRUNE, REMOVE, ERADICATE, CUT AND CLEAR AWAY ANY TREES, LIMBS, VINES, AND BRUSH ON THE UTILITY EASEMENT NOW OR AT ANY FUTURE TIME AND PRUNE AND CLEAR AWAY ANY TREE LIMBS, VINES, AND BRUSH ON LANDS ADJACENT TO THE UTILITY EASEMENT WHENEVER, IN THE UTILITY COMPANIES JUDGMENT, SUCH MAY INTERFERE WITH OR ENDANGER THE CONSTRUCTION, OPERATION, OR MAINTENANCE OF ITS FACILITIES. TOGETHER WITH THE RIGHT OF INGRESS TO AND EGRESS FROM THE UTILITY EASEMENT AND CONTIGUOUS LAND SUBJECT TO THIS PLAT FOR THE PURPOSE OF SURVEYING, ERECTING, CONSTRUCTING, MAINTAINING, INSPECTING, REBUILDING, REPLACING, AND WITH OR ENDANGERING THE CONSTRUCTION, OPERATION OR MAINTENANCE OF SAID FACILITIES.

NOTICE:

ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT, IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

SERVICE PROVIDERS:
ELLIOTT FIRE PROTECTION DISTRICT
MOUNTAIN VIEW ELECTRIC ASSOC.
PROPANE SERVICE
DOMESTIC WELLS
INDIVIDUAL SEWAGE DISPOSAL SYSTEMS

FEES:
PARK FEE: _____
SCHOOL FEE: _____
DRAINAGE FEE: _____

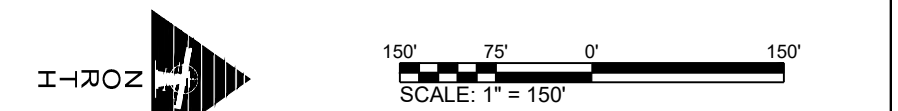
DATE SUBMITTED: 6/2/2023
REVISIONS:

OWNER:
OGC RE2 LLC
PO BOX 1385
COLORADO SPRINGS, CO 80901

SURVEYOR:
TIM SLOAN, VICE-PRESIDENT
SMH CONSULTANTS, P.A.
411 SOUTH TEJON STREET, SUITE 1
COLORADO SPRINGS, CO 80903
719-465-2145

ENGINEER:
BRETT LOUK
SMH CONSULTANTS, P.A.
411 SOUTH TEJON STREET, SUITE 1
COLORADO SPRINGS, CO 80903
719-465-2145

TOTAL ACREAGE:
LOT 1 = 5.77 ACRES
LOT 2 = 5.37 ACRES
LOT 3 = 5.32 ACRES
LOT 4 = 18.66 ACRES
LOT 5 = 13.53 ACRES
LOT 6 = 5.13 ACRES
LOT 7 = 5.32 ACRES
LOT 8 = 5.37 ACRES
LOT 9 = 5.77 ACRES
TOTAL = 70.24 ACRES



SMH CONSULTANTS
Civil Engineering • Land Surveying • Landscape Architecture
www.smhconsultants.com
Manhattan, KS - HQ P: (785) 776-0541 • Dodge City, KS P: (620) 255-1952
Overland Park, KS P: (913) 444-9615 • Colorado Springs, CO P: (719) 465-2145
Survey Prepared March 16, 2023
Drawn By: JAM Project #2303-0082 DD # _____ PCD File #SF22-31
JUNE 2023

MONAHAN, COLLEEN, 5/29/2023 9:28 AM
HR GREEN Xref: EPC_CD_Owner_Approval_EPC_CD_Engg_Approval_EPC_CD_Notes_xref-1.dwg(1:217); legal_description; Abbreviations; Legend; vicinity_map; xc-dgn; xc-cow; xv-dgn; xv-cow; xv-tilt; rwy; lypcall; Cover; contacts; signage key

LEGAL DESCRIPTION:

TRACTS 2 AND 3 OF THE GRAND VIEW SUBDIVISION EPC PARCEL NO. 330000466 AND 330000467

BENCHMARK

THE SOUTH LINE OF SECTION 33, TOWNSHIP 13 SOUTH, RANGE 65 WEST, MONUMENTED AS SHOWN AND ASSUMED TO BEAR NORTH 89 DEGREES 29 MINUTES 18 SECONDS WEST, 583.72 FEET.

BASIS OF BEARING

1/2"x24" REBAR W/PLS38374 CAP SET

EL PASO COUNTY STANDARD CONSTRUCTION NOTES:

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - CDOT M & S STANDARDS
- NOT WITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY AND MUTCD CRITERIA.
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

PROJECT CONTACTS

OWNER
OGC RE2, LLC
PO BOX 1385
COLORADO SPRINGS, CO 80901
TELE: (719) 445-5050
ATTN: KEVIN O'NEIL
EMAIL: INFO@THEONEILGROUP.COM

DEVELOPER
OGC RE2, LLC
PO BOX 1385
COLORADO SPRINGS, CO 80901
TELE: (719) 445-5050
ATTN: KEVIN O'NEIL
EMAIL: INFO@THEONEILGROUP.COM

APPLICANT
HR GREEN
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS, CO 80921
TELE: (719) 300-4140
ATTN: COLLEEN MONAHAN, P.E., LEED AP
EMAIL: CMONAHAN@HRGREEN.COM

CIVIL ENGINEER
HR GREEN
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS, CO 80921
TELE: (719) 300-4140
ATTN: COLLEEN MONAHAN, P.E., LEED AP
EMAIL: CMONAHAN@HRGREEN.COM

AGENCY
EL PASO COUNTY PCD ENGINEERING DIVISION
2880 INTERNATIONAL CIRCLE SUITE 110
COLORADO SPRINGS, CO 80910
TELE: (719) 634-3751
ATTN: KARI PARSONS
EMAIL: -

SERVICE PROVIDER
ELLCOTT FIRE PROTECTION DISTRICT
75 N ELLICOTT HWY
CALHAN, CO 80908
TELE: (719) 683-7211
ATTN: -
EMAIL: -

SURVEYOR
SMH CONSULTANTS
411 TEJON ST #1
COLORADO SPRINGS, CO 80903
TELE: (719) 465-2145
ATTN: TIM SLOAN, PLS
EMAIL: TIM@SMHCONSULTANTS.COM

DRAWN BY: AXB JOB DATE: 5/26/2023
APPROVED: CPM JOB NUMBER: 2202179
CAD DATE: 5/29/2023
CAD FILE: J:\2022\2202179\CAD\DWG\IC\Cover

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
0 1" IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.384.2440
FAX: 713.965.0044

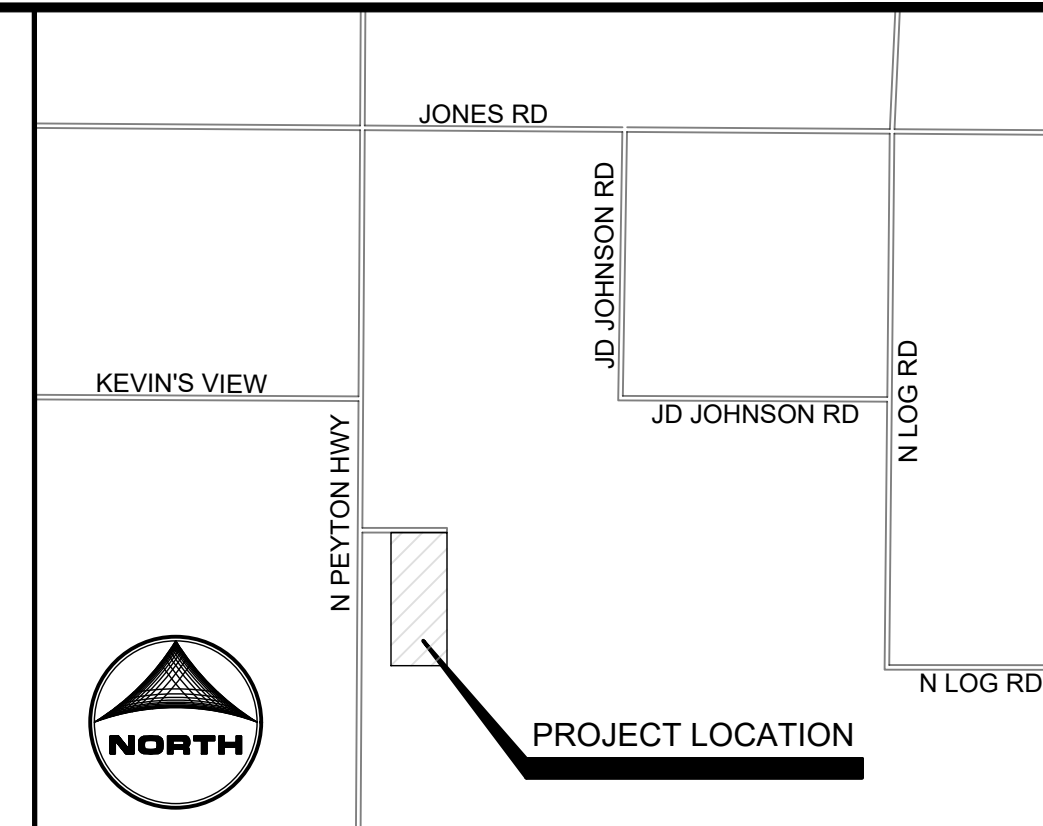
JOYFUL VIEW SUBDIVISION
OGC RE2, LLC.
EL PASO COUNTY, CO

CONSTRUCTION DOCUMENTS
COVER

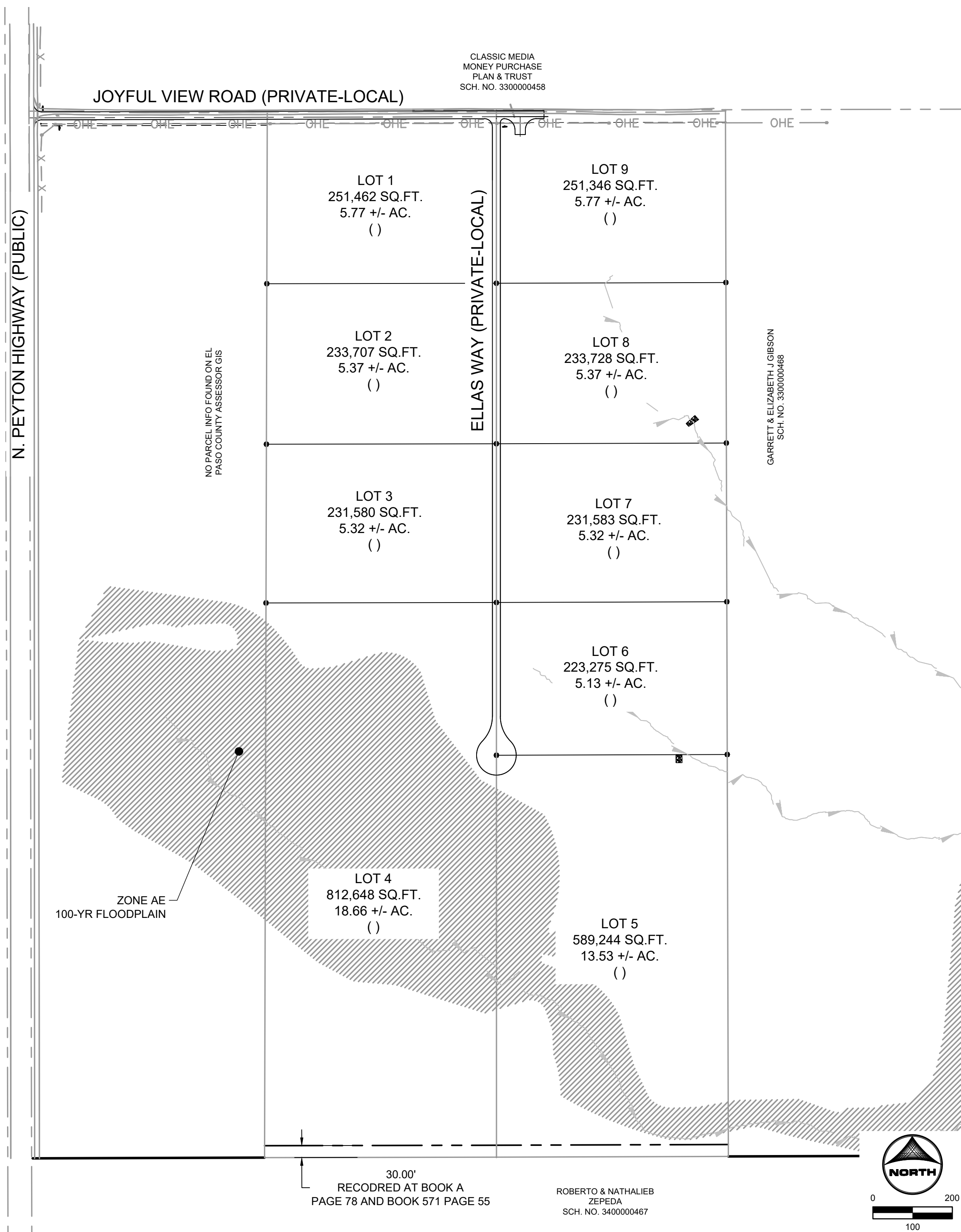
SHEET
CV
1

JOYFUL VIEW SUBDIVISION CONSTRUCTION DOCUMENTS

A PART OF SECTION 33, TOWNSHIP 13 SOUTH, RANGE 63 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO



VICINITY MAP
(NOT TO SCALE)



- SHEET INDEX**
- 1 - COVER
 - 2 - LEGEND & TYPICAL SECTIONS
 - 3 - JOYFUL VIEW ROAD
 - 4 - ELLAS WAY
 - 5 - ELLAS WAY CULDESAC
 - 6 - SWALE #3 PLAN & PROFILE
 - 7 - STORM PLAN & PROFILE
 - 8 - STORM PLAN & PROFILE
 - 9 - DETAILS

DESIGN ENGINEER'S STATEMENT
THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

COLLEEN MONAHAN, CO P.E. NO. 0056067 DATE

OWNER/DEVELOPER'S STATEMENT:
I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

KEVIN O'NEIL DATE
OGC RE2, LLC

EL PASO COUNTY
COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JOSHUA PALMER P.E. COUNTY ENGINEER DATE

PCD FILING NO. SF2231

MONAHAN, COLLEEN, 5/29/2023 9:28 AM
HR GREEN Xref: EPC_CD_Owner_Approval; EPC_CD_Eng; Approval; EPC_CD; Notes; xref; 1-dwg; 1-2179; legal; description; Abbreviations; Legend; vicinity; map; xc-dgn; xc-row; xv-dgn; xv-row; xv-uti; row; utical; Cover; contacts; signage key

LEGEND

	EXISTING	PROPOSED
MATCH LINE	---	---
PHASE LINE	---	---
SECTION LINE	---	---
PROPERTY BOUNDARY	---	---
PROPERTY LINE	---	---
EASEMENT LINE	---	---
RIGHT OF WAY	---	---
CENTERLINE	---	---
CHAIN LINK FENCE	---	---
WOODEN FENCE	---	---
ROD IRON FENCE	---	---
GUARDRAIL	---	---
CABLE TV	---	---
U.G. ELECTRIC	---	---
OVERHEAD ELECTRIC	---	---
FIBER OPTIC	---	---
GAS MAIN	---	---
SANITARY SEWER	---	---
UNDERDRAIN	---	---
STORM DRAIN	---	---
TELEPHONE	---	---
WATER MAIN	---	---
SWALE	---	---
TRAIL	---	---
CURB & GUTTER	---	---
DRAINAGE BASIN	---	---
INDEX CONTOUR	---	---
INTER. CONTOUR	---	---
100-YR FLOODPLAIN	---	---
FLOODWAY	---	---
PROPOSED GRAVEL ROADWAY	---	---
EDGE OF WETLANDS	---	---
DRAINAGE	---	---
DRAINAGE BASIN	---	---
BASIN TAG	---	---
DESIGN POINT	---	---

STORM SEWER

MANHOLE
STORM INLET
FLARED END SECTION
RIPRAP

SANITARY SEWER

CLEAN OUT
MANHOLE
PLUG

WATER

FIRE HYDRANT
FIRE DEPT. CONNECTION
GATE VALVE
MANHOLE
METER
TEE
REDUCER

DRY UTILITIES

ELECTRIC METER
ELECTRIC PEDESTAL
ELECTRICAL CABINET
ELECTRIC VAULT
FIBER OPTIC PULL BOX
FIBER OPTIC MANHOLE
FIBER OPTIC PEDESTAL
FIBER OPTIC SIGN
FIBER OPTIC VAULT
GAS METER
GAS SIGN
GAS VAULT
TELEPHONE CABINET
TELEPHONE MANHOLE
TELEPHONE SIGNAL/MAST
TELEPHONE SIGN
TELEPHONE PEDESTAL
TRANSFORMER
LIGHT POLE
FIBER OPTIC VAULT

EXISTING

PROPOSED

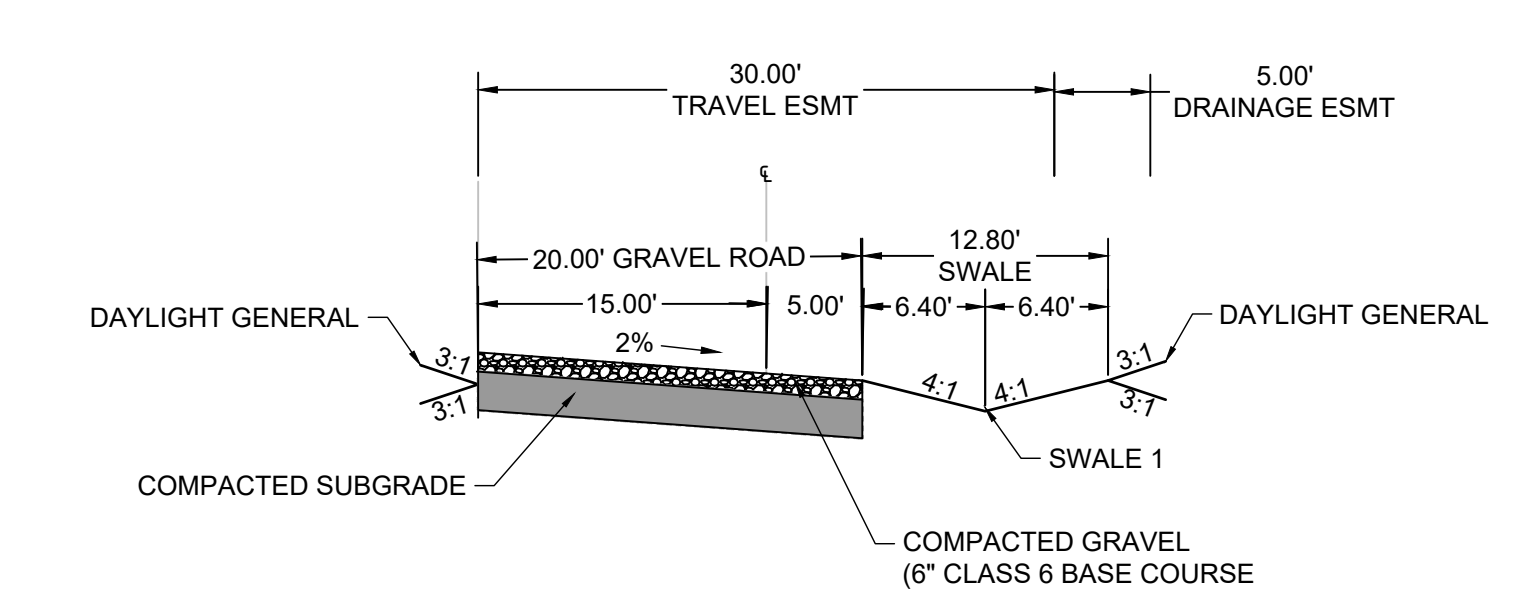
MISCELLANEOUS

SIGN
BOLLARD
ACCESSIBLE PARKING

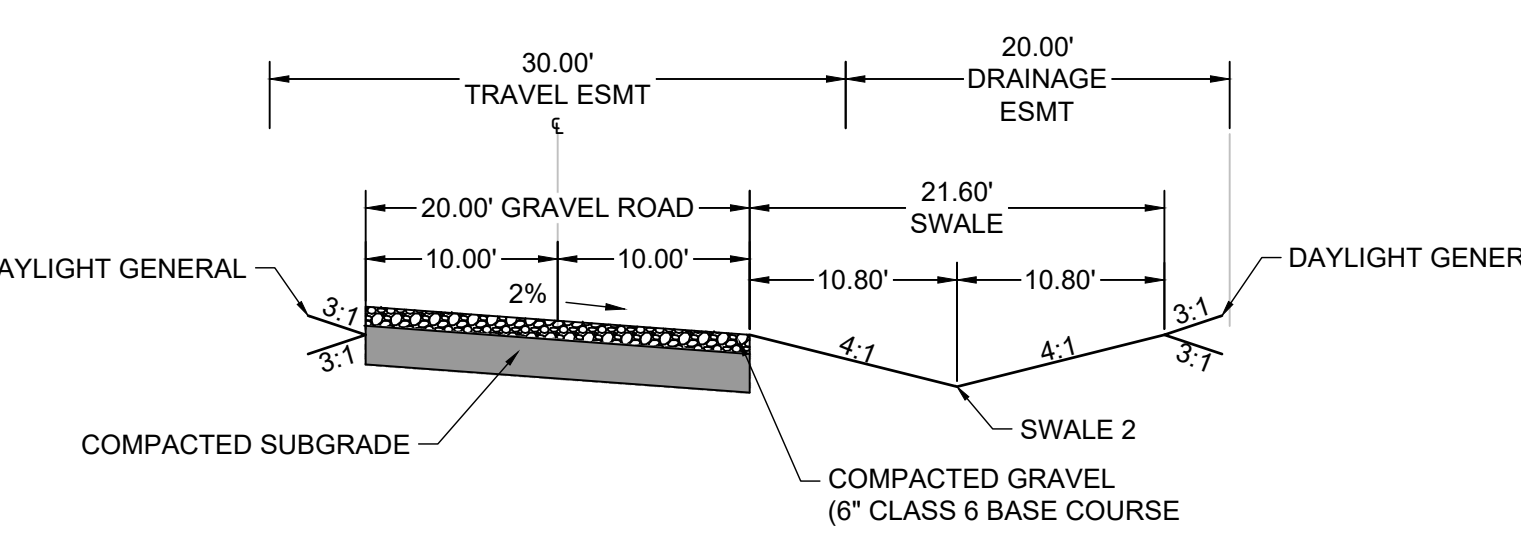
ABBREVIATIONS

Δ	DEFLECTION ANGLE
Ø, DIA	DIAMETER
AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS
ABC	ASPHALT BASE COURSE
ABD	ABANDONED
AC	ACRE
ADA	THE AMERICANS WITH DISABILITIES ACT
ASPH	ASPHALT
ASS'Y	ASSEMBLY
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS
BFE	BASE FLOOD ELEVATION
BLDG	BUILDING
BLVD	BOULEVARD
BM	BENCH MARK
BNDY	BOUNDARY
BOP	BOTTOM OF POND
BW	BOTTOM OF WALL
C&G	CURB AND GUTTER
CA	COARSE AGGREGATE
CATV	CABLE TELEVISION
CB	CHORD BEARING/CATCH BASIN
CFS	CUBIC FEET PER SECOND
CIP	CAST IRON PIPE
CL	CENTER LINE
CMP	CORRUGATED METAL PIPE
COMP	COMPOSITE
CONC	CONCRETE
CONST	CONSTRUCT OR CONSTRUCTION
CSP	CORRUGATED STEEL PIPE
CSU	COLORADO SPRINGS UTILITIES
CT	COURT
CTR	CENTER
CU	COPPER
CY	CUBIC YARD
DBL	DOUBLE
DEG	DEGREE
DET	DETAIL
DEPT	DEPARTMENT
DIM	DIMENSION
DIP	DUCTILE IRON PIPE
DOT	DEPARTMENT OF TRANSPORTATION
DWG	DRAWING
E	EAST/EASTING
EL	ELEVATION
ELEC	ELECTRIC
EOG	EDGE OF GUTTER
EOP	EDGE OF PAVEMENT
ESMT	EASEMENT
EW	ENDWALL
EX	EXISTING
FD	FRENCH DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FE	FLANGE ELEVATION
FES	FLARED END SECTION
FF	FINISHED FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
FHWA	FEDERAL HIGHWAY ADMINISTRATION
FL	FLOW LINE

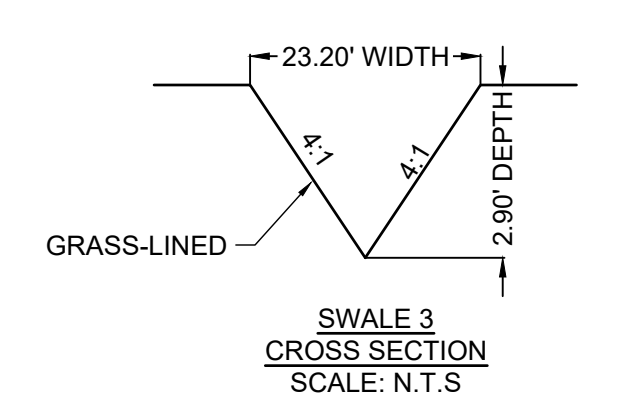
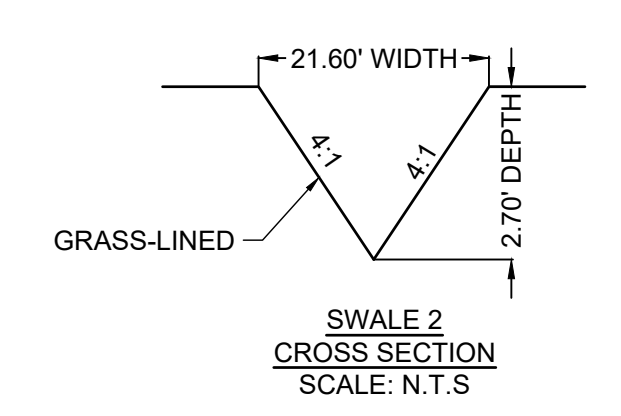
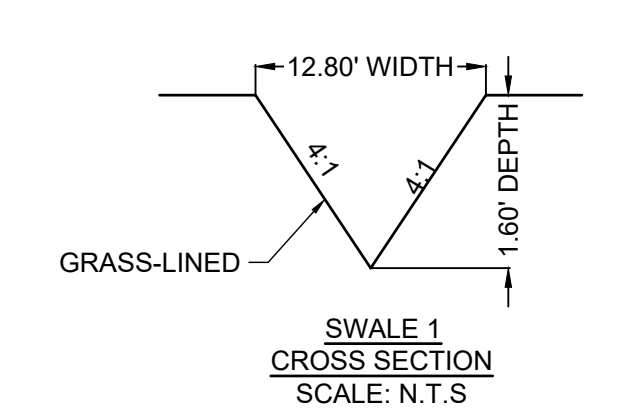
FOC	FIBER OPTICS CABLE
FT	FOOT OR FEET
GB	GRADE BREAK
GAL	GALLON
HDPE	HIGH DENSITY POLYETHYLENE
HC RAMP	HANDICAP RAMP
HW	HEADWALL
INV	INVERT
KM	KILOMETER
L	LENGTH
LF	LINEAR FEET
M	METER
MIN	MINIMUM
MISC	MISCELLANEOUS
MAINT	MAINTENANCE
MAX	MAXIMUM
MH	MANHOLE
MP	MIDPOINT
N	NORTH/NORTHING
NO	NUMBER
OC	ON CENTER
OH	OVERHEAD
PE	PUBLIC
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PCR	POINT OF CURB RETURN
PI	POINT OF INTERSECTION
PIE	PUBLIC IMPROVEMENT ESMT
PT	POINT OF TANGENCY
PRC	PROPOSED
PRC	POINT OF REVERSE CURVATURE
PRV	PRESSURE REDUCING VALVE
PVT	PRIVATE
PVAE	PUBLIC UTILITY AND ACCESS ESMT
PVADE	PUBLIC UTILITY, ACCESS AND DRAINAGE ESMT
PVC	POLYVINYL CHLORIDE
R	RADIUS
REC	RECEPTION
RCBC	REINFORCED CONCRETE BOX CULVERT
S	SOUTH
SHT	SHEET
SQ	SQUARE
SW	SPILLWAY
TBC	TOP BACK OF CURB
TC	TRICKLE CHANNEL
TOP	TOP OF POND
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
VERT	VERTICAL
W	WEST
WW	WASTEWATER
WWF	WELDED WIRE FABRIC
W/W	WITH
W/O	WITHOUT
YD	YARD



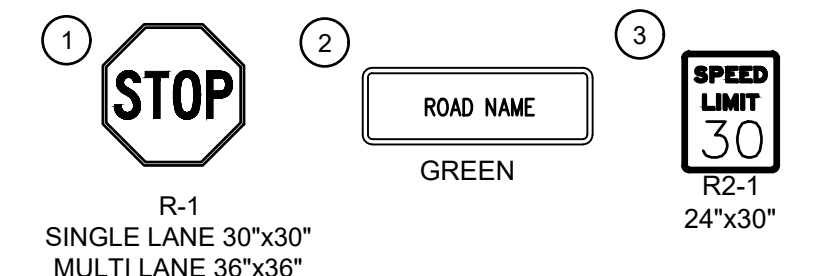
JOYFUL VIEW ROAD (PRIVATE-LOCAL)
REFER TO EL PASO COUNTY SPECIFICATION FOR GRAVEL ROADWAY
SCALE: 1" = 10'



ELLAS WAY (PRIVATE-LOCAL)
REFER TO EL PASO COUNTY SPECIFICATION FOR GRAVEL ROADWAY
SCALE: 1" = 10'



SIGNAGE LEGEND:



DRAWN BY: AXB	JOB DATE: 5/26/2023	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: CPM	JOB NUMBER: 2202179	0
CAD DATE: 5/29/2023		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2022\2202179\CAD\DWG\IC\Cover		

NO.	DATE	BY	REVISION DESCRIPTION

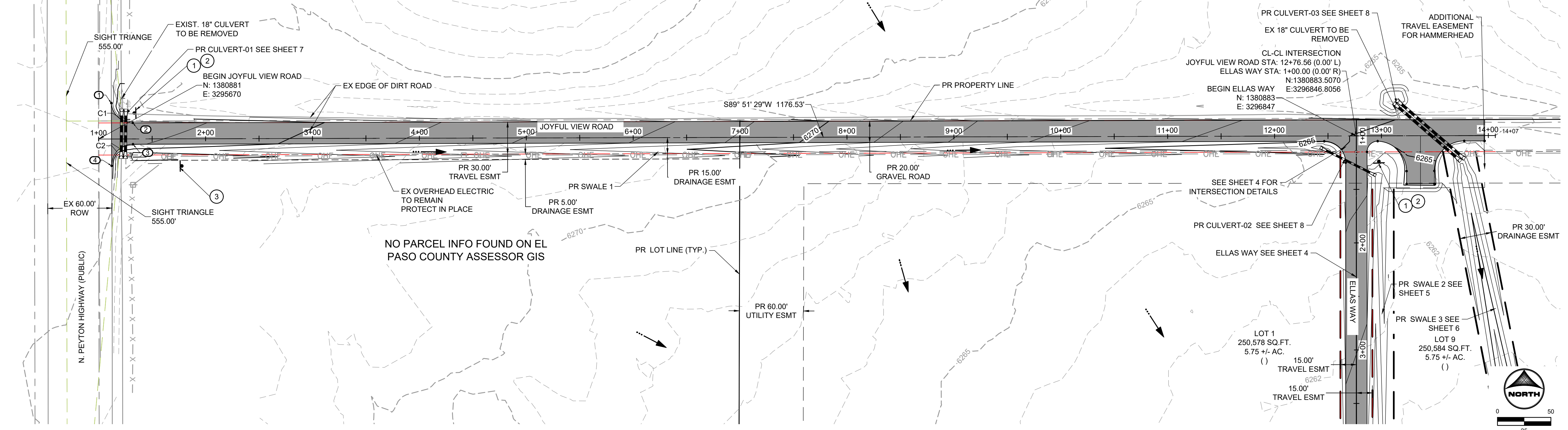
HRGreen
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.394.2440
FAX: 713.965.0044

JOYFUL VIEW SUBDIVISION
OGC RE2, LLC.
EL PASO COUNTY, CO

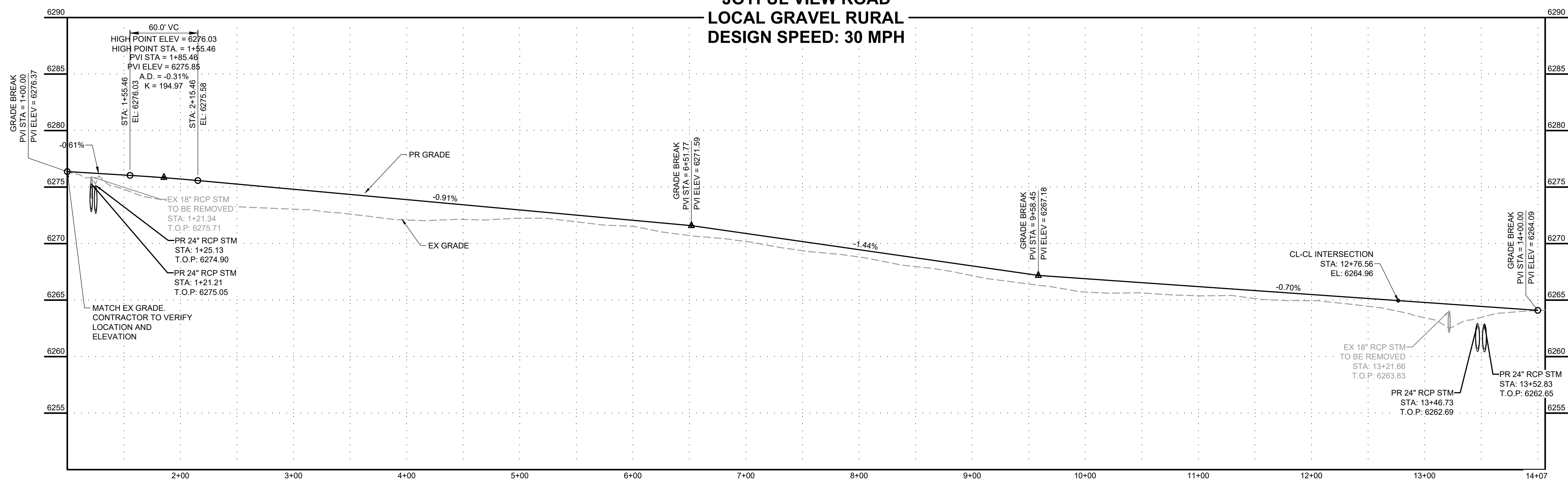
CONSTRUCTION DOCUMENTS
LEGEND & TYPICAL SECTIONS

SHEET
LE
2

CLASSIC MEDIA
MONEY PURCHASE
PLAN & TRUST
SCH. NO. 330000458

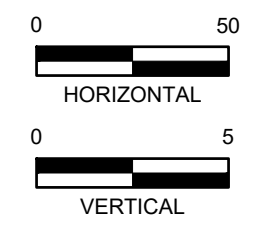


**JOYFUL VIEW ROAD
LOCAL GRAVEL RURAL
DESIGN SPEED: 30 MPH**



POINT TABLE				
No.	DESC.	ALIGNMENT	STATION & OFFSET	FL EL.
1	MATCH EX ±	Joyful View Road	1+11.90 (-33.52' L)	6276.49
2	PT	Joyful View Road	1+31.84 (-15.00' L)	6276.66
3	PT	Joyful View Road	1+32.05 (5.00' R)	6276.08
4	MATCH EX ±	Joyful View Road	1+12.05 (25.07' R)	6275.63

Curve Table			
Curve #	Length	Radius	Delta
C1	29.94	20.00	85°46'09"
C2	31.48	20.00	90°11'51"



DRAWN BY: AXB JOB DATE: 5/26/2023
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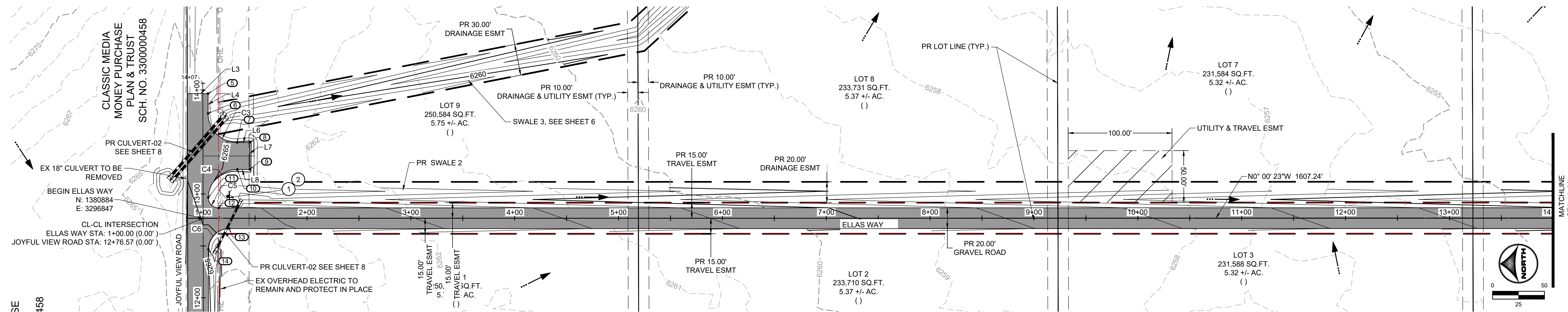
NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.394.2440
 FAX: 713.965.0044

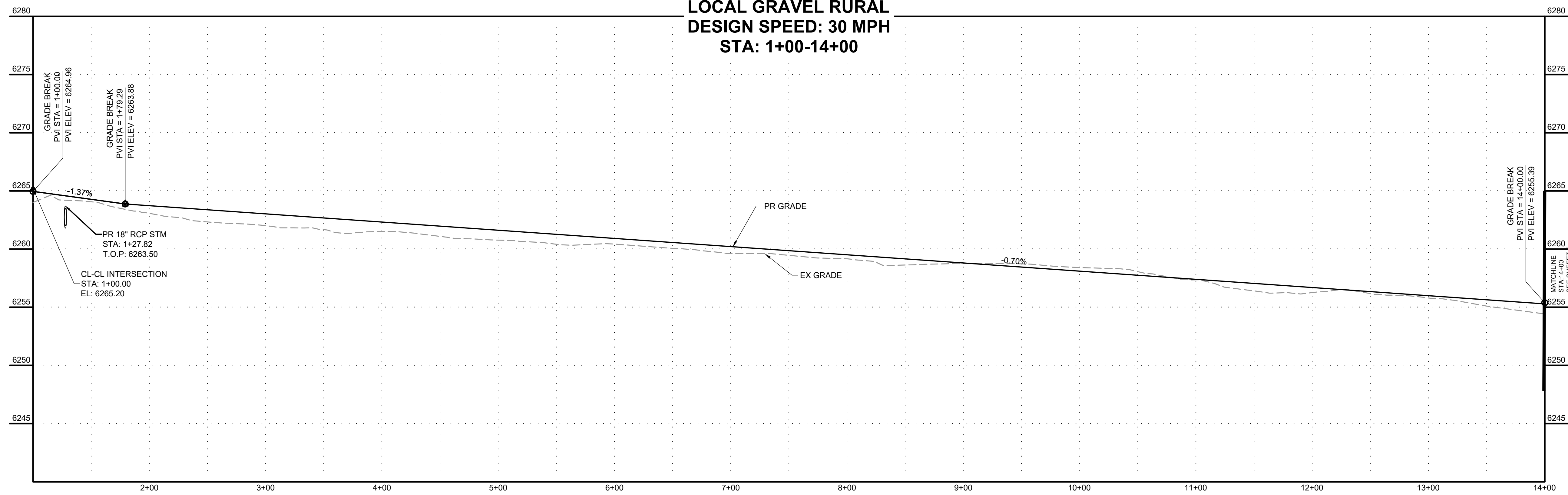
JOYFUL VIEW SUBDIVISION
 OGC RE2, LLC.
 EL PASO COUNTY, CO

CONSTRUCTION DOCUMENTS
 JOYFUL VIEW ROAD

SHEET
ST
3

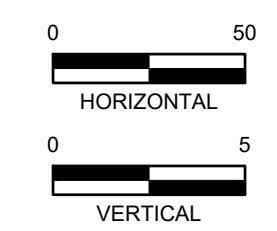


**ELLAS WAY
LOCAL GRAVEL RURAL
DESIGN SPEED: 30 MPH
STA: 1+00-14+00**



POINT TABLE				
No.	DESC.	ALIGNMENT	STATION & OFFSET	FL EL.
5	PT	Joyful View Road	13+96.54 (5.00' R)	6264.08
6	PC	Joyful View Road	13+77.45 (5.00' R)	6264.25
7	PT	Joyful View Road	13+49.45 (32.93' R)	6265.21
8	PT	Joyful View Road	13+49.42 (45.03' R)	6265.47
9	PT	Joyful View Road	13+23.42 (44.97' R)	6265.37
10	PC	Joyful View Road	13+23.45 (33.07' R)	6265.25
11	PC	Joyful View Road	12+96.49 (5.00' R)	6264.82
12	PT	Joyful View Road	12+86.49 (14.98' R)	6264.84
13	PC	Joyful View Road	12+66.51 (25.05' R)	6264.94
14	PT	Joyful View Road	12+46.51 (5.00' R)	6265.09

Line Table		Curve Table				
Line #	Length	Direction	Curve #	Length	Radius	Delta
L3	20.00	N 0°00'00" E	C3	43.92	28.00	89°51'47"
L4	19.09	N 89°51'24" E	C4	44.05	28.00	90°08'13"
L6	12.10	N 0°00'23" W	C5	15.68	10.00	89°51'52"
L7	26.00	N 89°59'37" E	C6	31.46	20.00	90°08'07"
L8	11.90	S 0°00'23" E				



DRAWN BY: AXB JOB DATE: 5/26/2023
 APPROVED: CPM JOB NUMBER: 2202179
 CAD DATE: 5/29/2023
 CAD FILE: J:\2022\2202179\CAD\DWG\IC\Street_PNP

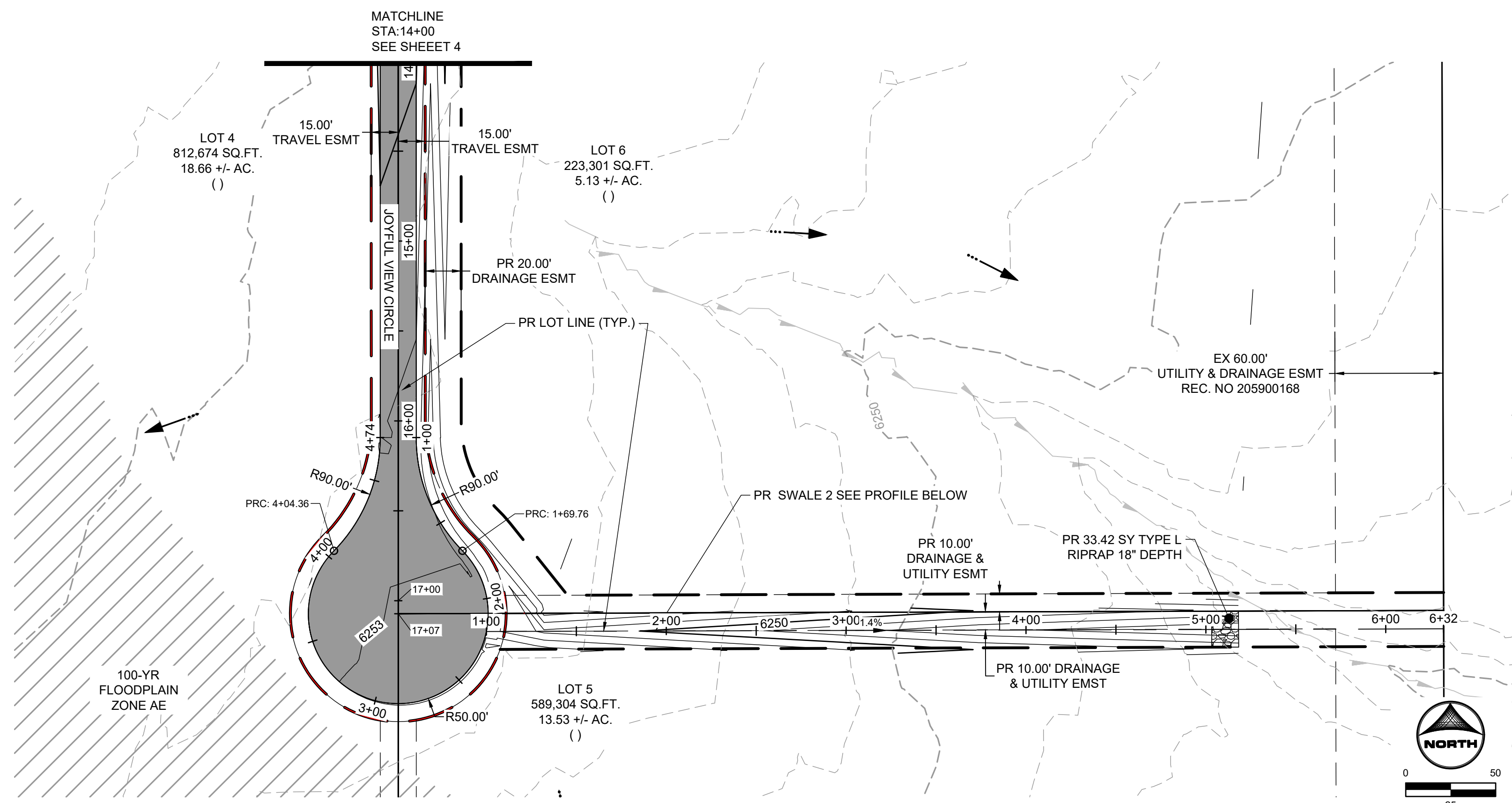
NO.	DATE	BY	REVISION DESCRIPTION

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 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.384.2440
 FAX: 713.965.0044

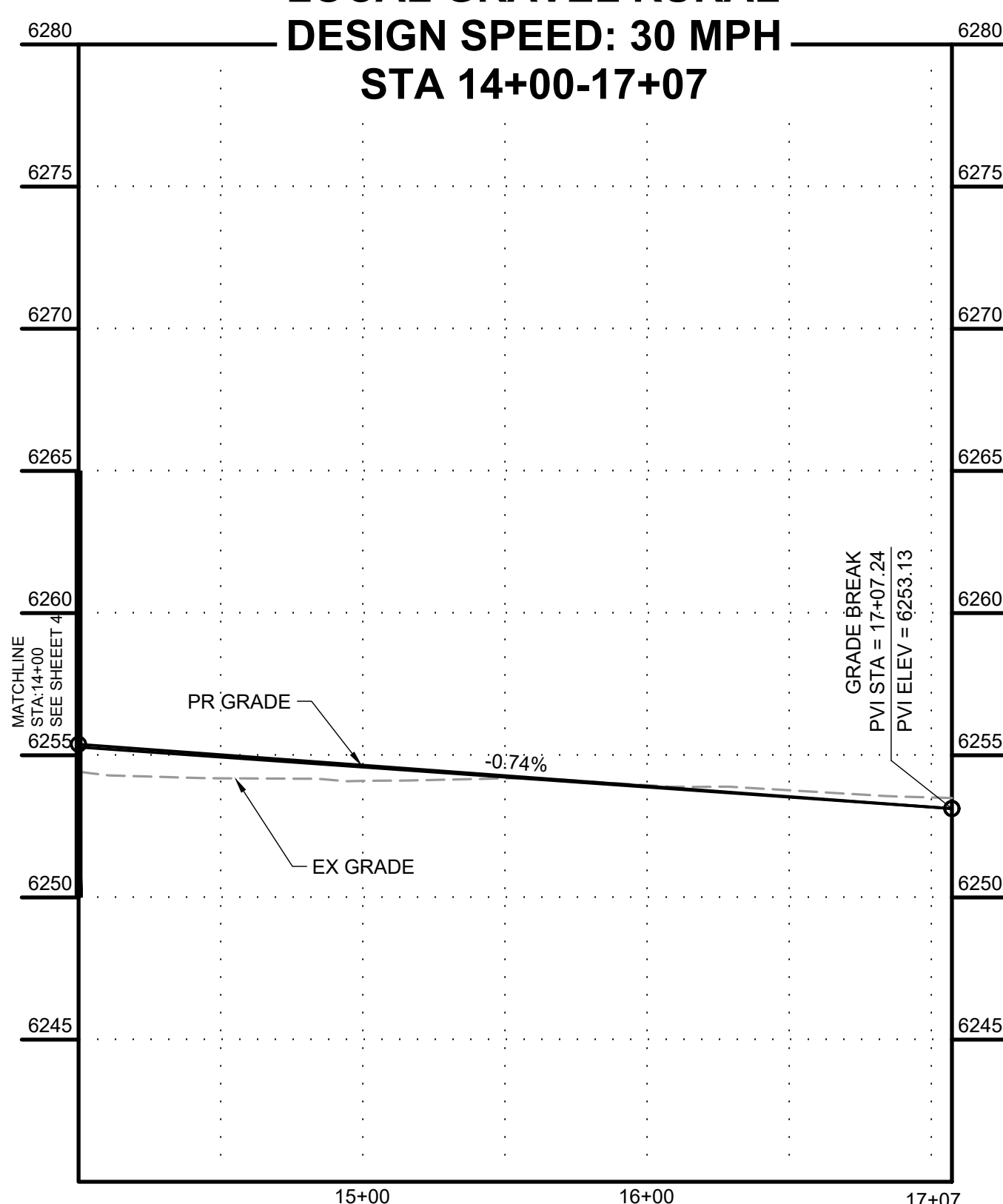
**JOYFUL VIEW SUBDIVISION
 OGC RE2, LLC.
 EL PASO COUNTY, CO**

CONSTRUCTION DOCUMENTS
 ELLAS WAY

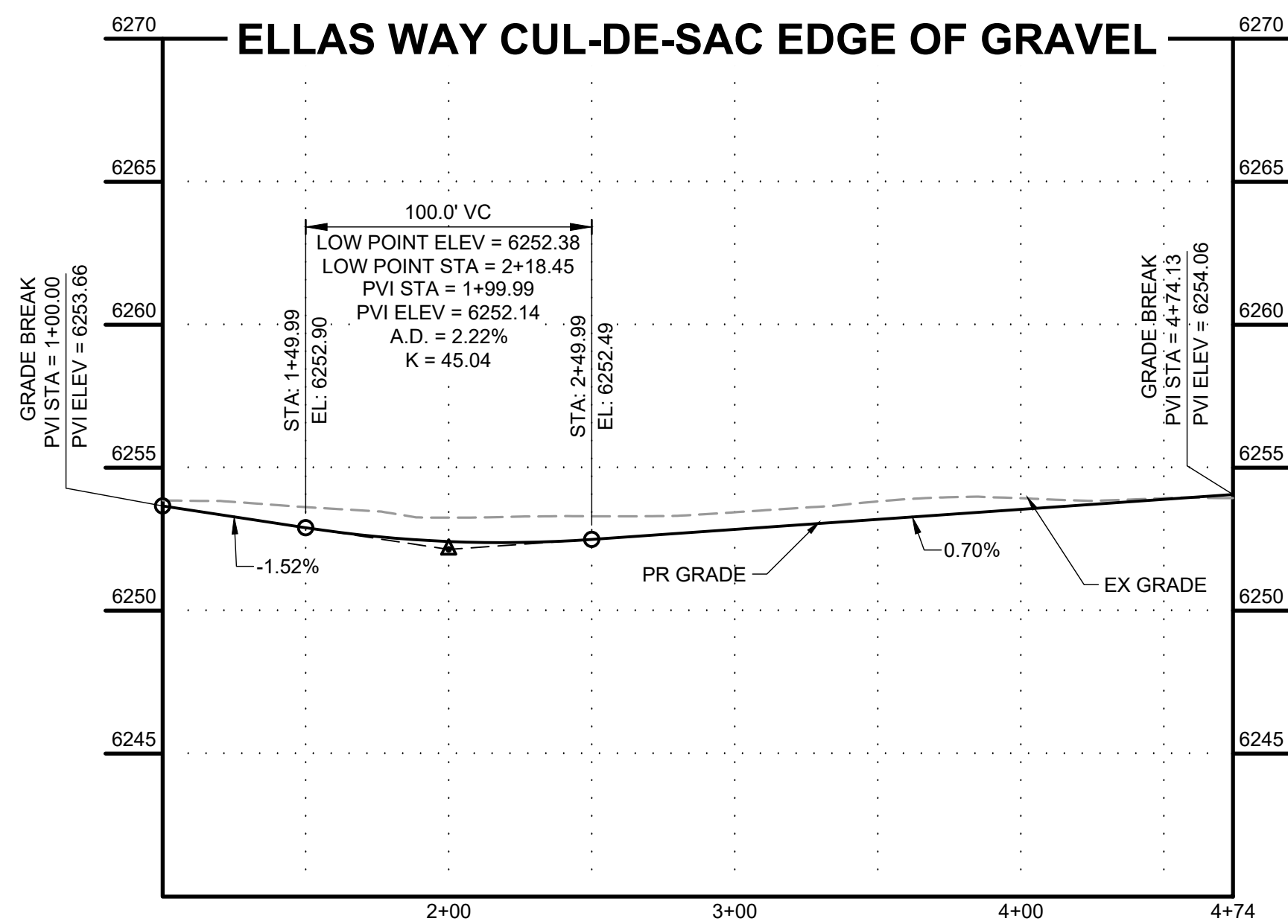
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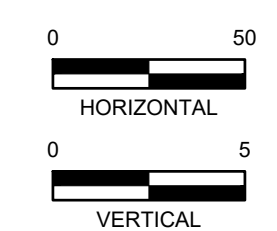
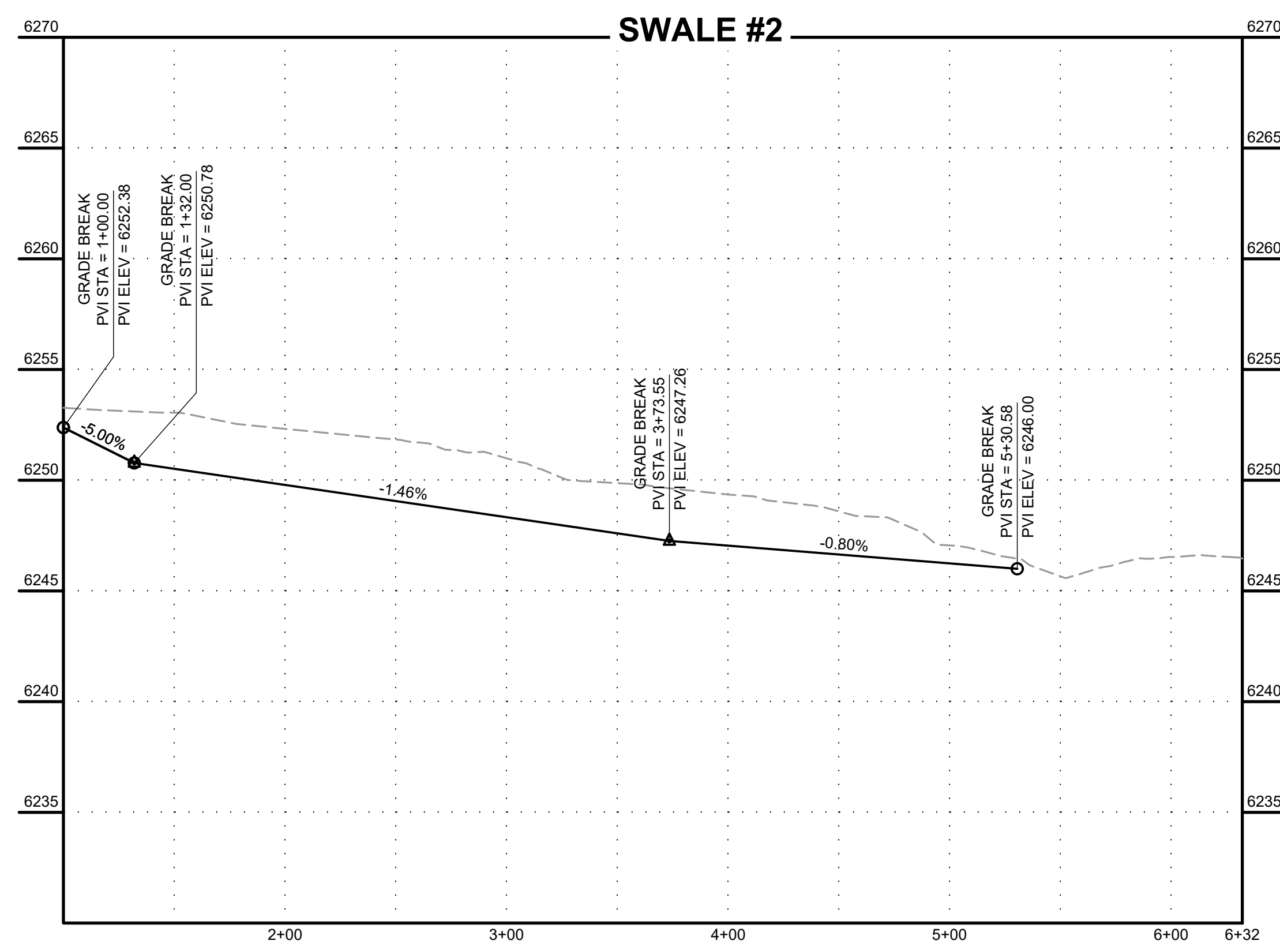
**ELLAS WAY
LOCAL GRAVEL RURAL
DESIGN SPEED: 30 MPH
STA 14+00-17+07**



ELLAS WAY CUL-DE-SAC EDGE OF GRAVEL



SWALE #2



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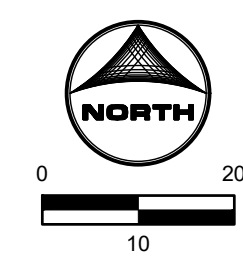
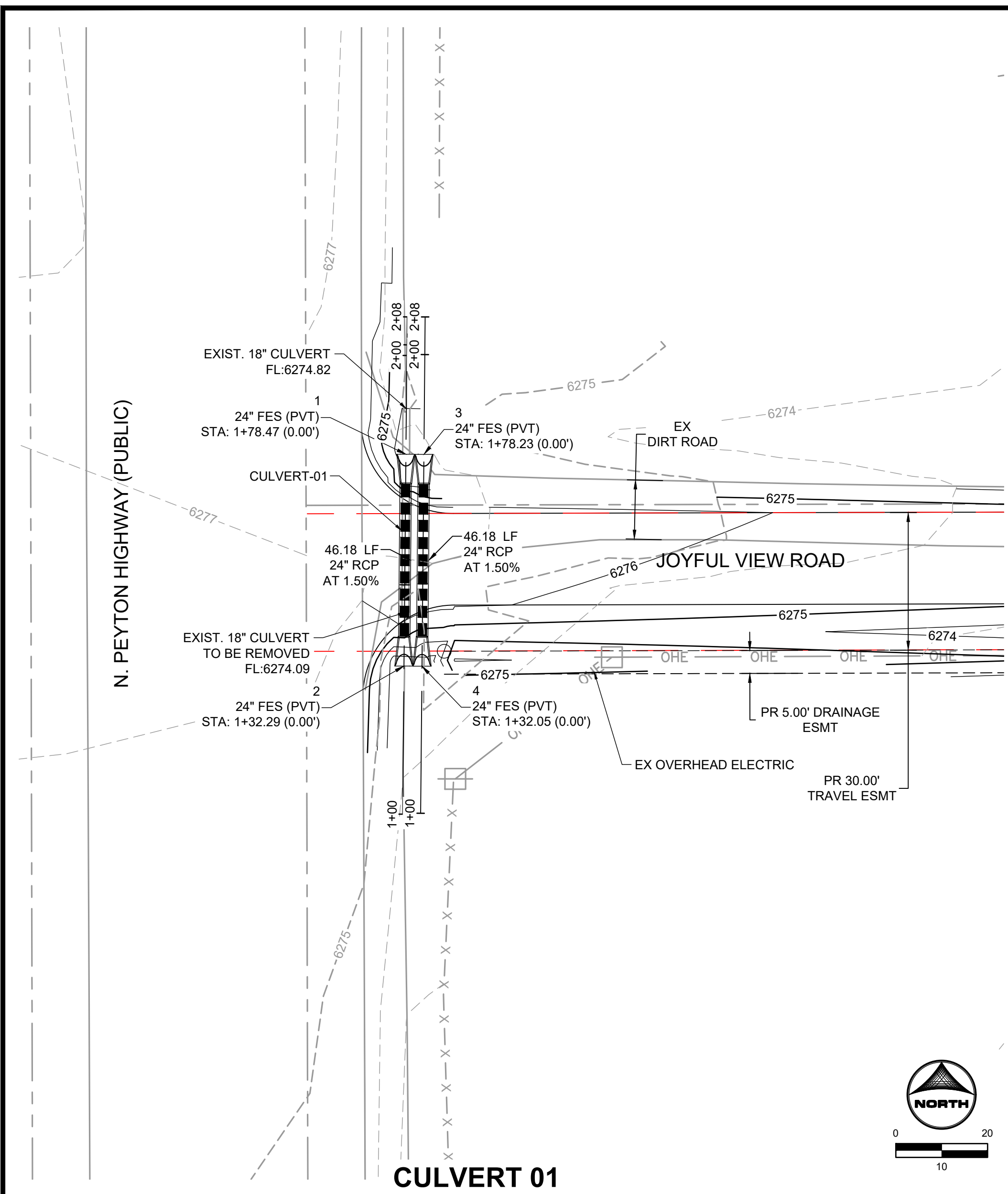
NO.	DATE	BY	REVISION DESCRIPTION

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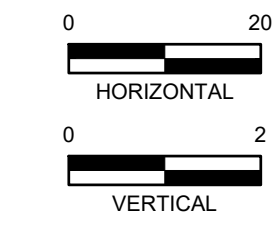
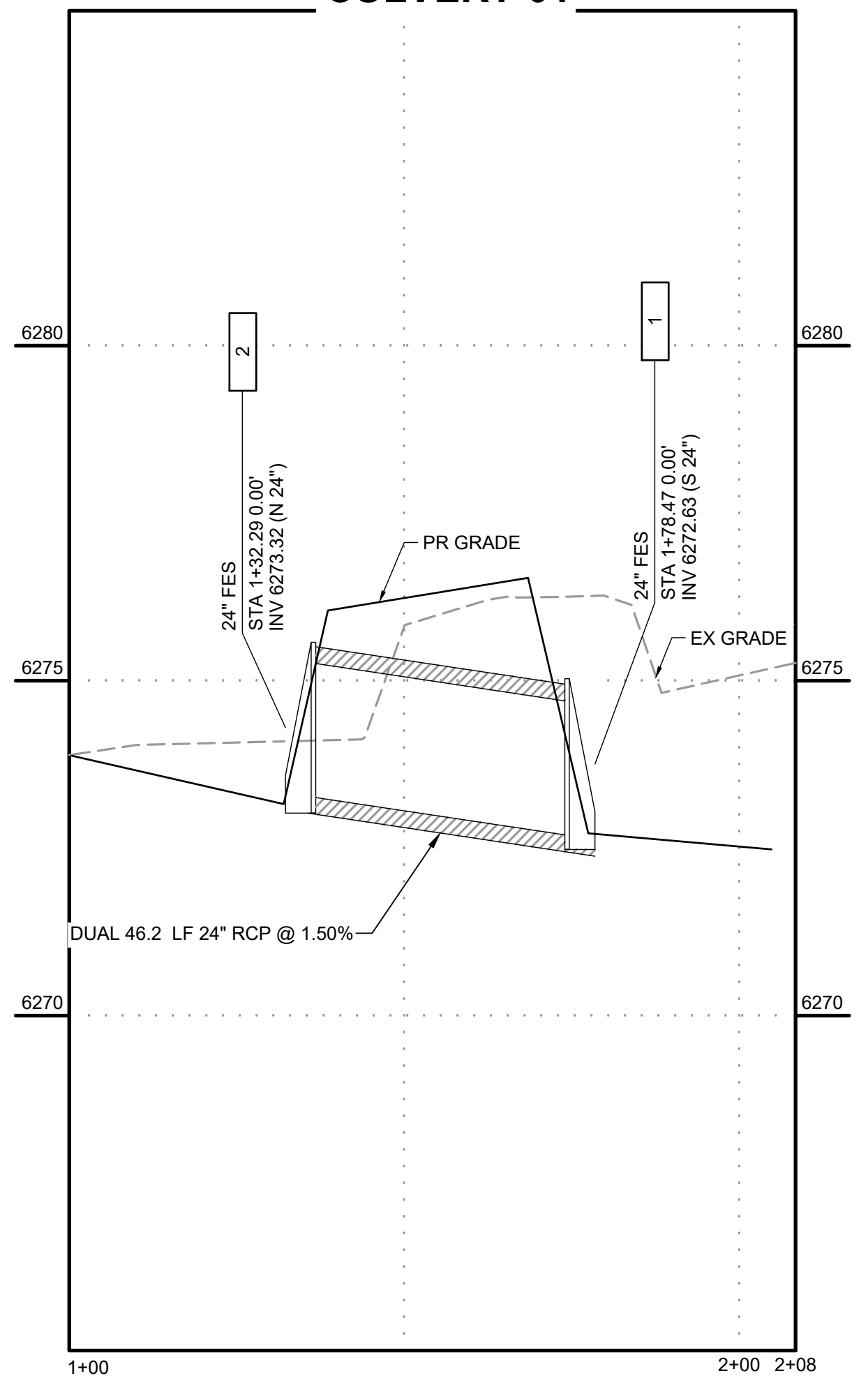
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CULVERT-01



DRAWN BY: AXB	JOB DATE: 5/26/2023	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: CM	JOB NUMBER: 2202179	0" = 1'
CAD DATE: 5/29/2023		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2022\2202179\CAD\DWG\Storm_PNP		

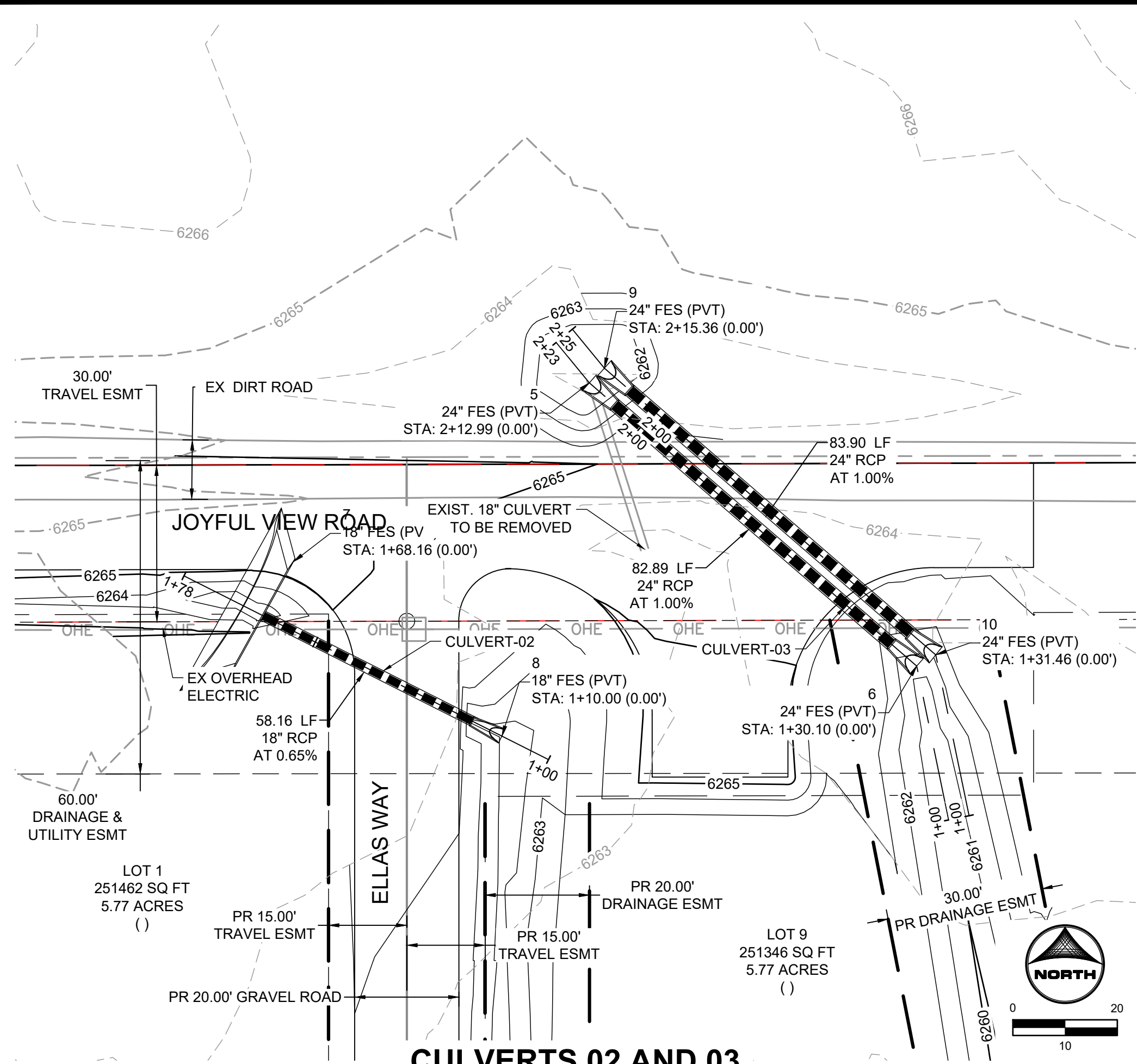
NO.	DATE	BY	REVISION DESCRIPTION

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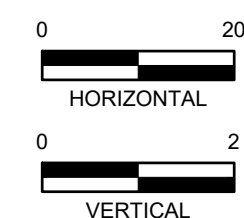
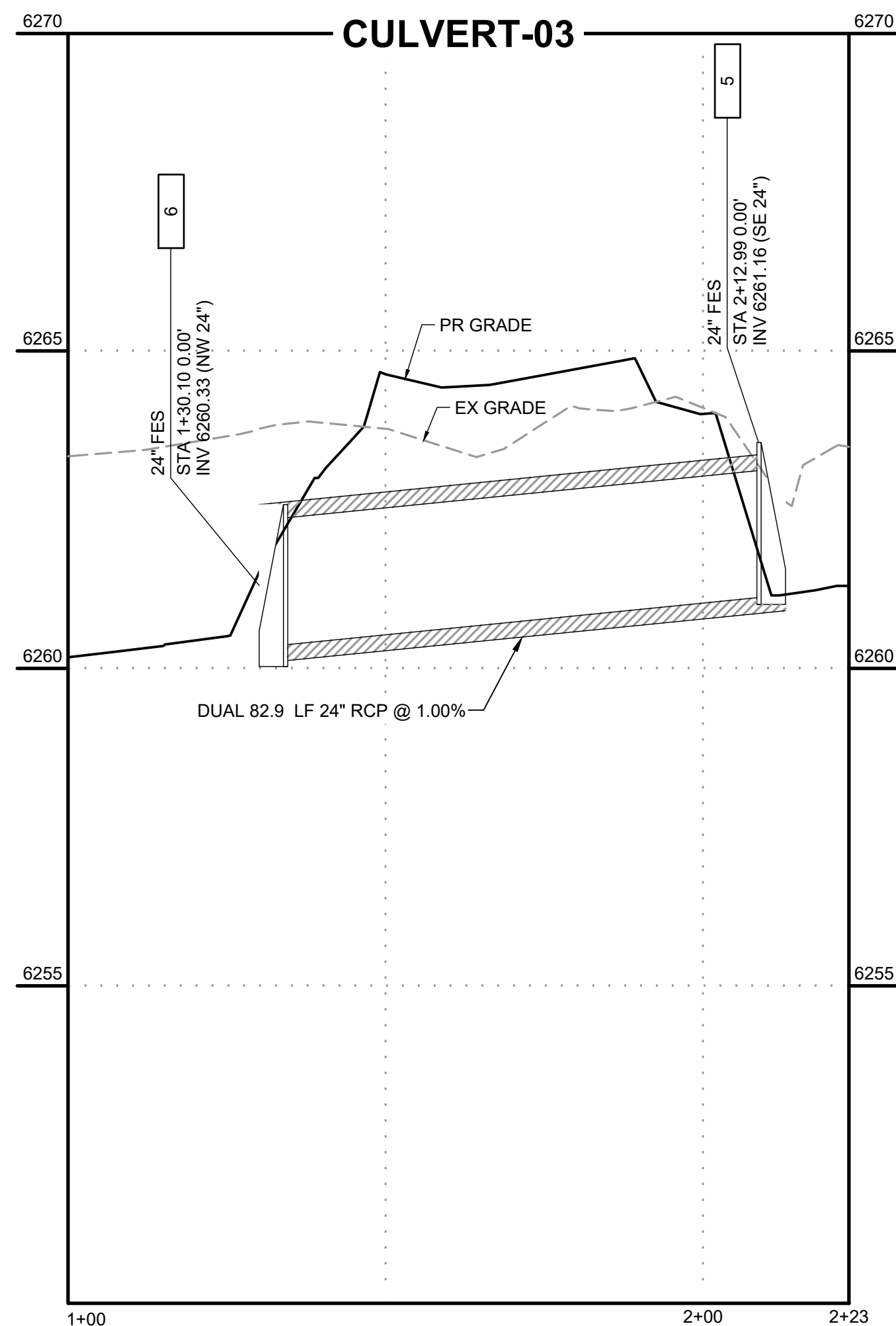
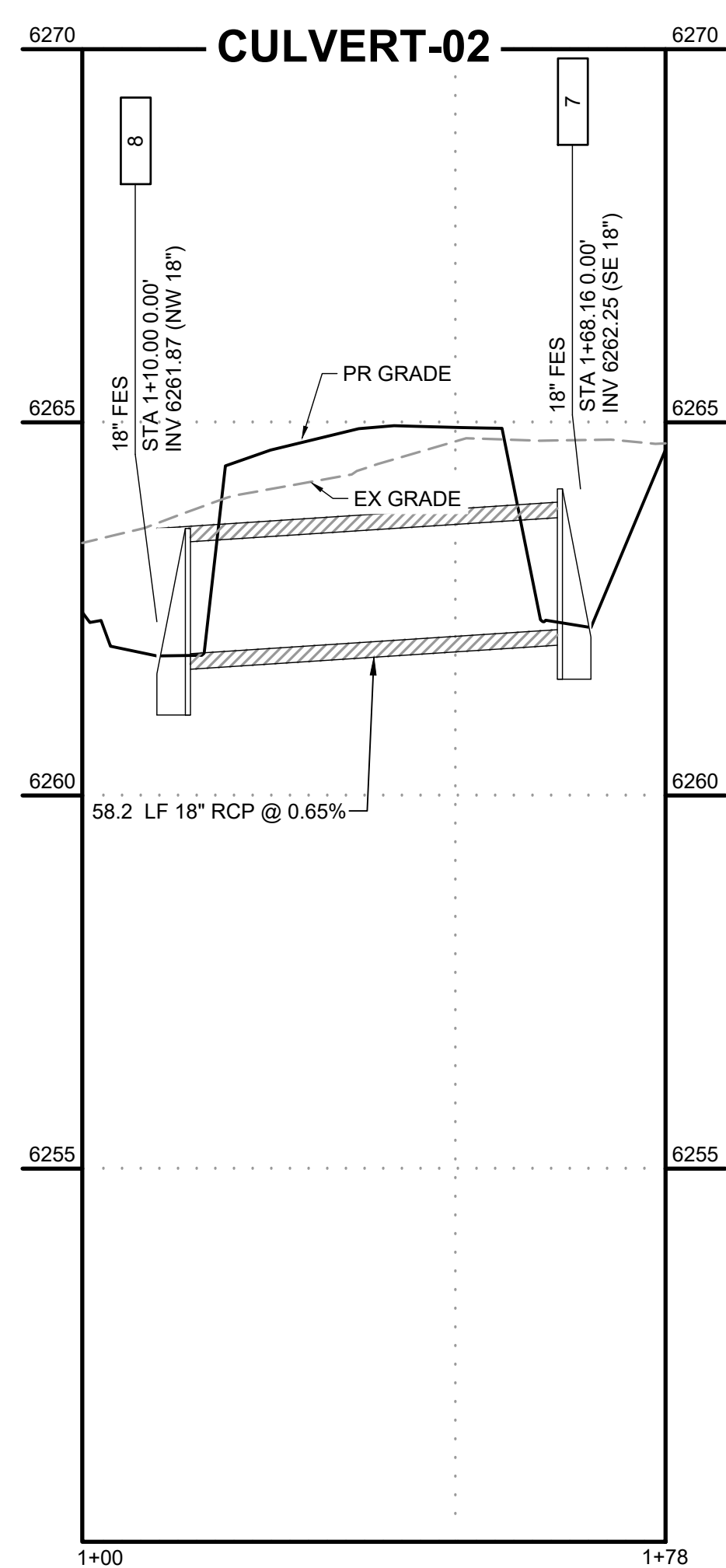
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STORM PLAN & PROFILE
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CULVERTS 02 AND 03



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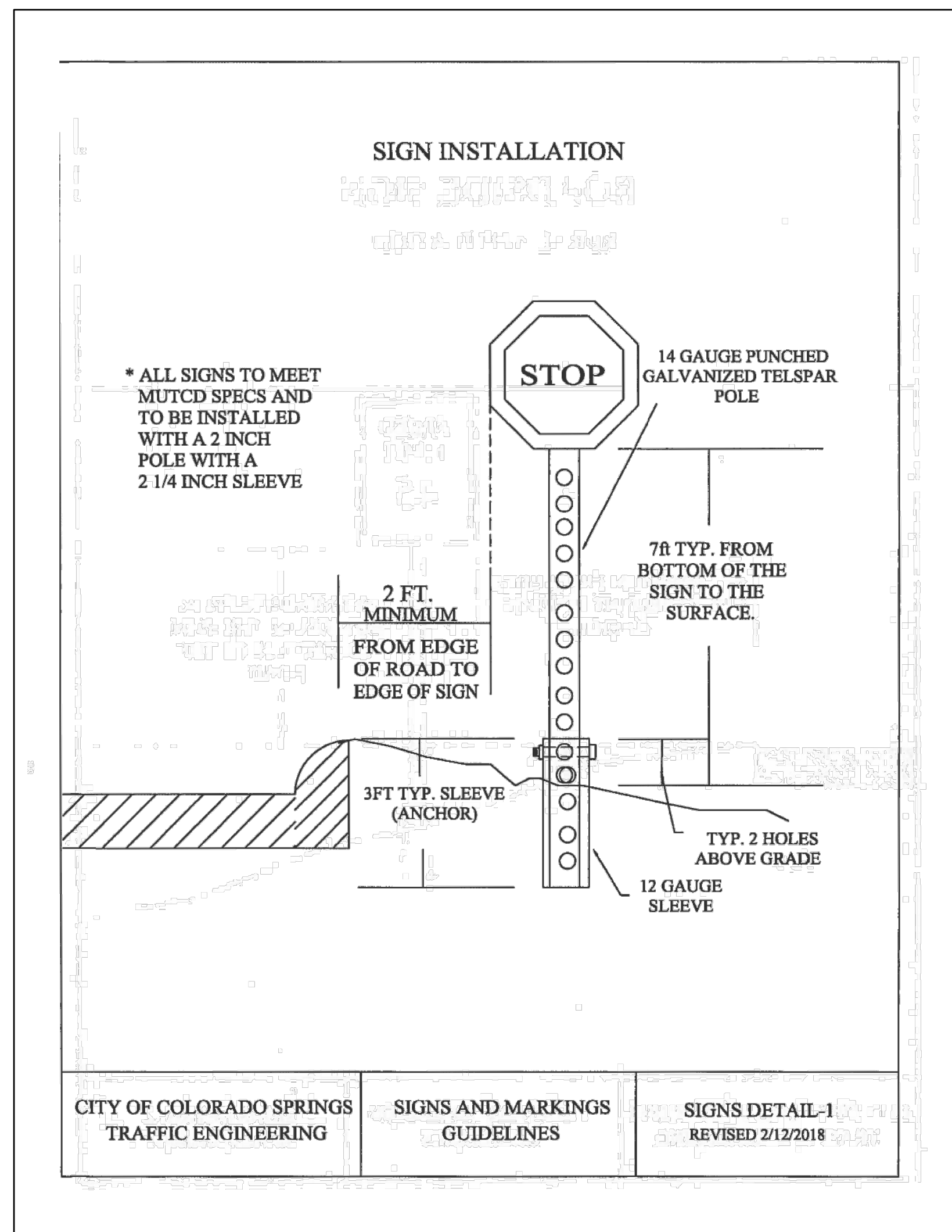
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STORM PLAN & PROFILE
 STORM PLAN & PROFILE

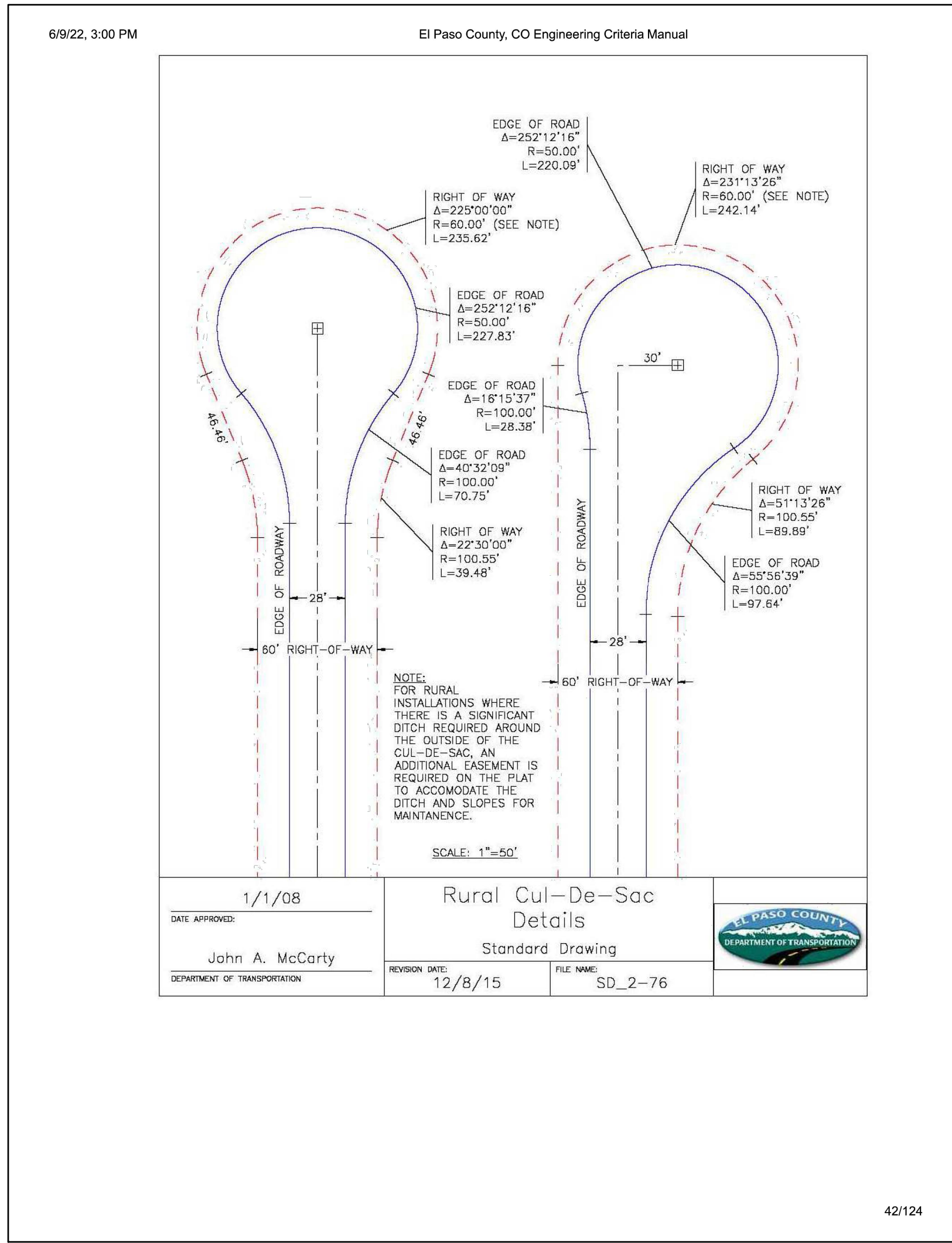
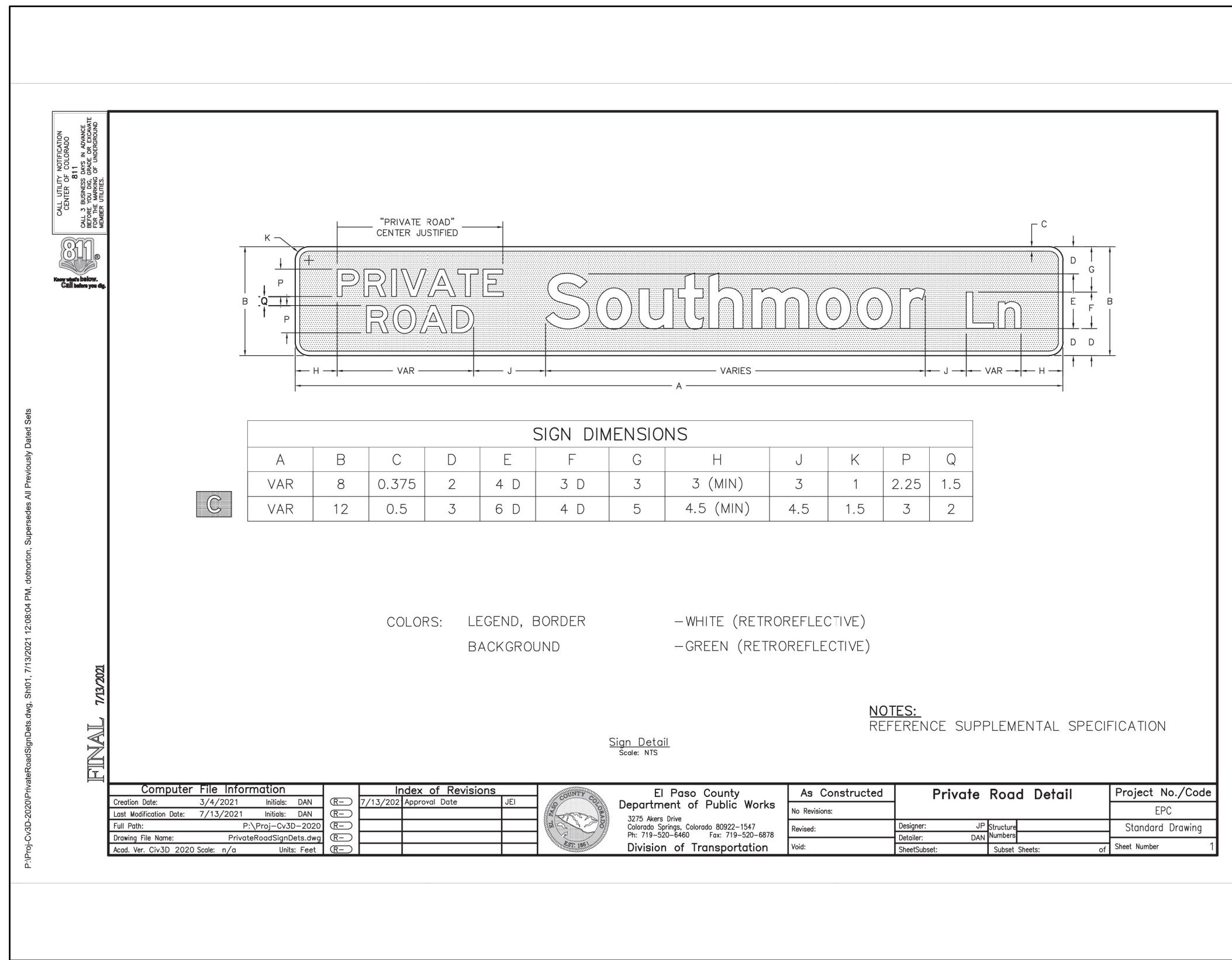
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CITY OF COLORADO SPRINGS TRAFFIC ENGINEERING

SIGNS AND MARKINGS GUIDELINES

SIGNS DETAIL-1 REVISED 2/12/2018



42/124

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APPROVED: CPM JOB NUMBER: 2202179 0 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

CAD DATE: 5/29/2023

CAD FILE: J:\2022\2202179\CAD\DWG\CDetails

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