

LOT 1 OF THE ROCK COMMERCE CENTER SUBDIVISION FILING NO.1

SITE DEVELOPMENT PLAN

LOCATED IN THE SOUTHWEST QUARTER OF THE
NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
EL PASO COUNTY, STATE OF COLORADO.

PROJECT TEAM

OWNER / DEVELOPER

CENTRAL DEVELOPMENT, LLC
1600 S. ALBON ST., #200
DENVER, CO 80222
303.628.0200 voice
CONTACT: JEREMY RECORDS

CIVIL ENGINEER

REDLAND
1500 W. CANAL CT.
LITTLETON, CO 80120
720.283.6783 voice
CONTACT: MARK CEVAAL, P.E.
EMAIL: mcevaal@redland.com

ARCHITECT

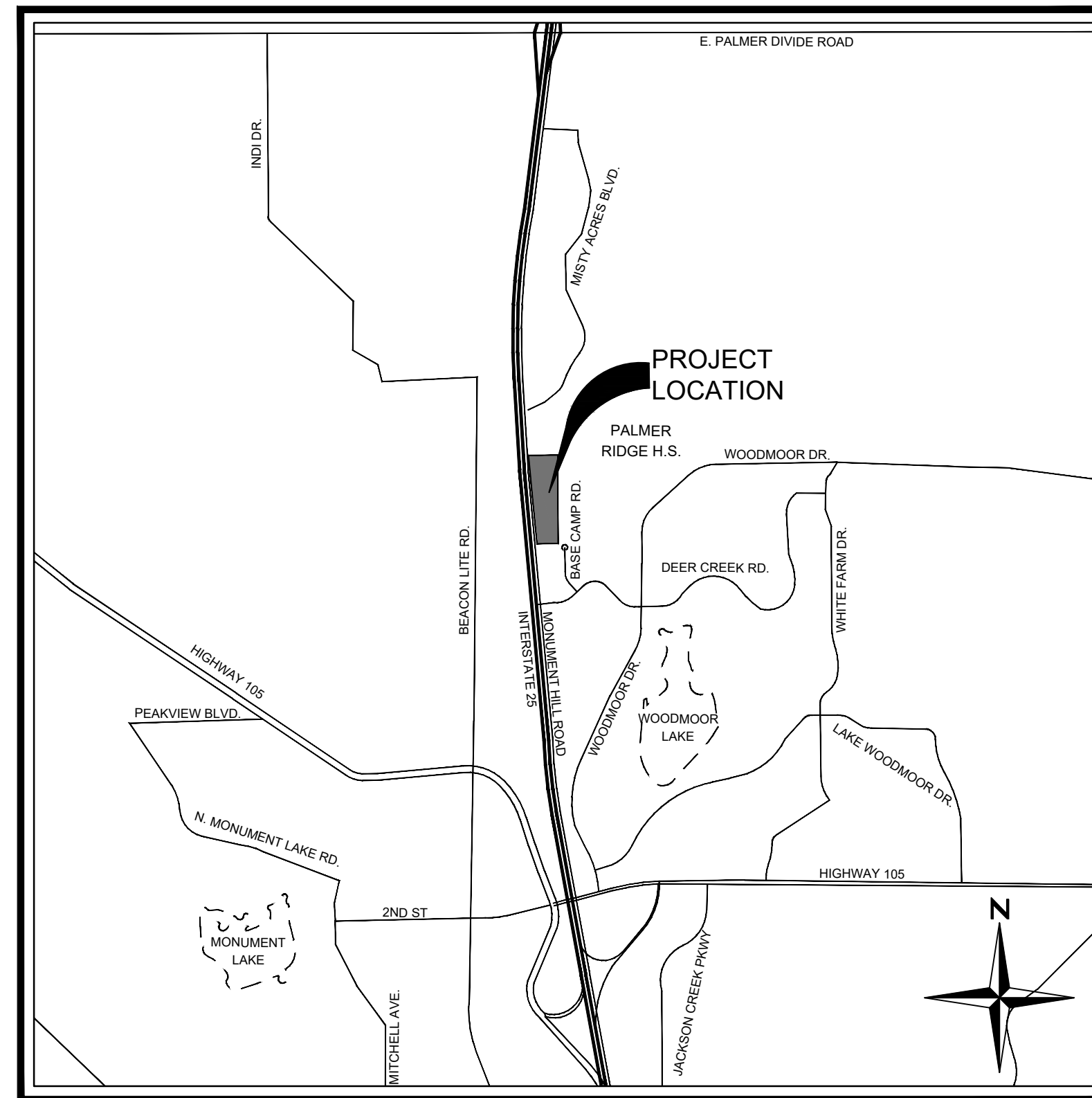
INTERGROUP ARCHITECTS
2000 W. LITTLETON BLVD.
LITTLETON, CO 80120
303.407.1157 voice
CONTACT: BILL SMITH, AIA

LANDSCAPE ARCHITECT

STACKLOT
5366 S. CURTICE ST.
LITTLETON, CO 80120
303.808.4523 voice
CONTACT: STEVE WIENS
EMAIL: steve@stacklot.com

Please update site development plan to show only one driveway access on Monument Hill Road.

Please revise sheet list table to show only the sheets included for the site development plan. OR add a note to the sheets that are not included in this site development plan.



VICINITY MAP
SCALE: 1" = 2000'

BENCHMARK

NGS CONTROL POINT T 395 BEING A STANDARD NGS STEEL ROD IN A LOGO MONUMENT BOX LOCATED 20 MILES NORTH OF COLORADO SPRINGS ON THE EAST SIDE OF I-25, 1,200 FEET NORTH OF THE WEIGH STATION BUILDING, AND 20.5 FEET EAST OF THE EASTERLY EDGE OF OIL OF THE NORTHBOUND LANES OF I-25.

NAVD88. ELEV = 7111.32'

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE REFERENCED TO THE SOUTHERLY BOUNDARY OF LOT 1, GREATER EUROPE MISSION SUBDIVISION FILING NO. 1, BEING MONUMENTED AS SHOWN HEREON, ASSUMED TO BEAR SOUTH 80°00'37" WEST, A DISTANCE OF 358.79 FEET.

Sheet List Table	
Sheet Number	Sheet Title
1 OF 22	COVER SHEET
2 OF 22	OVERALL SITE PLAN
3 OF 22	SITE PLAN
4 OF 22	SITE PLAN
5 OF 23	GRADING PLAN
6 OF 22	GRADING PLAN
7 OF 22	INITIAL EROSION CONTROL PLAN
8 OF 22	INITIAL EROSION CONTROL PLAN
9 OF 22	INTERIM EROSION CONTROL PLAN
10 OF 22	INTERIM EROSION CONTROL PLAN
11 OF 22	UTILITY PLAN
12 OF 22	UTILITY PLAN
13 OF 24	LANDSCAPE PLAN 'A'
14 OF 24	LANDSCAPE PLAN 'B'
15 OF 24	LANDSCAPE PLAN 'C'
16 OF 24	LANDSCAPE NOTES
17 OF 24	LANDSCAPE DETAILS
18 OF 24	EXTERIOR ELEVATIONS
19 OF 24	EXTERIOR ELEVATION
20 OF 24	EXTERIOR ELEVATIONS
21 OF 24	EXTERIOR PERSPECTIVES
22 OF 24	SITE DETAILS
23 OF 24	PHOTOMETRIC SITE PLAN
24 OF 24	PHOTOMETRIC DETAILS

LEGAL DESCRIPTION:

PARCEL B:

THAT PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M. LYING EAST OF THE EAST LINE OF THAT TRACT CONVEYED TO THE STATE HIGHWAY DEPARTMENT BY QUITCLAIM DEED RECORDED SEPTEMBER 8, 1948 IN BOOK 1185, PAGE 458, ALSO DESCRIBED AS: THAT PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE P.M., COUNTY OF EL PASO, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER; THENCE EASTERLY ALONG THE SOUTHERLY LINE OF SAID NORTHWEST QUARTER A DISTANCE OF 996.04 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY OF INTERSTATE HIGHWAY 25 DESCRIBED IN THAT DEED TO THE STATE HIGHWAY DEPARTMENT RECORDED SEPTEMBER 8, 1948 IN BOOK 1185 AT PAGE 458, WHICH POINT IS THE TRUE POINT OF THE BEGINNING OF THE PARCEL TO BE DESCRIBED; THENCE ON A DEFLECTION ANGLE TO THE LEFT 95°08'20" AND ALONG SAID EASTERLY RIGHT OF WAY LINE A DISTANCE OF 1334.24 FEET TO A POINT ON THE NORTHERLY LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE ON A DEFLECTION ANGLE TO THE RIGHT 95°00'36" AND ALONG SAID NORTHERLY LINE 441.95 FEET TO THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE ON A DEFLECTION ANGLE TO THE RIGHT 90°16'15" AND ALONG THE EASTERLY LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER A DISTANCE OF 1329.88 FEET TO THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE ON A DEFLECTION ANGLE TO THE RIGHT 89°51'29" AND ALONG THE SOUTHERLY LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER A DISTANCE OF 319.15 FEET TO THE POINT OF BEGINNING.

15 Redland YEARS
WHERE GREAT PLACES BEGIN
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PROJECT NO.	DATE	NO.	NOTES
23009			
1ST SUBMITTAL			

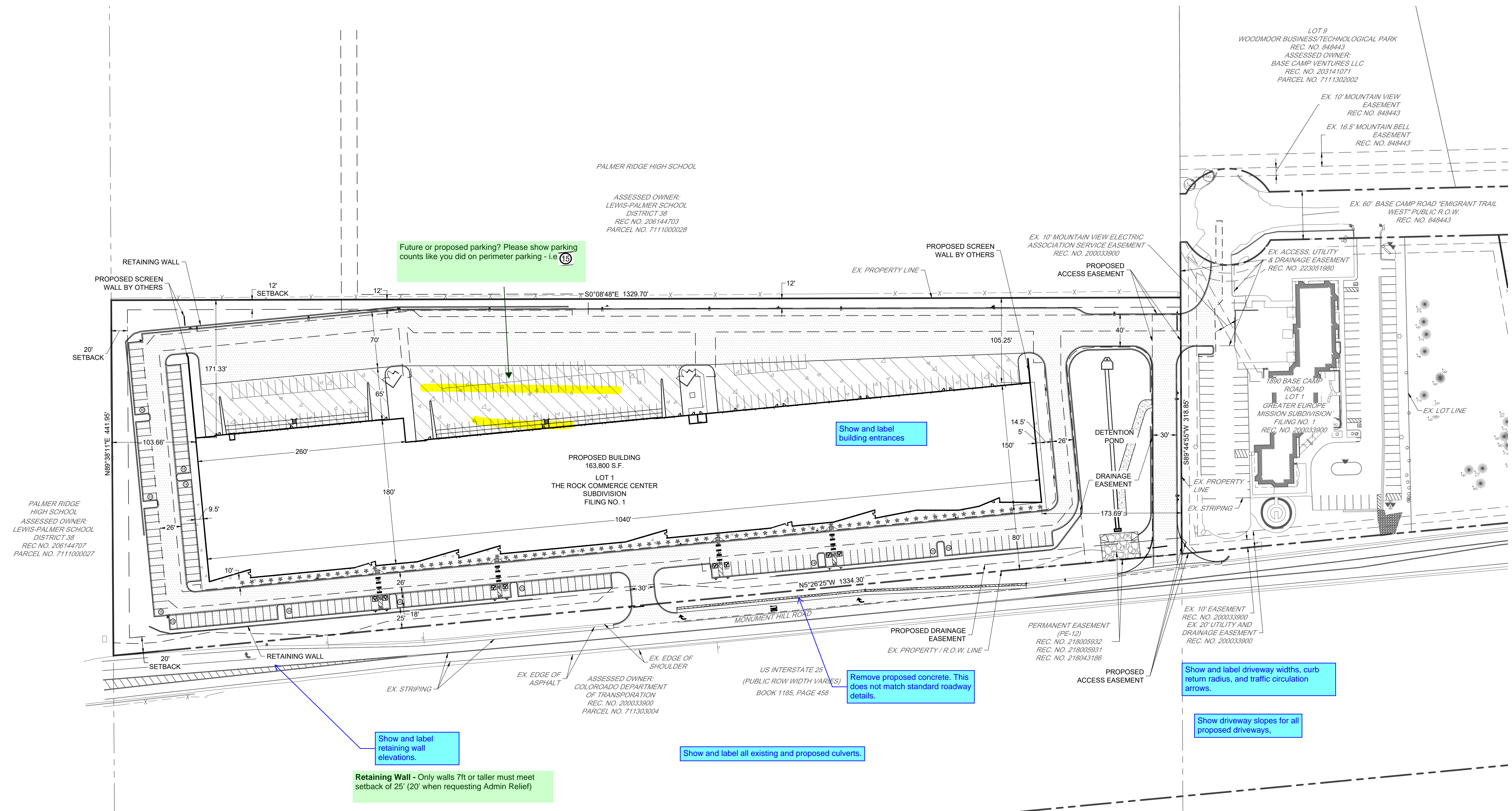
THE ROCK COMMERCE CENTER SUBDIVISION FILING NO. 1
EL PASO COUNTY
SITE DEVELOPMENT PLAN
COVER SHEET

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PROJECT NO.	DATE	NO.	NOTES
23009	08/08/2023	1	1ST SUBMITTAL

**THE ROCK COMMERCE CENTER SUBDIVISION FILING NO. 1
 EL PASO COUNTY
 SITE DEVELOPMENT PLAN
 OVERALL SITE PLAN**

I:\2023\23009 - The Rock Commerce Center\CAD\Sheet Sets\Site Plan\The Rock\23009_Overall Site Plan.dwg Lab: 2 OF 24 OVERALL SITE PLAN Aug 09, 2023 - 11:50am cseal



Add a note that any work within El Paso County right-of-way requires a Work in Right-of-Way permit from El Paso County Department of Public Works.

Add a note to the sheet informing contractors that a building permit from Pikes Peak Regional Building Department is required for retaining walls greater than 4 feet in height.

Parking
 What is the difference between "proposed" and "future" spaces? All parking must be provided during initial build-out of site, unless alternative parking plan granted by PCD.

The following note should be added to all site development plans or non-residential site plans, as applicable, prior to PCD approval:
 The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

PROPOSED LEGEND

- EASEMENT
- CURB AND GUTTER
- SIDEWALK
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- LIMITS OF CONSTRUCTION / SAWCUT
- ***** PEDESTRIAN ACCESSIBLE ROUTE
- RETAINING WALL

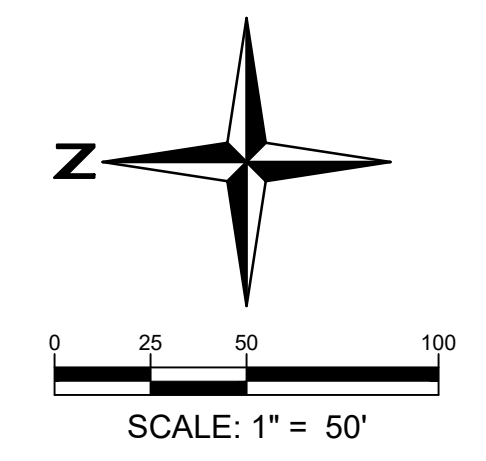
EXISTING LEGEND

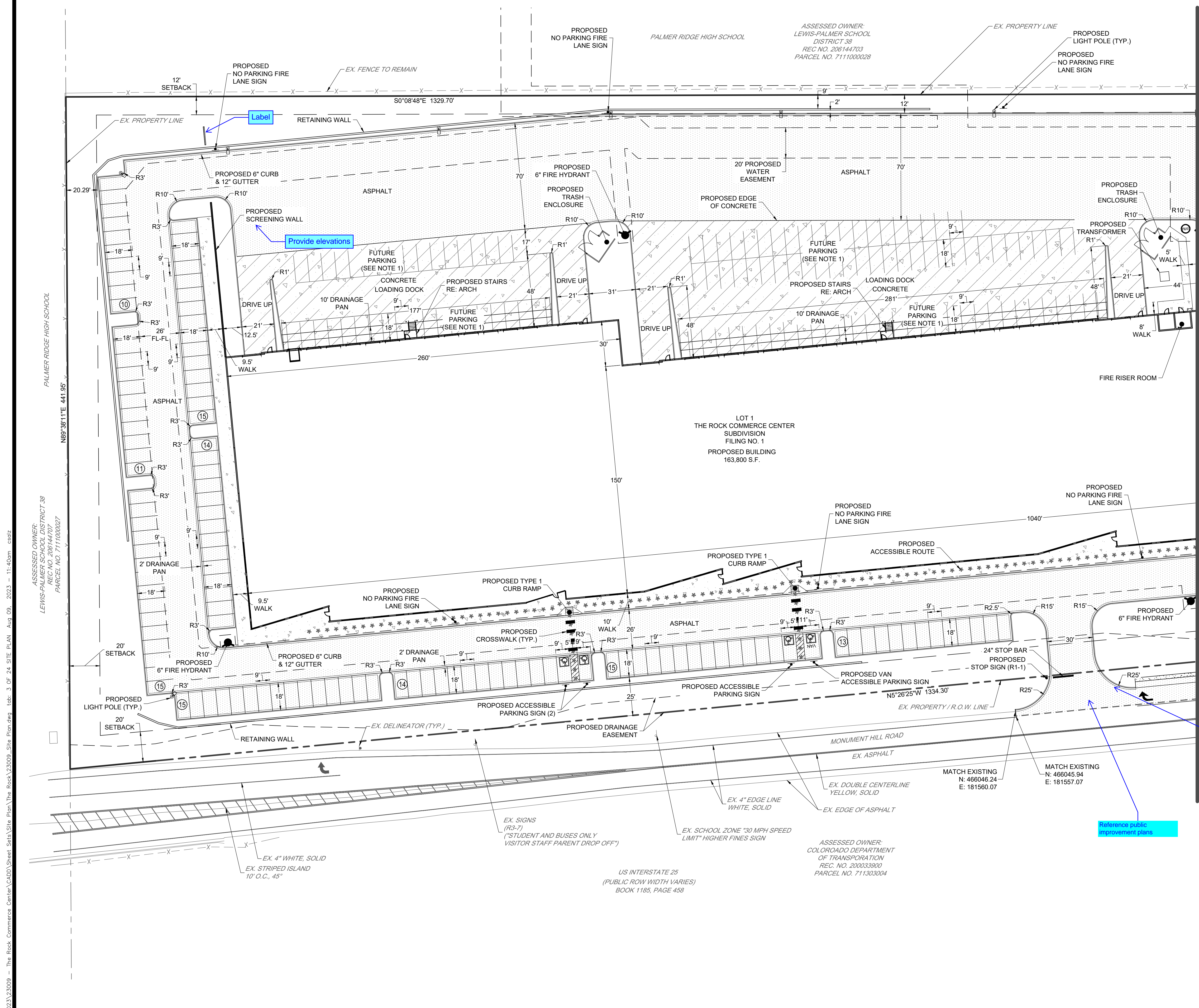
- PROPERTY LINE
- R.O.W.
- LOT LINE
- EASEMENT LINE
- SECTION LINE
- EDGE OF PAVEMENT
- CURB AND GUTTER
- CONCRETE
- FENCE
- SETBACK

SITE DATA TABLE		
LOT 1, THE ROCK COMMERCE CENTER SUBDIVISION FILING NO.1	REQUIRED	PROPOSED
ZONING	CS	CS
PARCEL AREA	11.61 AC. (505,680 S.F.)	11.61 AC. (505,680 S.F.)
BUILDING AREA	-	163,800 S.F.
BUILDING HEIGHT	40' MAX.	36'
STANDARD SPACES	*OFFICE = 205 SPACES *WAREHOUSE = 123 SPACES TOTAL = 328 SPACES	PROPOSED = 166 SPACES FUTURE = 162 SPACES TOTAL = 328 SPACES
ACCESSIBLE SPACES	8 ACCESSIBLE SPACES	8 ACCESSIBLE SPACES
VAN ACCESSIBLE	1 VAN ACCESSIBLE SPACE	2 VAN ACCESSIBLE SPACES
LANDSCAPE AREA	-	2.4 AC. (105,409.5 S.F. / 20.8%)
HARDSCAPE AREA	-	9.2 AC. (400,270.5 S.F. / 79.2%)

SITE DATA TABLE	
LOT 1, GREATER EUROPE MISSION FILING NO. 1	
ZONING	CS
PARCEL AREA	3.59 AC. (156,422 S.F.)
BUILDING AREA	+11,784 S.F.
BUILDING HEIGHT	45' MAX.
STANDARD SPACES	REQUIRED = 59 SPACES EXISTING = 96 SPACES PROPOSED = 88 SPACES
ACCESSIBLE SPACES	3 ACCESSIBLE SPACES
VAN ACCESSIBLE	1 VAN ACCESSIBLE
LANDSCAPE AREA	(87,973.7 S.F. / 56.2%)
HARDSCAPE AREA	(68,448.3 S.F. / 43.8%)

* OFFICE = 25% OF BLDG S.F. @ 1/200 S.F.
 * WAREHOUSE = 75% OF BLDG S.F. @ 1/1000 S.F.





- PROPOSED LEGEND**
- EASEMENT
 - CURB AND GUTTER
 - SIDEWALK
 - CONCRETE PAVEMENT
 - ASPHALT PAVEMENT
 - LIMITS OF CONSTRUCTION / SAWCUT
 - PEDESTRIAN ACCESSIBLE ROUTE
 - RETAINING WALL
 - FIRE HYDRANT

- EXISTING LEGEND**
- PROPERTY LINE
 - R.O.W.
 - LOT LINE
 - EASEMENT LINE
 - SECTION LINE
 - EDGE OF PAVEMENT
 - CURB AND GUTTER
 - CONCRETE
 - FENCE
 - SETBACK

NOTE:
 1. IF THE PARKING SPACES ON THE EAST SIDE OF THE BUILDING ARE BEING USED, THEN THIS AREA WILL NOT BE USED FOR TRUCK DOORS.

MATCHLINE - SEE SHEET NO. 4 OF 24

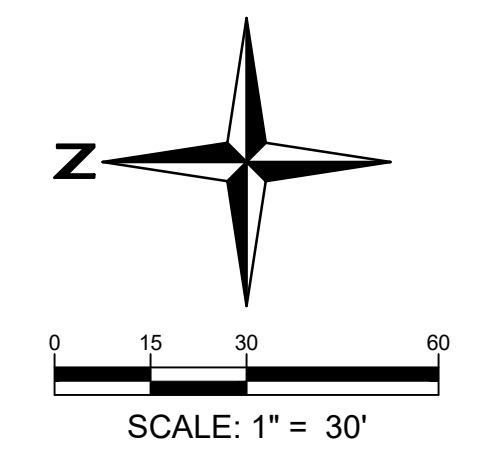
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 WHERE GREAT PLACES BEGIN

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PROJECT NO.	DATE	NO.	NOTES
23009	08/02/23	1	1ST SUBMITTAL

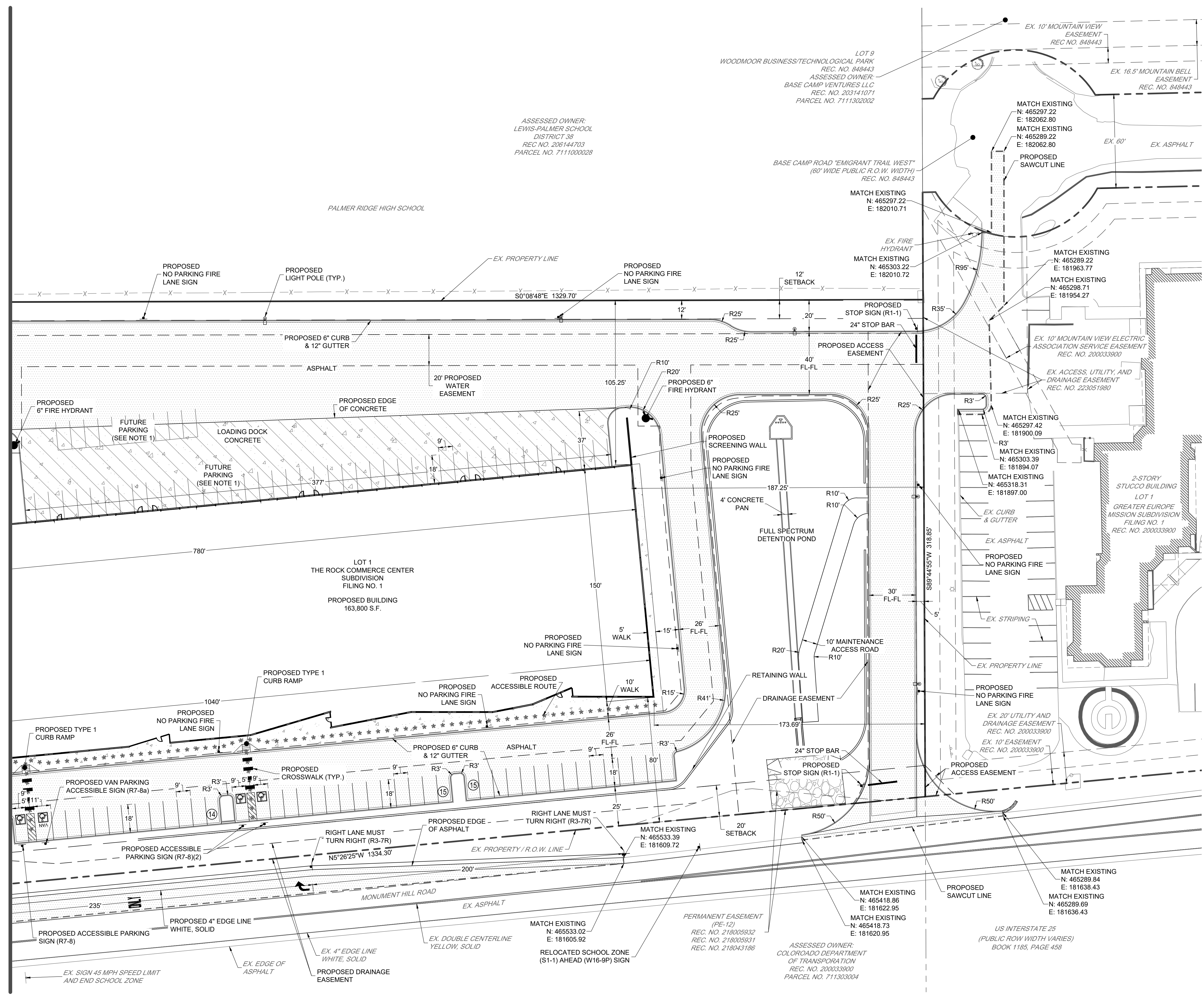
THE ROCK COMMERCE CENTER SUBDIVISION FILING NO. 1
 EL PASO COUNTY
SITE DEVELOPMENT PLAN
 SITE PLAN



I:\2023\23009 - The Rock Commerce Center\CAAD\Sheet Sets\Site Plan\The Rock\23009_Site Plan.dwg, tab: 3 OF 24 SITE PLAN, Aug 09, 2023 - 11:40am, csolz
 ASSESSED OWNER: LEWIS-PALMER SCHOOL DISTRICT 38, REC. NO. 206144707, PARCEL NO. 7111000027
 ASSESSED OWNER: PALMER RIDGE HIGH SCHOOL, REC. NO. 206144703, PARCEL NO. 7111000028
 ASSESSED OWNER: COLORADO DEPARTMENT OF TRANSPORTATION, REC. NO. 200033900, PARCEL NO. 711303004

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MATCHLINE - SEE SHEET NO. 3 OF 24



- PROPOSED LEGEND**
- EASEMENT
 - CURB AND GUTTER
 - SIDEWALK
 - CONCRETE PAVEMENT
 - ASPHALT PAVEMENT
 - LIMITS OF CONSTRUCTION / SAWCUT
 - PEDESTRIAN ACCESSIBLE ROUTE
 - RETAINING WALL
 - FIRE HYDRANT
- EXISTING LEGEND**
- PROPERTY LINE
 - R.O.W.
 - LOT LINE
 - EASEMENT LINE
 - SECTION LINE
 - EDGE OF PAVEMENT
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 - CONCRETE
 - FENCE
 - SETBACK

NOTE:
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 WHERE GREAT PLACES BEGIN

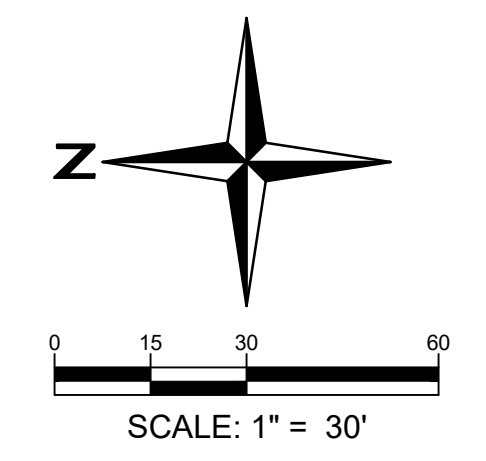
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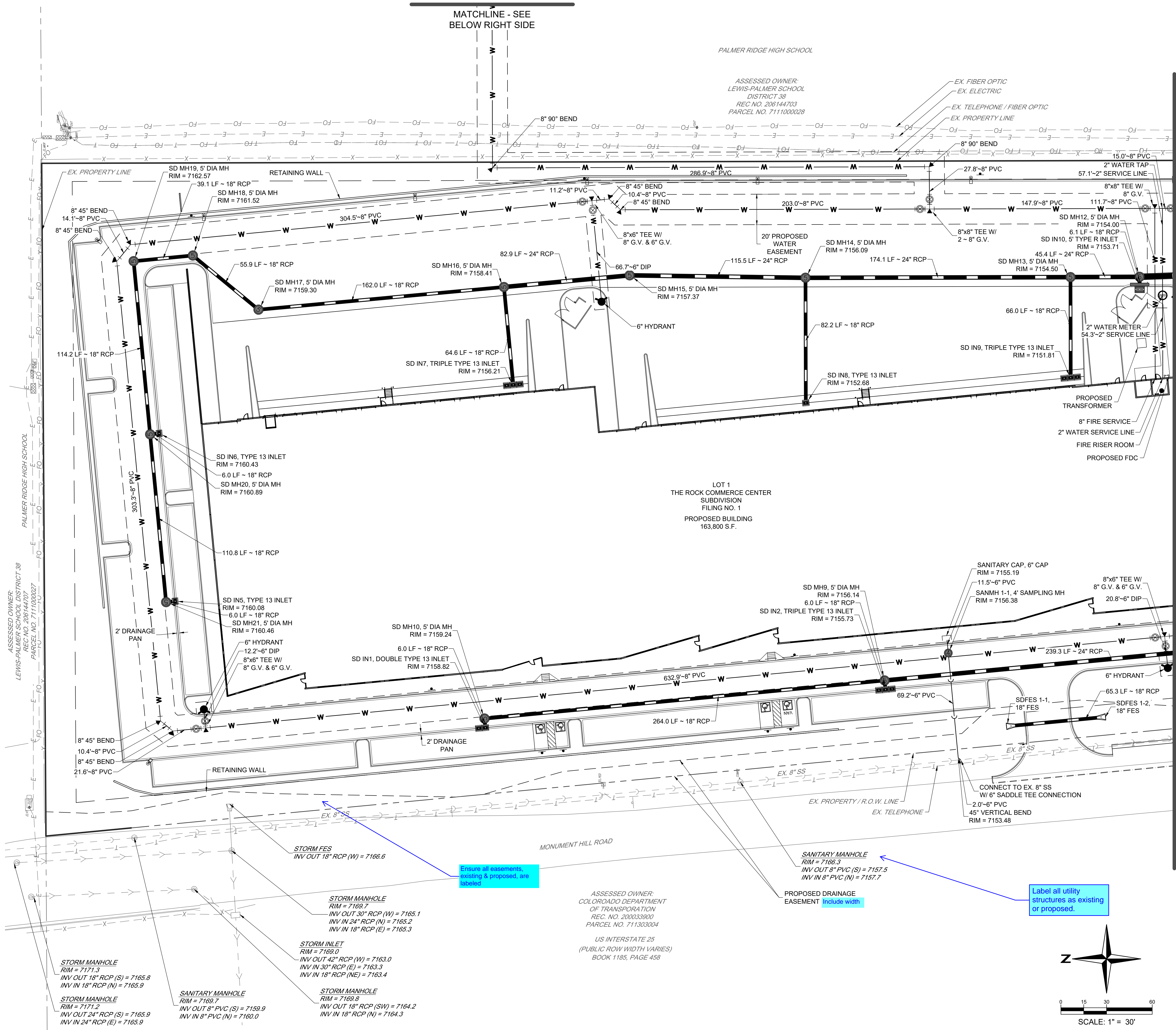
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 SITE PLAN



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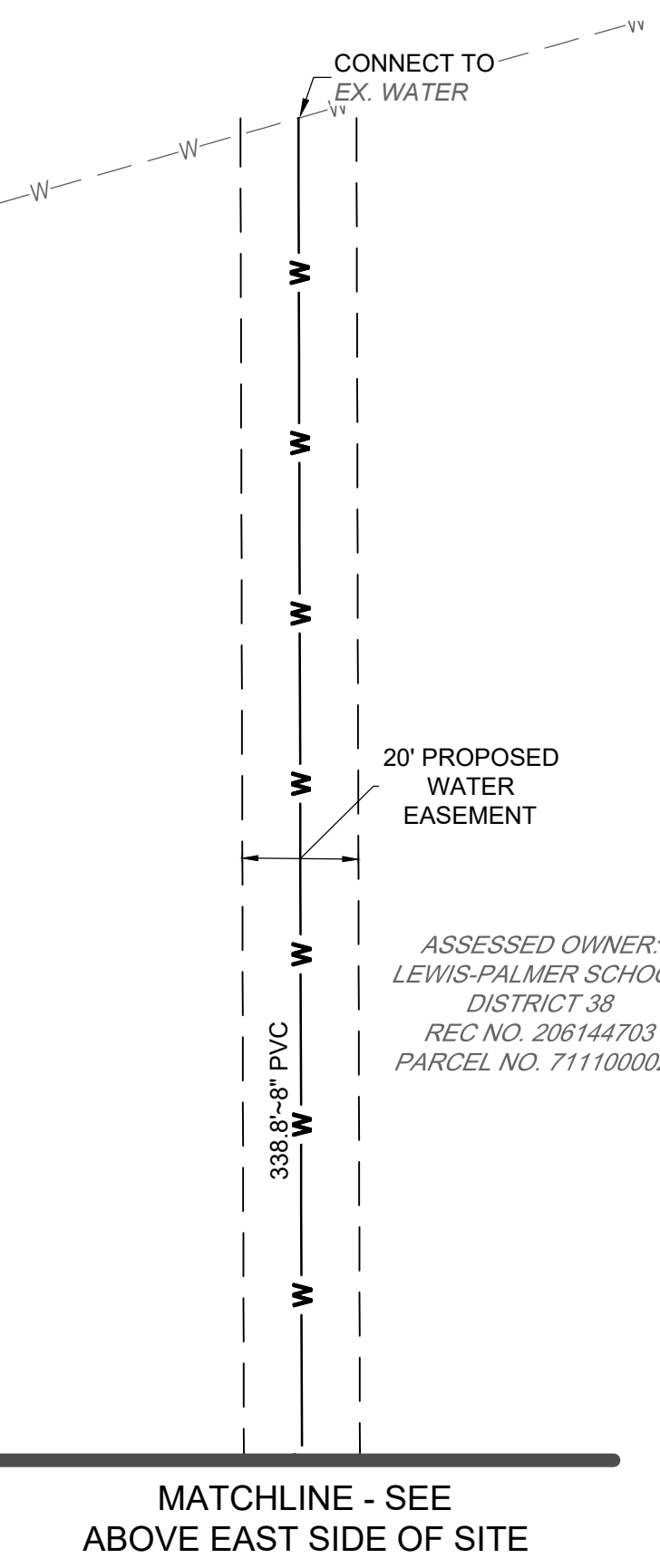
PROPOSED LEGEND

- EASEMENT
- CURB AND GUTTER
- LIMITS OF CONSTRUCTION / SAWCUT
- FIRE HYDRANT
- STORM SEWER
- SANITARY SEWER
- TRENCH DRAIN
- WATER LINE
- IRR IRRIGATION LINE
- NP NONPOTABLE WATER LINE
- RW RAW WATER LINE
- MANHOLE w/ DIA. (FT.)
- INLET
- FLARED END SECTION
- WATER BEND
- WATER CROSS
- WATER TEE
- WATER REDUCER
- WATER VALVE
- PLUG/CAP
- RETAINING WALL

EXISTING LEGEND

- PROPERTY LINE
- R.O.W.
- LOT LINE
- EASEMENT LINE
- SECTION LINE
- SETBACK
- EDGE OF PAVEMENT
- CURB AND GUTTER
- FENCE
- RETAINING WALL
- WATER LINE
- RAW WATER LINE
- NP NON-POTABLE WATER LINE
- IRR IRRIGATION LINE
- SANITARY SEWER
- STORM SEWER
- ELECTRIC LINE
- GAS LINE
- TELEPHONE LINE
- FIBER OPTICS LINE
- OH OVERHEAD ELECTRIC LINE

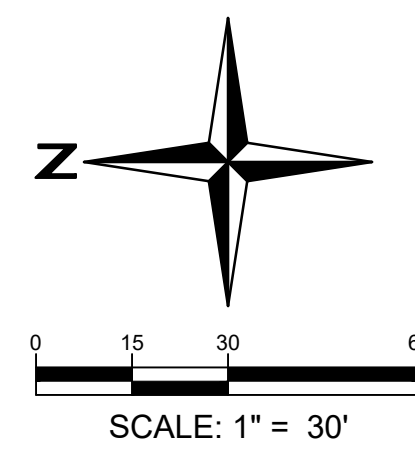
MATCHLINE - SEE SHEET NO. 12 OF 24



Ensure all easements, existing & proposed, are labeled

Label all utility structures as existing or proposed.

PROPOSED DRAINAGE EASEMENT Include width



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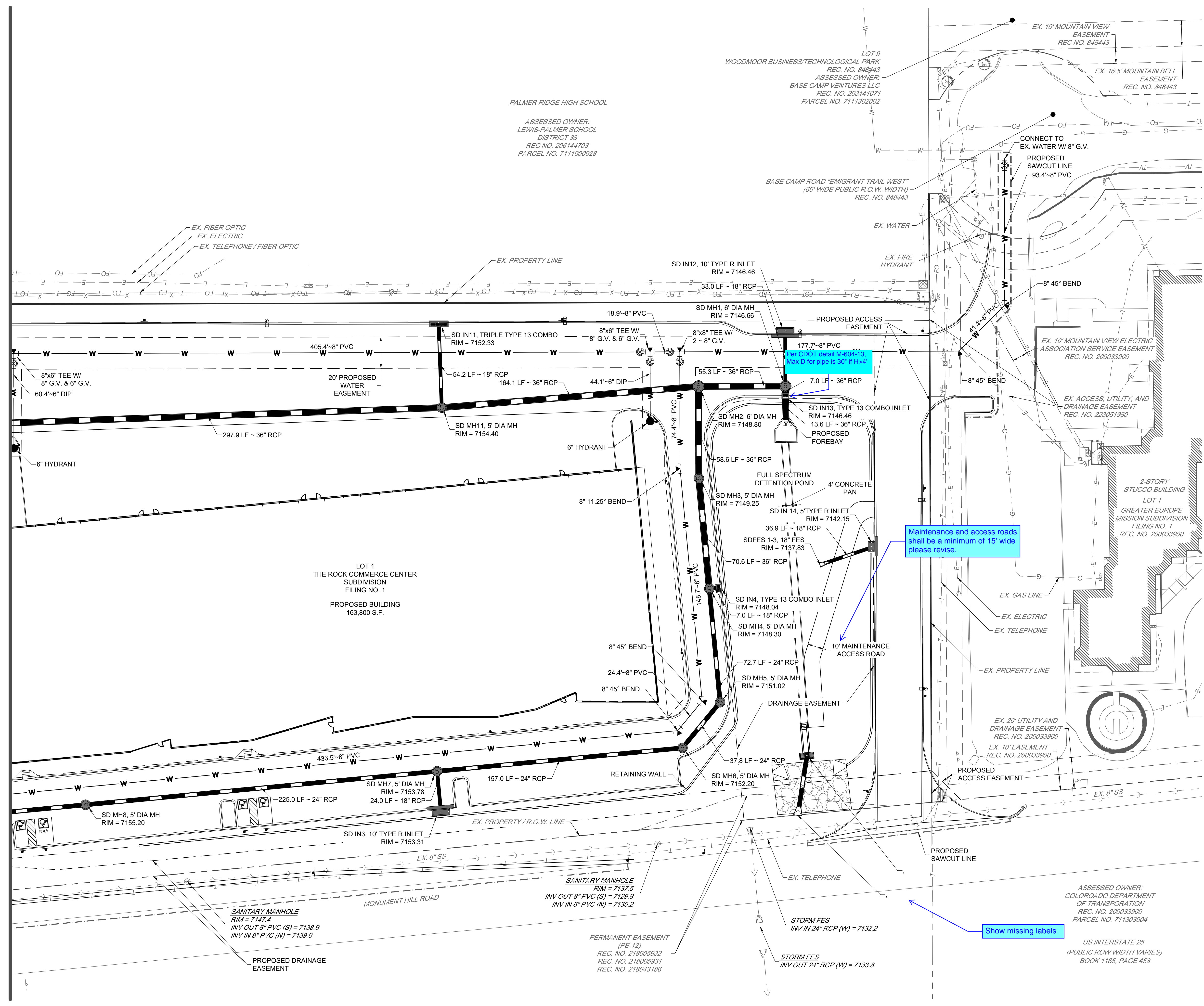
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UTILITY PLAN

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MATCHLINE - SEE SHEET NO. 11 OF 24



PROPOSED LEGEND

---	EASEMENT
---	CURB AND GUTTER
---	LIMITS OF CONSTRUCTION / SAWCUT
---	FIRE HYDRANT
---	STORM SEWER
---	SANITARY SEWER
---	TRENCH DRAIN
---	WATER LINE
---	IRRIGATION LINE
---	NONPOTABLE WATER LINE
---	RAW WATER LINE
---	MANHOLE w/ DIA. (FT.)
---	INLET
---	FLARED END SECTION
---	WATER BEND
---	WATER CROSS
---	WATER TEE
---	WATER REDUCER
---	WATER VALVE
---	PLUG/CAP
---	RETAINING WALL

EXISTING LEGEND

---	PROPERTY LINE
---	R.O.W.
---	LOT LINE
---	EASEMENT LINE
---	SECTION LINE
---	SETBACK
---	EDGE OF PAVEMENT
---	CURB AND GUTTER
---	FENCE
---	RETAINING WALL
---	WATER LINE
---	RAW WATER LINE
---	NON-POTABLE WATER LINE
---	IRRIGATION LINE
---	SANITARY SEWER
---	STORM SEWER
---	ELECTRIC LINE
---	GAS LINE
---	TELEPHONE LINE
---	FIBER OPTICS LINE
---	OVERHEAD ELECTRIC LINE

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YEARS

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UTILITY PLAN

