THE ROCK COMMERCE CENTER

SITE DEVELOPMENT PLAN

LOCATED IN THE SOUTHWEST QUARTER OF THE
NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
EL PASO COUNTY, STATE OF COLORADO.

PROJECT TEAM

OWNER / DEVELOPER

BASE CAMP, LLC
1600 S. ALBON ST., #200
DENVER, CO 80222
303.628.0200 voice
CONTACT: JEREMY RECORDS

CIVIL ENGINEER

REDLAND
1500 W. CANAL CT.
LITTLETON, CO 80120
720.283.6783 voice
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ARCHITECT

INTERGROUP ARCHITECTS
2000 W. LITTLETON BLVD.
LITTLETON, CO 80120
303.407.1157 voice
CONTACT: BILL SMITH, AIA

LANDSCAPE ARCHITECT

STACKLOT
5369 S. CURTICE ST.
LITTLETON, CO 80120
303.808.4523 voice
CONTACT: STEVE WIENS
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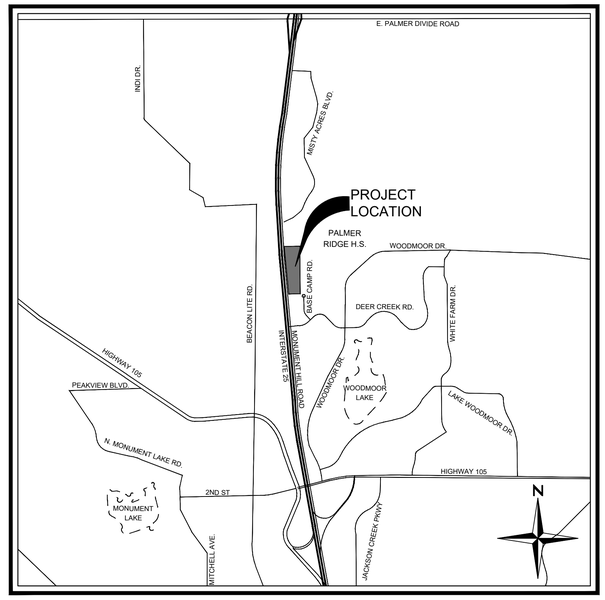
LEGAL DESCRIPTION:

PARCEL B:

THAT PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M. LYING EAST OF THE EAST LINE OF THAT TRACT CONVEYED TO THE STATE HIGHWAY DEPARTMENT BY QUITCLAIM DEED RECORDED SEPTEMBER 8, 1948 IN BOOK 1185, PAGE 458, ALSO DESCRIBED AS: THAT PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE P.M., COUNTY OF EL PASO, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER; THENCE EASTERLY ALONG THE SOUTHERLY LINE OF SAID NORTHWEST QUARTER A DISTANCE OF 996.04 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY OF INTERSTATE HIGHWAY 25 DESCRIBED IN THAT DEED TO THE STATE HIGHWAY DEPARTMENT RECORDED SEPTEMBER 8, 1948 IN BOOK 1185 AT PAGE 458, WHICH POINT IS THE TRUE POINT OF THE BEGINNING OF THE PARCEL TO BE DESCRIBED; THENCE ON A DEFLECTION ANGLE TO THE LEFT 95°08'20" AND ALONG SAID EASTERLY RIGHT OF WAY LINE A DISTANCE OF 1334.24 FEET TO A POINT ON THE NORTHERLY LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE ON A DEFLECTION ANGLE TO THE RIGHT 95°00'36" AND ALONG SAID NORTHERLY LINE 441.95 FEET TO THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE ON A DEFLECTION ANGLE TO THE RIGHT 90°16'15" AND ALONG THE EASTERLY LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER A DISTANCE OF 1329.88 FEET TO THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE ON A DEFLECTION ANGLE TO THE RIGHT 89°51'29" AND ALONG THE SOUTHERLY LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER A DISTANCE OF 319.15 FEET TO THE POINT OF BEGINNING.



VICINITY MAP
SCALE: 1" = 2000'

BENCHMARK

NGS CONTROL POINT T 395 BEING A STANDARD NGS STEEL ROD IN A LOGO MONUMENT BOX LOCATED 20 MILES NORTH OF COLORADO SPRINGS ON THE EAST SIDE OF I-25, 1,200 FEET NORTH OF THE WEIGH STATION BUILDING, AND 20.5 FEET EAST OF THE EASTERLY EDGE OF OIL OF THE NORTHBOUND LANES OF I-25.

NAVD88. ELEV = 7111.32'

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE REFERENCED TO THE SOUTHERLY BOUNDARY OF LOT 1, GREATER EUROPE MISSION SUBDIVISION FILING NO. 1, BEING MONUMENTED AS SHOWN HEREON, ASSUMED TO BEAR SOUTH 80°00'37" WEST, A DISTANCE OF 358.79 FEET.

Sheet List Table

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15 OF 21	EXTERIOR ELEVATIONS
16 OF 21	EXTERIOR ELEVATIONS
17 OF 21	EXTERIOR ELEVATIONS
18 OF 21	EXTERIOR PERSPECTIVES
19 OF 21	SITE DETAILS
20 OF 21	PHOTOMETRIC SITE PLAN
21 OF 21	PHOTOMETRIC DETAILS

APPROVED
Plan Review
02/29/2024 11:23:39 AM
dsdparsons
EPC Planning & Community Development Department

Please schedule pre-construction meeting with Inspections, Brad Walters 520-6300.

PCD FILE NO. PPR2329

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DATE	NO.	NOTES

PROJECT NO: 23009

DATE	NO.	NOTES
08/08/2023	1	1ST SUBMITTAL
10/20/2023	2	2ND SUBMITTAL
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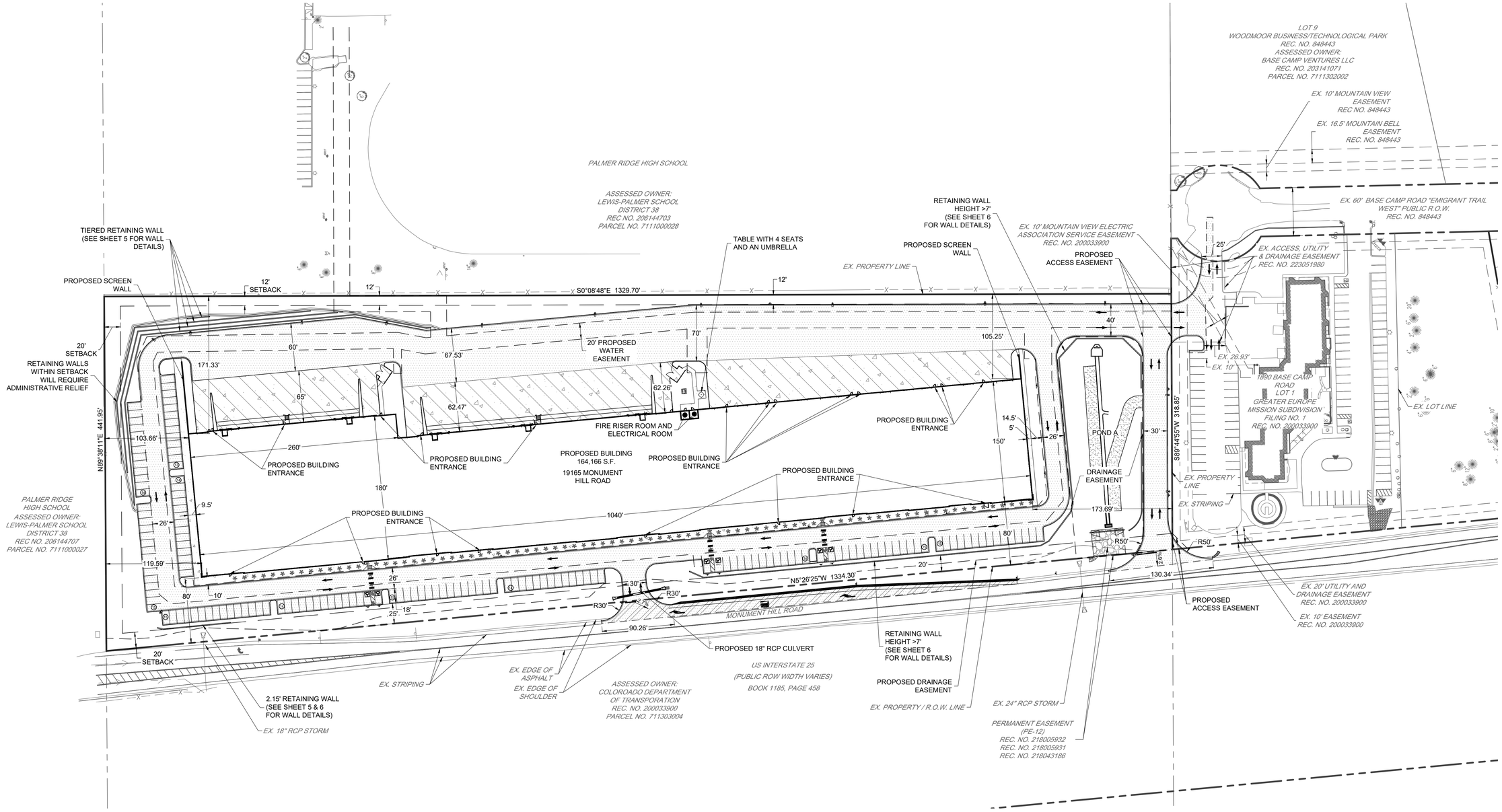
12/15/2023	4	4TH SUBMITTAL

THE ROCK COMMERCE CENTER

SITE DEVELOPMENT PLAN
COVER SHEET

SHEET
1 OF 21

I:\2023\23009 - The Rock Commerce Center\CADD\Sheet Sets\Site Plan\The Rock\23009_Cover Sheet.dwg tab: 1 OF 24 COVER SHEET Dec 19, 2023 - 10:01am cseitz



NOTE:
1. ANY WORK WITHIN EL PASO COUNTY RIGHT-OF-WAY REQUIRES A WORK IN RIGHT-OF-WAY PERMIT FROM EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS.
2. A BUILDING PERMIT FORM PIKES PEAK REGIONAL BUILDING DEPARTMENT IS REQUIRED FOR RETAINING WALLS GREAT THAN 4 FEET IN HEIGHT.

SITE DATA TABLE

LOT 1, THE ROCK COMMERCE CENTER SUBDIVISION FILING NO.1	REQUIRED (WITH ALTERNATIVE PARKING RATIO)	PROPOSED
ZONING	CS	CS
PARCEL AREA	11.61 AC. (505,680 S.F.)	11.61 AC. (505,680 S.F.)
BUILDING AREA	-	163,800 S.F.
BUILDING HEIGHT	40' MAX.	36'
STANDARD SPACES	*RETAIL = 28 SPACES *WAREHOUSE = 123 SPACES TOTAL = 151 SPACES	PROPOSED PARKING = 151 SPACES
ACCESSIBLE SPACES	6 ACCESSIBLE SPACES	6 ACCESSIBLE SPACES
VAN ACCESSIBLE	1 VAN ACCESSIBLE SPACE	1 VAN ACCESSIBLE SPACES
LANDSCAPE AREA	-	2.4 AC. (105,409.5 S.F. / 20.8%)
HARDSCAPE AREA	-	9.2 AC. (400,270.5 S.F. / 79.2%)

* RETAIL = 10% OF BLDG S.F. @ 1/600 S.F.
* WAREHOUSE = 90% OF BLDG S.F. @ 1/1200 S.F.
* AN ALTERNATIVE PARKING RATIO WILL BE REQUESTED TO CHANGE THE WAREHOUSE PARKING TO 1 SPACE PER 1,200 S.F. FROM 1 SPACE PER 1,000 S.F.
* THE TOTAL AMOUNT OF ACCESSIBLE SPACES WILL STILL FOLLOW THE ORIGINAL CODE.

SITE DATA TABLE

LOT 1, GREATER EUROPE MISSION FILING NO. 1
CS
3.59 AC. (156,422 S.F.)
+-11,784 S.F.
45' MAX.
REQUIRED = 59 SPACES EXISTING = 96 SPACES PROPOSED = 88 SPACES
3 ACCESSIBLE SPACES
1 VAN ACCESSIBLE
(87,973.7 S.F. / 56.2%)
(68,448.3 S.F. / 43.8%)

NOTE:
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATION AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OF GUIDELINES ENACTED OF PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

PROPOSED LEGEND

- EASEMENT
- CURB AND GUTTER
- SIDEWALK
- CONCRETE PAVEMENT
- ASPHALT PAVEMET
- LIMITS OF CONSTRUCTION / SAWCUT
- PEDESTRIAN ACCESSIBLE ROUTE
- RETAINING WALL

EXISTING LEGEND

- PROPERTY LINE
- R.O.W.
- LOT LINE
- EASEMENT LINE
- SECTION LINE
- EDGE OF PAVEMENT
- CURB AND GUTTER
- CONCRETE
- FENCE
- SETBACK

PCD FILE NO. PPR2329

N

0 30 60 120
SCALE: 1" = 60'

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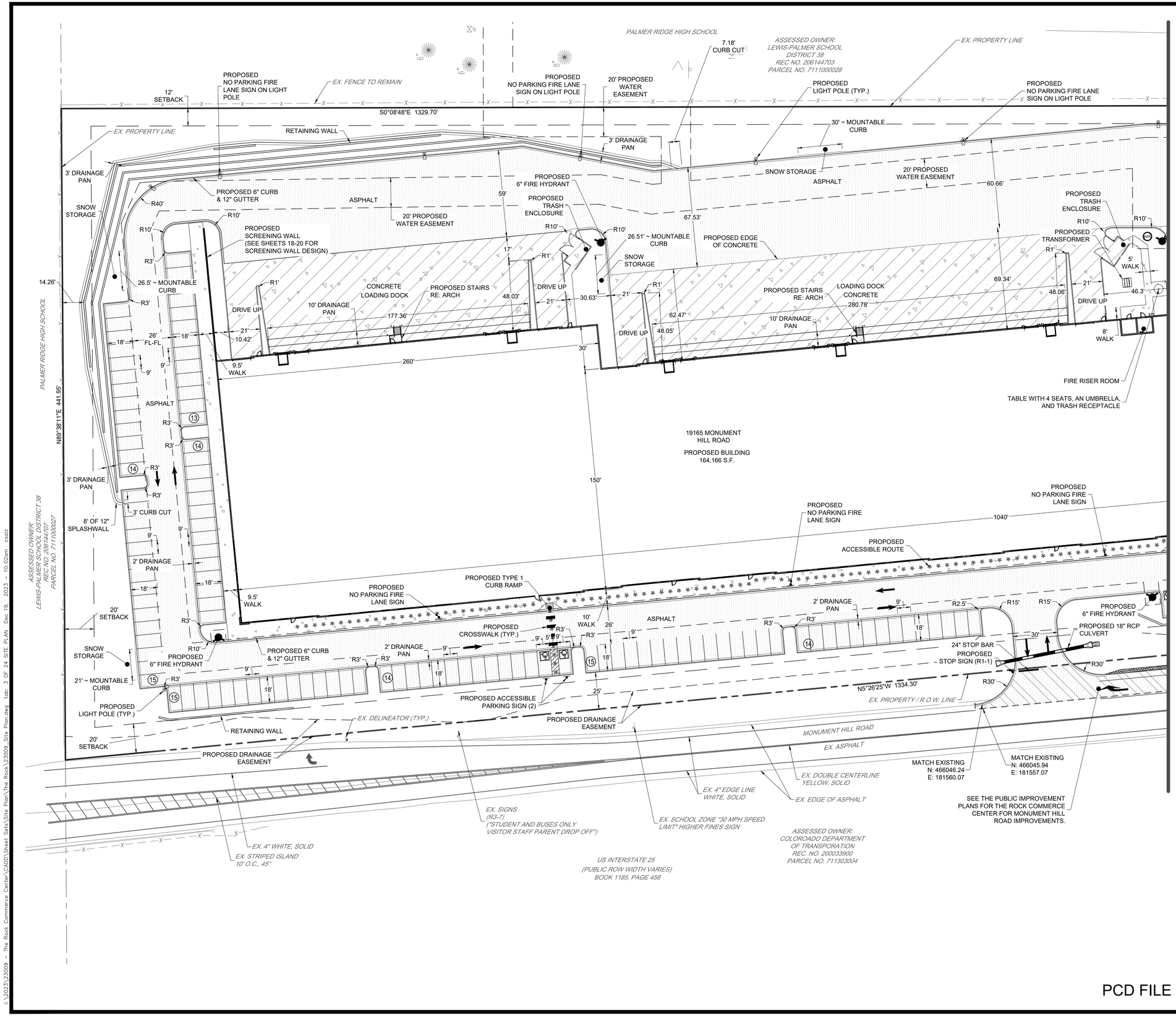
DATE	NO.	NOTES

THE ROCK COMMERCE CENTER

SITE DEVELOPMENT PLAN
OVERALL SITE PLAN

SHEET
2 OF 21

I:\2023\23009 – The Rock Commerce Center\CADD\Sheet Sets\Site Plan\The Rock\23009_Overall Site Plan.dwg tab: 2 OF 24 OVERALL SITE PLAN Dec 20, 2023 – 2:13pm csaiz



PROPOSED LEGEND

- EASEMENT
- CURB AND GUTTER
- SIDEWALK
- CONCRETE PAVEMENT
- ASPHALT PAVEMET
- LIMITS OF CONSTRUCTION / SAWCUT
- PEDESTRIAN ACCESSIBLE ROUTE
- RETAINING WALL
- FIRE HYDRANT

EXISTING LEGEND

- PROPERTY LINE
- R.O.W.
- LOT LINE
- EASEMENT LINE
- SECTION LINE
- EDGE OF PAVEMENT
- CURB AND GUTTER
- CONCRETE
- FENCE
- SETBACK

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SCALE: 1" = 30'

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THE ROCK COMMERCE CENTER

SITE DEVELOPMENT PLAN

SITE PLAN

SHEET 3 OF 21

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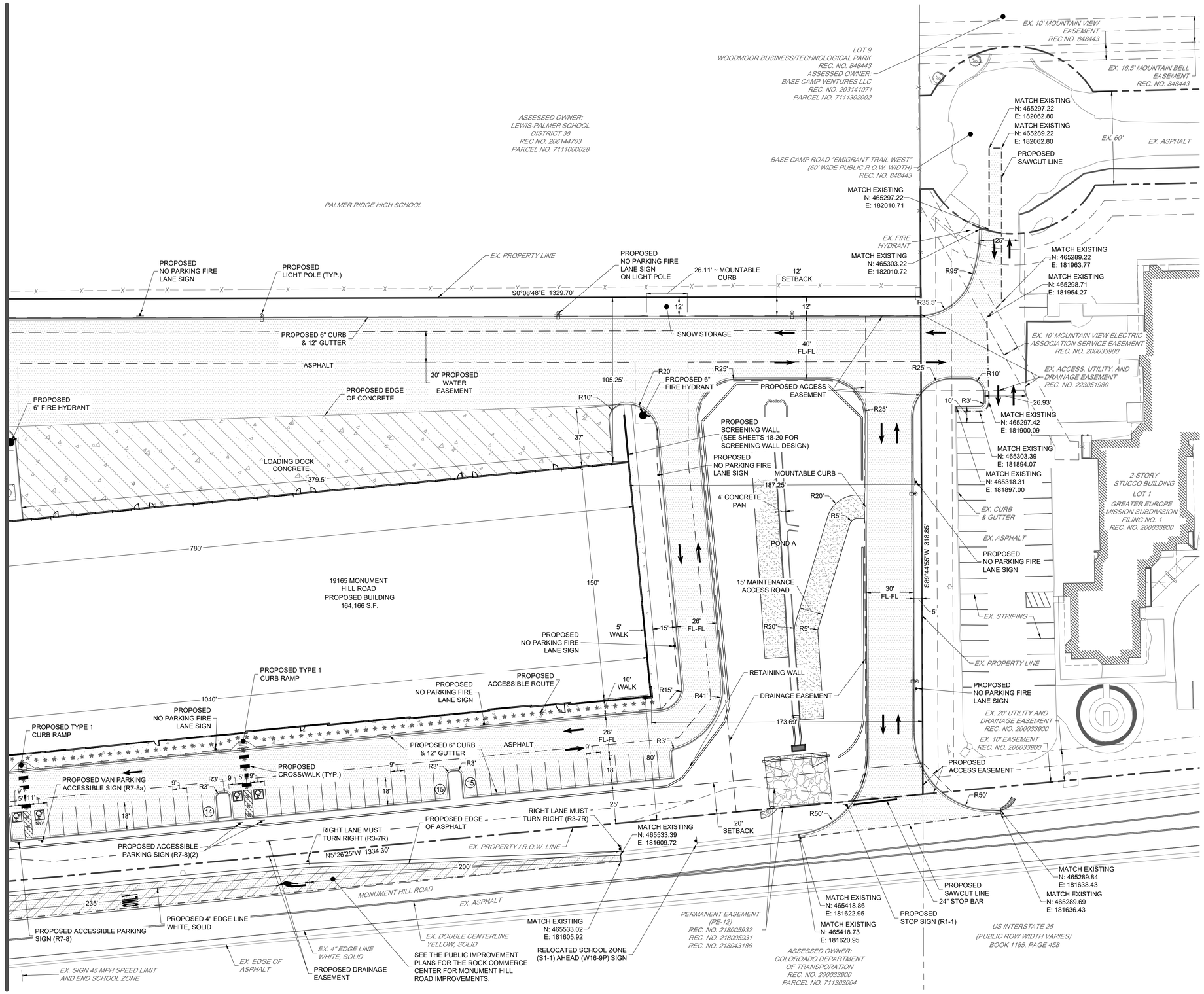

PROPOSED LEGEND

- EASEMENT
- CURB AND GUTTER
- SIDEWALK
- CONCRETE PAVEMENT
- ASPHALT PAVEMET
- LIMITS OF CONSTRUCTION / SAWCUT
- PEDESTRIAN ACCESSIBLE ROUTE
- RETAINING WALL
- FIRE HYDRANT

EXISTING LEGEND

- PROPERTY LINE
- R.O.W.
- LOT LINE
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- EDGE OF PAVEMENT
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- CONCRETE
- FENCE
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THE ROCK COMMERCE CENTER

SITE DEVELOPMENT PLAN

SITE PLAN

SHEET 4 OF 21

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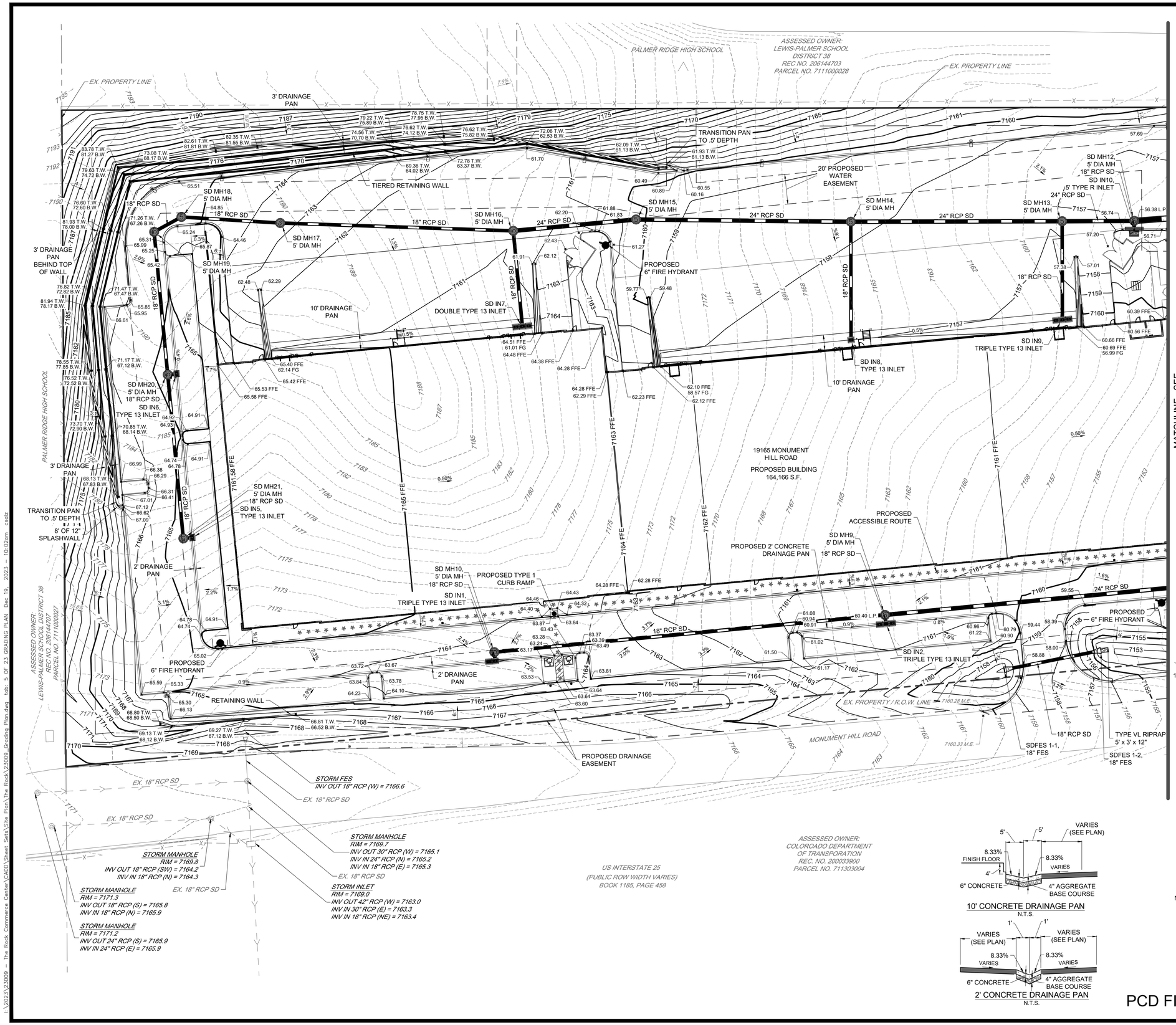

PROPOSED LEGEND

- EASEMENT
- CURB AND GUTTER
- FIRE HYDRANT
- LIMITS OF CONSTRUCTION / SAWCUT
- PEDESTRIAN ACCESSIBLE ROUTE
- STORM SEWER
- TRENCH DRAIN
- MANHOLE w/ DIA. (FT.)
- INLET
- FLARED END SECTION
- RETAINING WALL
- 5280 CONTOUR MAJOR
- 5281 CONTOUR MINOR
- 81.73 SPOT ELEVATION
- SLOPE ARROW (4:1 MAX UNLESS NOTED OTHERWISE)

EXISTING LEGEND

- PROPERTY LINE
- R.O.W.
- LOT LINE
- EASEMENT LINE
- SETBACK
- SECTION LINE
- EDGE OF PAVEMENT
- CURB AND GUTTER
- CONCRETE
- FENCE
- RETAINING WALL
- STORM SEWER
- GAS LINE
- 5280 CONTOUR MAJOR
- 5281 CONTOUR MINOR

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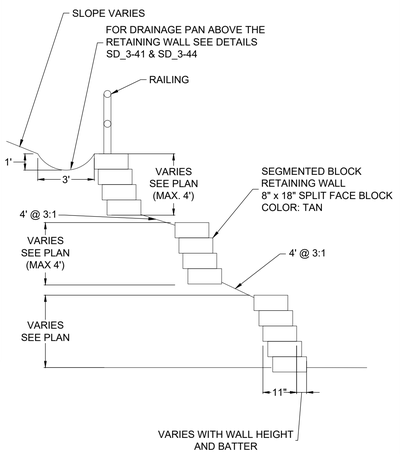
2. REGIONAL BUILDING DEPARTMENT PERMIT REQUIRED FOR ALL RETAINING WALLS GREATER THAN OR EQUAL TO 4 FT IN HEIGHT.
3. SEE SHEETS 18-21 FOR SCREENING WALL DETAILS BY ARCH.
4. NO BATCH PLANTS WILL BE UTILIZED ONSITE.



TYPICAL MODULAR BLOCK WALL DETAIL
NOT TO SCALE

NOTE: RETAINING WALL WILL REQUIRE A SEPARATE BUILDING PERMIT

10' CONCRETE DRAINAGE PAN
N.T.S.

2' CONCRETE DRAINAGE PAN
N.T.S.

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SCALE: 1" = 30'

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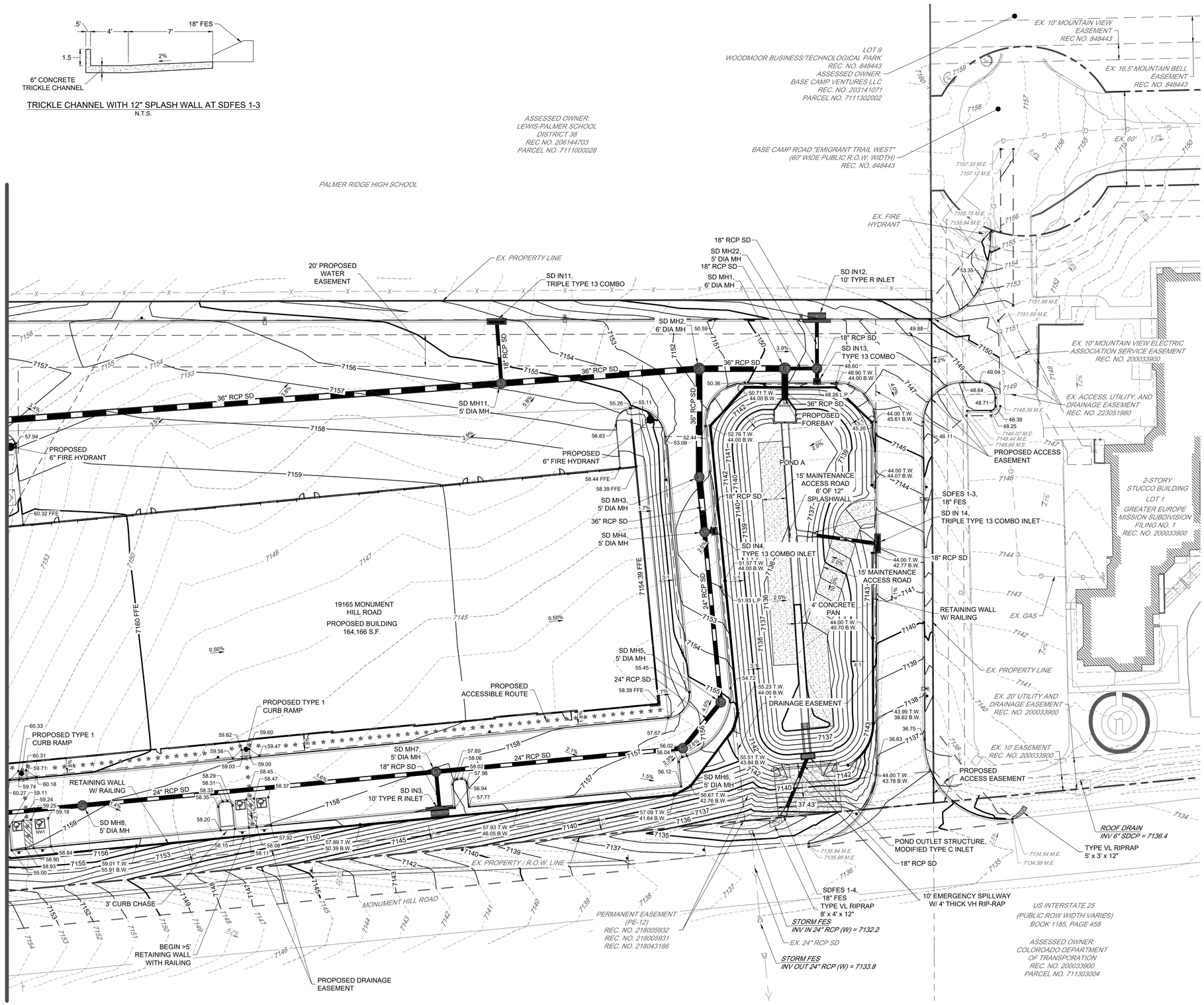
THE ROCK COMMERCE CENTER

SITE DEVELOPMENT PLAN
GRADING PLAN

SHEET
5 OF 21

I:\2023\23009 – The Rock Commerce Center\CADD\Sheet Sets\Site Plan\The Rock\23009_Grading Plan.dwg tab: 5 OF 23 GRADING PLAN Dec 19, 2023 – 10:02am csaiz



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PROPOSED LEGEND

- EASEMENT
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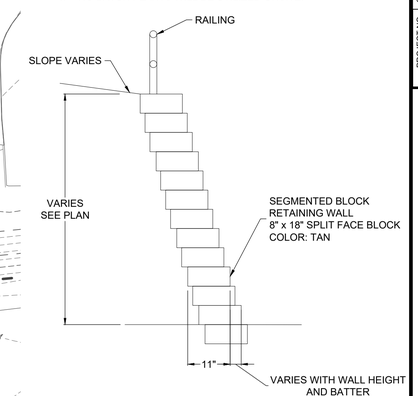

TYPICAL MODULAR BLOCK WALL DETAIL

NOT TO SCALE

NOTE: RETAINING WALL WILL REQUIRE A SEPARATE BUILDING PERMIT

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THE ROCK COMMERCE CENTER

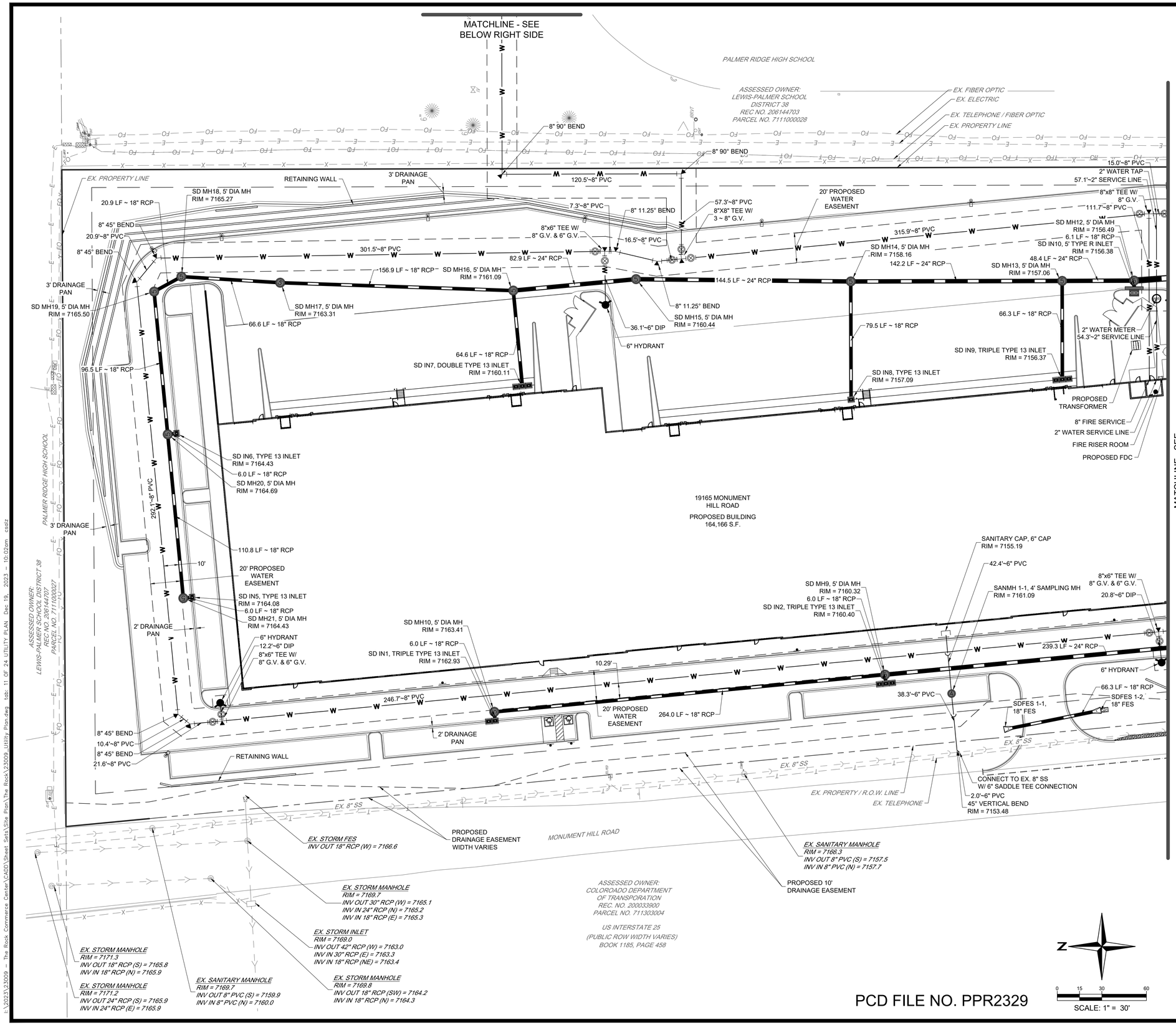
SITE DEVELOPMENT PLAN

GRADING PLAN

SHEET

6 OF 21

I:\2023\23009 – The Rock Commerce Center\CADD\Sheet Sets\Site Plan\The Rock\23009_Grading Plan.dwg tab: 6 OF 22 GRADING PLAN Dec 19, 2023 – 10:02am csalz



PCD FILE NO. PPR2329

MATCHLINE - SEE SHEET NO. 8 OF 21

PROPOSED LEGEND

- EASEMENT
- CURB AND GUTTER
- LIMITS OF CONSTRUCTION / SAWCUT
- FIRE HYDRANT
- STORM SEWER
- SANITARY SEWER
- TRENCH DRAIN
- W — WATER LINE
- IRR — IRRIGATION LINE
- NP — NONPOTABLE WATER LINE
- RW — RAW WATER LINE
- MANHOLE w/ DIA. (FT.)
- INLET
- FLARED END SECTION
- WATER BEND
- WATER CROSS
- WATER TEE
- WATER REDUCER
- WATER VALVE
- PLUG/CAP
- RETAINING WALL

EXISTING LEGEND

- PROPERTY LINE
- R.O.W.
- LOT LINE
- EASEMENT LINE
- SECTION LINE
- SETBACK
- EDGE OF PAVEMENT
- CURB AND GUTTER
- X — FENCE
- RETAINING WALL
- W — WATER LINE
- RW — RAW WATER LINE
- NP — NON-POTABLE WATER LINE
- IRR — IRRIGATION LINE
- S — SANITARY SEWER
- D — STORM SEWER
- E — ELECTRIC LINE
- G — GAS LINE
- T — TELEPHONE LINE
- FO — FIBER OPTICS LINE
- OH — OVERHEAD ELECTRIC LINE

NOTE:

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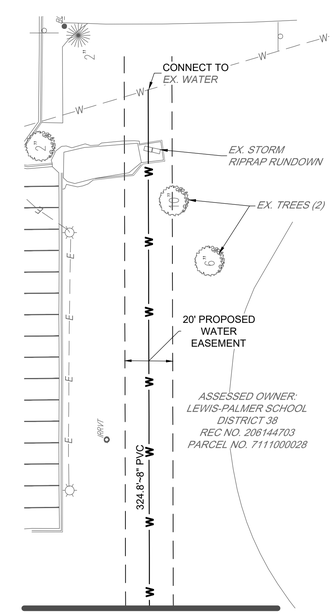

MATCHLINE - SEE ABOVE EAST SIDE OF SITE

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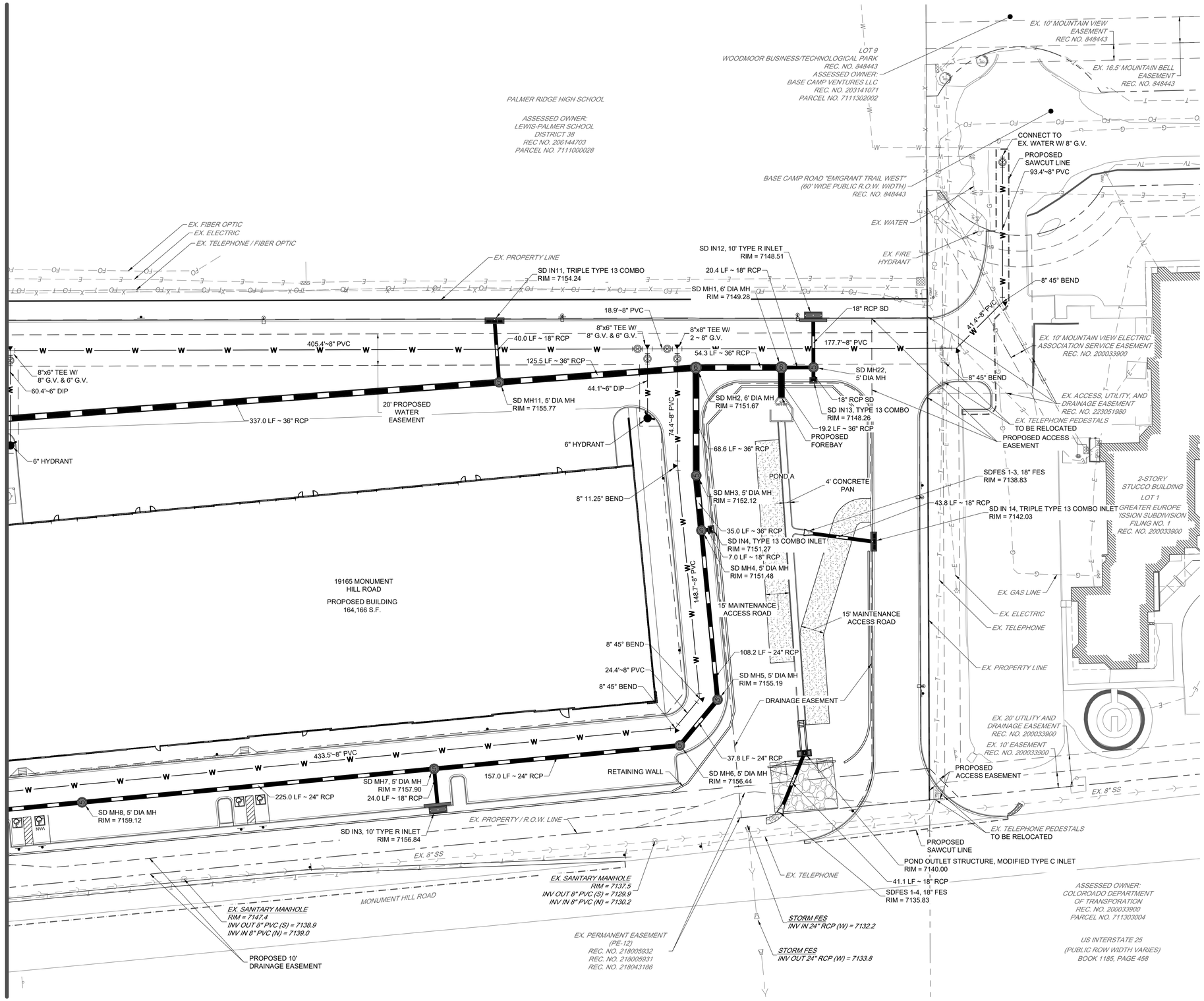
THE ROCK COMMERCE CENTER

SITE DEVELOPMENT PLAN
UTILITY PLAN

SHEET 7 OF 21

I:\2023\23009 – The Rock Commerce Center\CADD\Sheet Sets\Site Plan\The Rock\23009_Utility Plan.dwg tab: 11 OF 24 UTILITY PLAN Dec 19, 2023 – 10:02am cssiz



PROPOSED LEGEND

- EASEMENT
- CURB AND GUTTER
- LIMITS OF CONSTRUCTION / SAWCUT
- FIRE HYDRANT
- STORM SEWER
- SANITARY SEWER
- TRENCH DRAIN
- W — WATER LINE
- IRR — IRRIGATION LINE
- NP — NONPOTABLE WATER LINE
- RW — RAW WATER LINE
- MANHOLE w/ DIA. (FT.)
- INLET
- FLARED END SECTION
- WATER BEND
- WATER CROSS
- WATER TEE
- WATER REDUCER
- WATER VALVE
- PLUG/CAP
- RETAINING WALL

EXISTING LEGEND

- PROPERTY LINE
- R.O.W.
- LOT LINE
- EASEMENT LINE
- SECTION LINE
- SETBACK
- EDGE OF PAVEMENT
- CURB AND GUTTER
- X — FENCE
- RETAINING WALL
- W — WATER LINE
- RW — RAW WATER LINE
- NP — NON-POTABLE WATER LINE
- IRR — IRRIGATION LINE
- SANITARY SEWER
- STORM SEWER
- E — ELECTRIC LINE
- G — GAS LINE
- T — TELEPHONE LINE
- FO — FIBER OPTICS LINE
- OH — OVERHEAD ELECTRIC LINE

NOTE:
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATION AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OF GUIDELINES ENACTED OF PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

PCD FILE NO. PPR2329

Z

0 15 30 60
SCALE: 1" = 30'

15 YEARS Redland
WHERE GREAT PLACES BEGIN
720.283.6783 REDLAND.COM
▪ Land Planning ▪ Civil Engineering ▪ Landscape Architecture ▪ Construction Management

NOT FOR CONSTRUCTION

NO.	DATE	NOTES

PROJECT NO. 23009

NO.	DATE	NOTES
1	08/08/2023	1ST SUBMITTAL
2	10/06/2023	2ND SUBMITTAL
3	11/17/2023	3RD SUBMITTAL
4	12/15/2023	4TH SUBMITTAL

THE ROCK COMMERCE CENTER

SITE DEVELOPMENT PLAN
UTILITY PLAN

SHEET
8 OF 21

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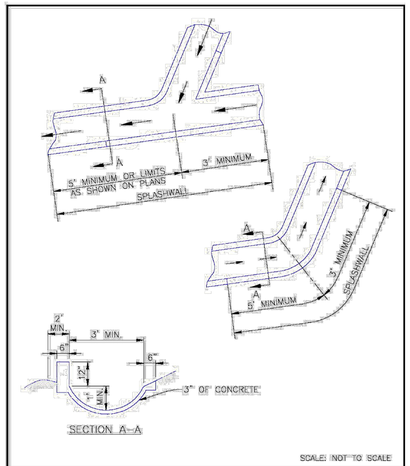
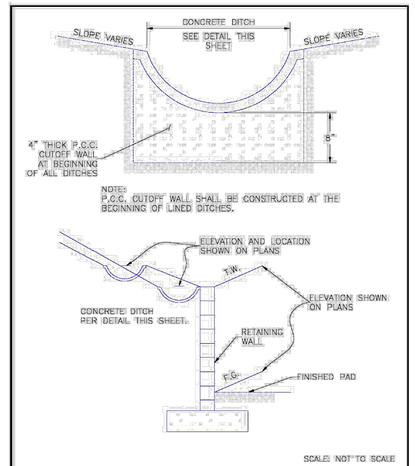


8/11/11 DATE APPROVED André P. Brackin DEPARTMENT OF TRANSPORTATION	Lined Ditch Splashwall Detail (Plan and Section) Standard Drawing REVISION DATE: 11/10/04 FILE NAME: SD_3-41	EL PASO COUNTY DEPARTMENT OF TRANSPORTATION



8/11/11 DATE APPROVED André P. Brackin DEPARTMENT OF TRANSPORTATION	Lined Ditch Behind Retaining Wall Detail Standard Drawing REVISION DATE: 11/10/04 FILE NAME: SD_3-44	EL PASO COUNTY DEPARTMENT OF TRANSPORTATION

15 YEARS Redland
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NOT FOR CONSTRUCTION

DATE	NO.	NOTES

PROJECT NO. 23009

DATE	NO.	NOTES
08/08/2023	1	1ST SUBMITTAL
10/20/2023	2	2ND SUBMITTAL
11/17/2023	3	3RD SUBMITTAL
12/15/2023	4	4TH SUBMITTAL

THE ROCK COMMERCE CENTER

SITE DEVELOPMENT PLAN

DRAINAGE DETAILS

SHEET

9 OF 21

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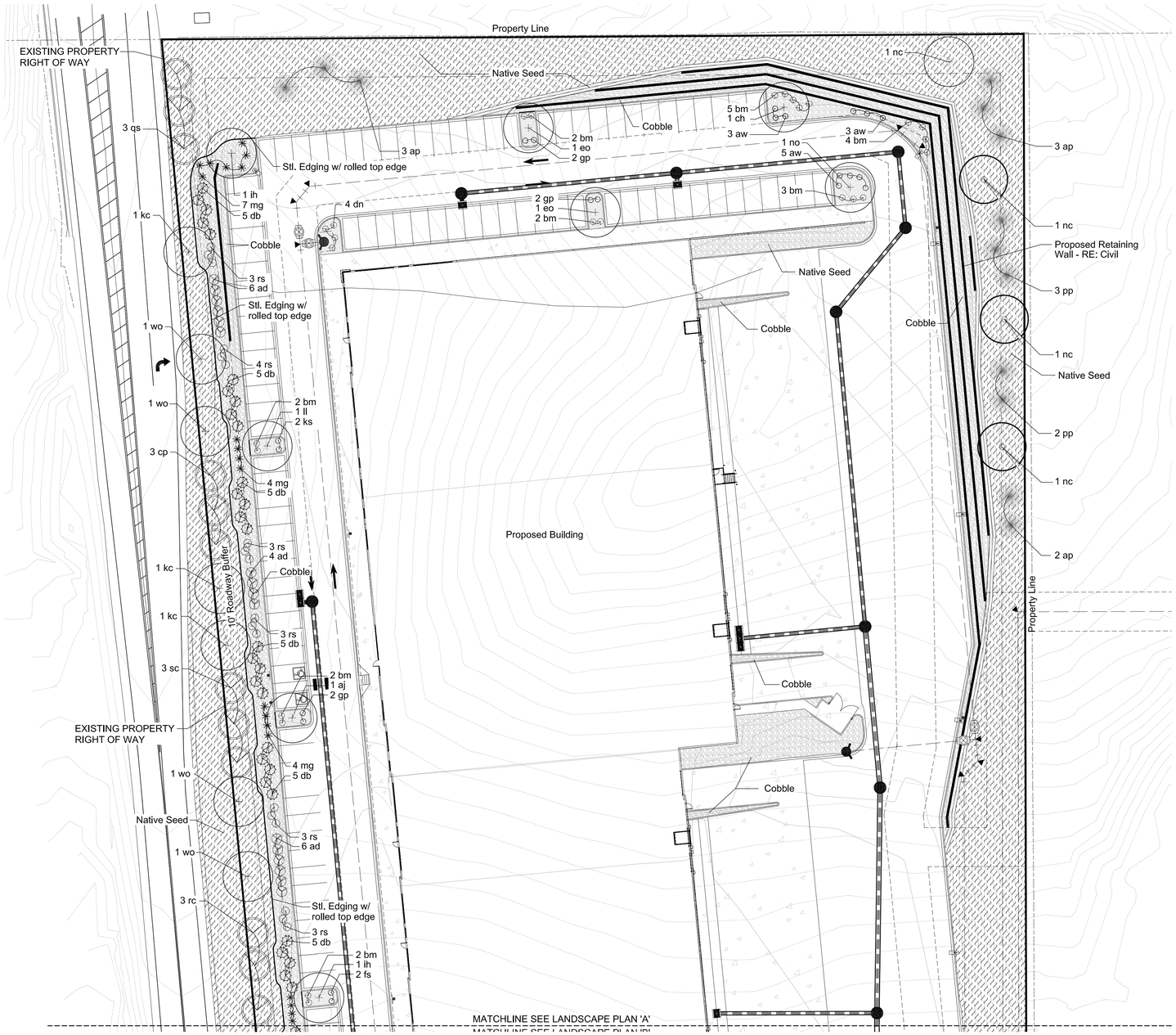
SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO



LANDSCAPE LEGEND:

- DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- SHRUB
- ORNAMENTAL GRASS / PERENNIAL

NATIVE SEED MIX NON-IRRIGATED

COMMON NAME	SCIENTIFIC NAME	% OF TOTAL	PLS PER ACRE
BLUE GRAMA	BOUTELOUA GRACILIS	25%	1.8 LBS.
SAND DROPSEED	SPOROBOLUS CRYPTANDRUS	20%	0.20 LBS.
SIDEOATS GRAMA	BOUTELOUA CURTIPENDULA	20%	6.3 LBS.
WESTERN WHEATGRASS	PASCOPYRUM SMITHII	15%	8.2 LBS.
BUFFALO GRASS	BOUTELOUA DACTYLOIDES	10%	10.7 LBS.
INLAND SALTGRASS	DISTICHLIS SPICATA	1%	0.60 LBS.
PASTURE SAGE	ARTEMISIA FRIGIDA	1%	0.01 LBS.
BLANKET FLOWER	GAILLARDIA ARTISTATA	1%	0.5 LBS.
PRAIRIE CONEFLOWER	RATIBIDA COLUMNIFERA	1%	0.1 LBS.
PURPLE PRAIRIECLOVER	DALEA PURPUREA	1%	0.3 LBS.
BLUE FLAX	LINUM LEWISII	1%	0.4 LBS.

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- 4"-8" ROUND COBBLE OVER FILTER FABRIC
- SHREDDED CEDAR MULCH
- STEEL EDGING w/ ROLLED TOP EDGE
- RETAINING WALL - RE: CIVIL

LANDSCAPE PLAN 'A'

NORTH

0' 15' 30' 60' 90'
SCALE 1" = 30' - 0"

STACK Lot
5639 SOUTH CURTICE STREET
LITTLETON, COLORADO 80120
phone. 303.808.4523

PCD FILE NO: PPR2329

REVISIONS

BY	DATE	DESCRIPTION
	10/23/23	RESUBMITTAL
	11/16/23	RESUBMITTAL
	12/13/23	RESUBMITTAL

DRAWN: sdw
CHECKED: jah
DESIGNED: sdw
FILENAME

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER

LANDSCAPE PLAN 'A'

INTERGROUP ARCHITECTS
■ architecture
■ planning
■ interiors
2000 West Littleton Blvd
Littleton, Colorado 80120
P. 303.738.8877 F. 303.738.2294
www.igarch.com

JOB NO.
SCALE: AS SHOWN
DATE: 07/28/2023
SHEETS: 21
SHEET: 10

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
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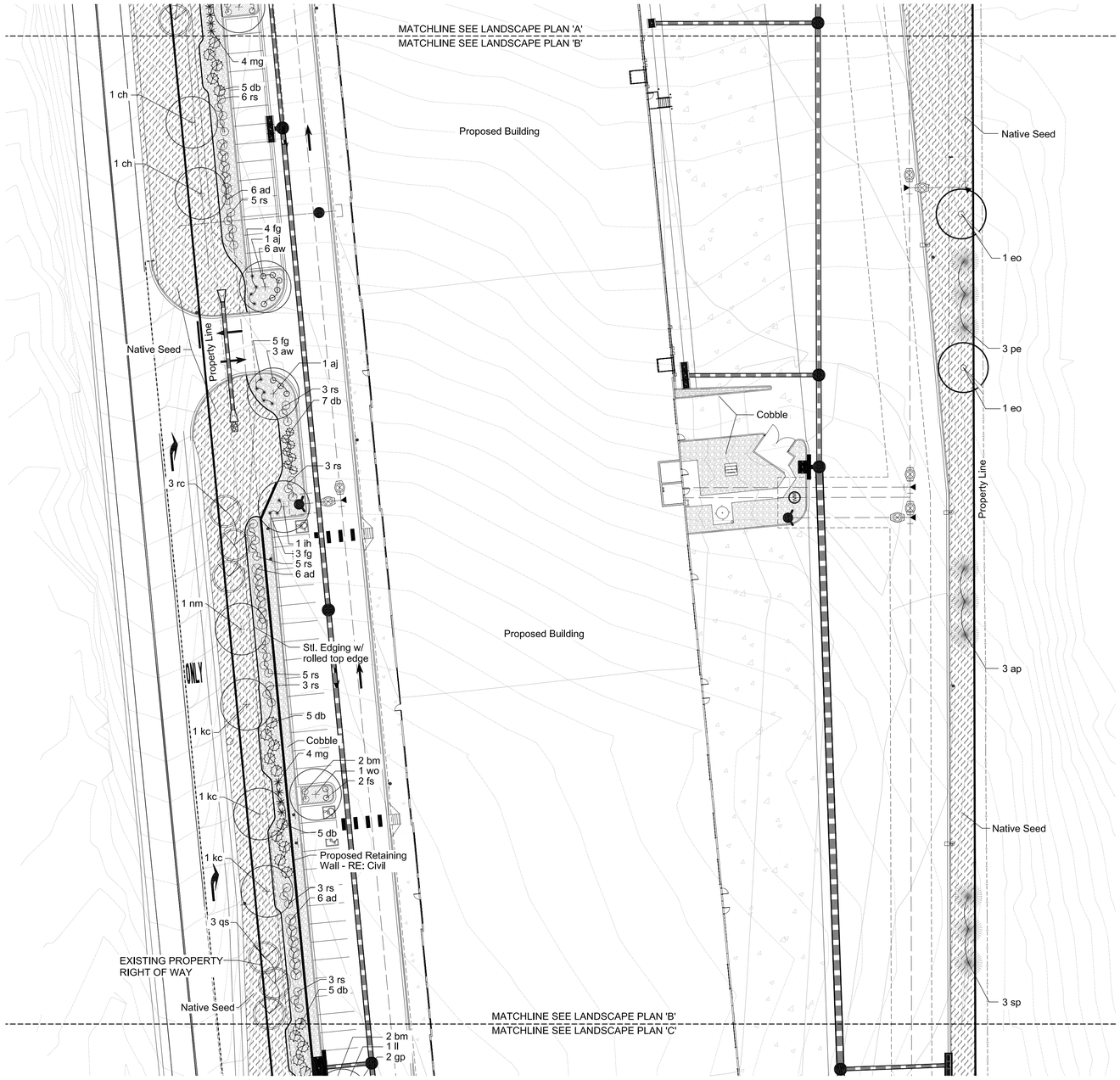

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- STEEL EDGING w/ ROLLED TOP EDGE
- RETAINING WALL - RE: CIVIL

STACKLot
5639 SOUTH CURTICE STREET
LITTLETON, COLORADO 80120
phone. 303.808.4523

PCD FILE NO: PPR2329

REVISIONS

BY	DATE	DESCRIPTION
	10/23/23	RESUBMITTAL
	11/16/23	RESUBMITTAL
	12/13/23	RESUBMITTAL

DRAWN sdw
CHECKED jah
DESIGNED sdw
FILENAME

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER

LANDSCAPE PLAN 'B'

INTERGROUP ARCHITECTS
■ architecture
■ planning
■ interiors
2000 West Littleton Blvd
Littleton, Colorado 80120
P. 303.738.8877 F. 303.738.2294
www.igarch.com

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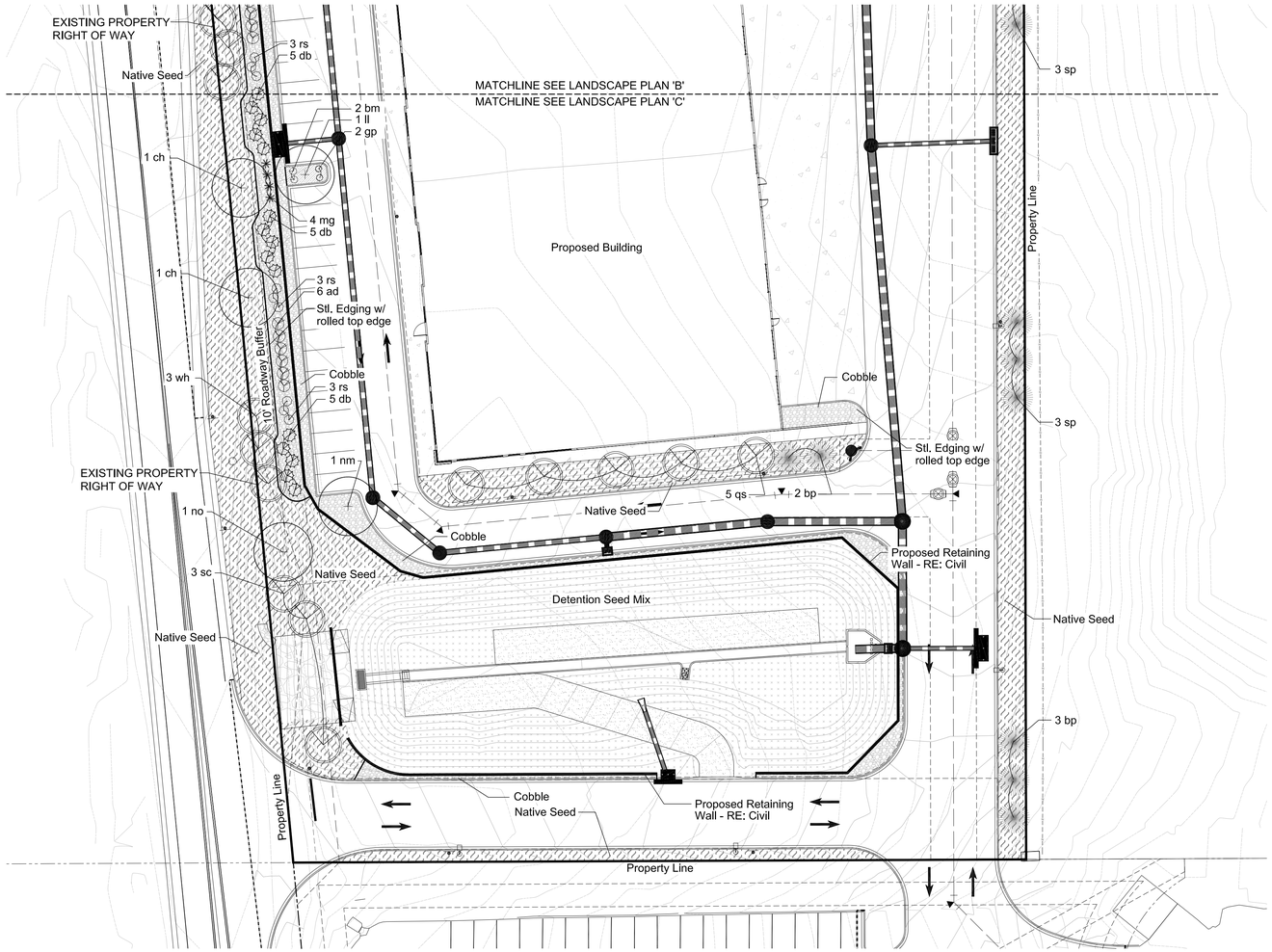
SCALE AS SHOWN
DATE 07/28/2023
SHEETS 21
SHEET 11

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO



LANDSCAPE PLAN 'A'

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- SHREDDED CEDAR MULCH
- STEEL EDGING w/ ROLLED TOP EDGE
- RETAINING WALL - RE: CIVIL

STACK lot
5639 SOUTH CURTICE STREET
LITTLETON, COLORADO 80120
phone. 303.808.4523

PCD FILE NO: PPR2329

REVISIONS

BY	DATE	DESCRIPTION
	10/23/23	RESUBMITTAL
	11/16/23	RESUBMITTAL
	12/13/23	RESUBMITTAL

DRAWN sdw
CHECKED jah
DESIGNED sdw
FILENAME

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER

LANDSCAPE PLAN 'C'

INTERGROUP ARCHITECTS
■ architecture
■ planning
■ interiors
2000 West Littleton Blvd
Littleton, Colorado 80120
P. 303.738.8877 F. 303.738.2294
www.igarch.com

JOB NO. XX-XXXX
SCALE AS SHOWN
DATE 07/28/2023
SHEETS 21
SHEET 12

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO

GENERAL PLANTING NOTES:

1. PRIOR TO BEGINNING ANY WORK ON THE SITE THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OFFICE OF THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AND MATERIALS AS SPECIFIED HEREIN AND AS SHOWN ON PLANS.
3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECTS APPROVAL IN WRITING. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
4. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT MATERIAL LIST AS DEEMED NECESSARY.
5. ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
6. QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFY ALL QUANTITIES ON THE PLANTING PLAN(S).
7. LANDSCAPE CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCEMENT OF WORK. VERIFY EXACT LOCATION OF ALL UTILITIES BY CONTACTING APPROPRIATE UTILITY COMPANIES. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR / REPLACEMENT FOR ANY DAMAGE CAUSED TO UTILITIES.
8. FINISH GRADE SHALL BE ADJUSTED FOR TURF THICKNESS.
9. ALL PLANT MATERIALS SHALL HAVE BACKFILL, CAREFULLY PLACED AROUND BASE AND IDES OF BALL TO TWO-THIRDS ($\frac{2}{3}$) DEPTH OF BALL THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS, TOP ONE-THIRD ($\frac{1}{3}$) OF BURLAP AND LOOSE BURLAP SHALL BE REMOVED AT THIS TIME THE REMAINDER OF HE PIT SHALL THEN BE BACKFILLED, ALLOWING FOR THE DEPTH OF THE MULCH SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
10. AFTER PLANTING IS COMPLETED REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL GROWING HABIT OR SHAPE OF THE PLANT. MAKE ALL CUTS FLUSH, LEAVING NO STUBS. CENTRAL LEADERS SHALL NOT BE REMOVED. IF THE CENTRAL LEADER OF A PLANT IS DEAD THE PLANT SHALL BE REPLACED.
11. PLANT SPECIFIED GROUND COVERS WITHIN ONE FOOT OF TRUCK OF TREES AND SHRUBS PLANTED WITHIN THE AREA. PLANTING ARRANGEMENTS SHALL BE TRIANGULAR WITH PROPER SPACING BETWEEN PLANTS.
12. COMMERCIAL GRADE $\frac{3}{16}$ INCH BY 4" POWDER COATED STEEL EDGING SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. PLACE EDGING FLUSH WITH GRADE AND STAKE TO GROUND PER MANUFACTURES RECOMMENDATIONS.
13. LANDSCAPE CONTRACTOR TO PROVIDE THE LANDSCAPE CONTRACTOR A SAMPLE OF PROPOSED STEEL EDGING FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
14. USE SHREDDED CEDAR MULCH IN ALL PLANTING BEDS AND TREE SAUCERS. LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 CUBIC FOOT SAMPLE OF PROPOSED MULCH TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
15. PLACE FOUR INCHES OF MULCH IN ALL SHRUB BEDS, PLACE FOUR INCHES OF MULCH IN ALL GROUND COVER, PERENNIAL BEDS AND PLACE 4 INCHES OF MULCH AT ALL TREE SAUCERS.
16. PLANTING BEDS RECEIVING MULCH MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. DO NOT APPLY HERBICIDE IN PERENNIAL OR ANNUAL BEDS.
17. LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER SUBSTANTIAL COMPLETION IS GRANTED ON THE COMPLETE PROJECT.
18. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
19. ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN UNDERGROUND AUTOMATIC UNDERGROUD IRRIGATION SYSTEM. WITH SEPARATE ZONES FOR TURF AND SHRUBS / TREES / GROUNDCOVER.
20. IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPE/SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF, MADE PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

SOIL ANALYSIS CONTRACTOR REQUIREMENT

"THE REQUIRED SOIL ANALYSIS REPORT IS REQUIRED TO BE SUBMITTED AND APPROVED WITH THE IRRIGATION PLAN SUBMITTAL AND BEFORE ANY LANDSCAPE CONSTRUCTION. THIS WOULD INCLUDE COMPLETING THE SOIL SAMPLING AND SUBMITTING THE SAMPLES TO A SOILS LAB FOR TESTING. A SEPARATE LAB TEST REPORT AND SOIL PREPARATION RECOMMENDATIONS (AMENDMENT/FERTILIZER AMOUNTS AND APPLICATION RATES) FOR EACH TYPE OF PROPOSED LANDSCAPING (SHRUB BEDS/SOD/NATIVE SEED) WILL NEED TO BE PROVIDED TO CITY STAFF FOR REVIEW AND APPROVAL."

SOIL AMENDMENTS

PRIOR TO PLANTING, ALL SITES FOR PLANTINGS SHALL INCORPORATE SOIL AMENDMENTS AT A RATE OF 3 CUBIC YARDS PER 1000 SQUARE FEET TO A MINIMUM DEPTH OF 6". A LESSER AMOUNT SHALL BE ALLOWED IF A SOIL TEST SHOWS THAT 3 CUBIC YARDS PER 1000 SQUARE FEET IS NOT NECESSARY FOR WATER RETENTION AND DEEP ROOTING OF PLANT MATERIALS. IF THE SPECIFIED PLANT MATERIAL REQUIRES LESS FERTILE SOIL, THOSE AREAS MAY HAVE LESS SOIL AMENDMENTS INSTALLED IF APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR. THESE AREAS SHALL BE IDENTIFIED ON THE LANDSCAPE PLAN. EXISTING TOPSOIL SHALL BE SALVAGED AND STOCKPILED FOR USE AS SOIL AMENDMENTS OR TOPSOIL. NO TOPSOIL SHALL BE REMOVED FROM THE SITE UNLESS THE CITY APPROVES THE TRANSFER OF TOPSOIL TO A CITY-OWNED PARK OR OPEN SPACE AREA. A NOTE SHALL BE PLACED ON THE LANDSCAPE PLAN REFLECTING THE ABOVE REQUIREMENTS REGARDING SOIL AMENDMENTS AND TOPSOIL. EXAMPLES OF ACCEPTABLE SOIL AMENDMENTS INCLUDE COMPOST AND AGED MANURE, MOUNTAIN PEAT AND INORGANIC MATERIALS SUCH AS SAND, GYPSUM AND LIME ARE PROHIBITED SOIL AMENDMENTS. ALL SITES ARE SUBJECT TO INSPECTION BY THE CITY FOR COMPLIANCE WITH SOIL AMENDMENT REQUIREMENTS.

PLANT MATERIAL SCHEDULE:

SYMBOL	QTY.	I.D.	COMMON NAME	BOTANICAL NAME	SIZE	COND.
SHADE TREES						
	2	nm	NORWAY MAPLE	ACER PLATANOIDES	1 1/2" CAL.	B & B
	3	aj	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'JEFFERSRED'	1 1/2" CAL.	B & B
	5	ch	COMMON HACKBERRY	CELTIS OCCIDENTALIS	1 1/2" CAL.	B & B
	3	ih	IMPERIAL HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL'	1 1/2" CAL.	B & B
	6	kc	KENTUCKY COFFEE TREE	GYMNOCLADUS DIOICUS	1 1/2" CAL.	B & B
	4	nc	NARROWLEAF COTTONWOOD	NARROWLEAF COTTONWOOD	1 1/2" CAL.	B & B
	5	wo	SWAMP WHITE OAK	QUERCUS BICOLOR	1 1/2" CAL.	B & B
	2	no	NORTHERN RED OAK	QUERCUS RUBRA	1 1/2" CAL.	B & B
	2	ll	LITTLELEAF LINDEN	TILIA CORDATA	1 1/2" CAL.	B & B
	4	eo	ENGLISH OAK	QUERCUS ROBUR	1 1/2" CAL.	B & B
ORNAMENTAL TREES						
	3	wh	WASHINGTON HAWTHORN	CRATAEGUS PHAENOPYRUM	1" CAL.	B & B
	6	rc	RADIANT CRABAPPLE	MALAU 'RADIANT'	1" CAL.	B & B
	6	sc	SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW' '	1" CAL.	B & B
	3	cp	CHANTICLEER PEAR	PYRUS CALLERYANA	1" CAL.	B & B
	11	qs	CRIMSON SPIRE OAK	QUERCUS X BIMUNDORUM 'CRIMSCHMIDT'	1" CAL.	B & B
EVERGREEN TREES						
	3	pe	PINON PINE	PINUS EDULIS	6' HT.	B & B
	11	ap	AUSTRIAN PINE	PINUS NIGRA	6' HT.	B & B
	5	pp	PONDEROSA PINE	PINUS PONDEROSA	6' HT.	B & B.
	6	sp	SOUTHWESTERN WHITE PINE	PINUS STROBIFORMIS	6' HT.	B & B
	5	bp	BOSNIA PINE	PINUS HELDREICHII	6' HT.	B & B
SHRUBS						
	2	ks	DARK KNIGHT SPIREA	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	5 GAL.	CONT.
	20	aw	ANOTHONY WATERER SPIREA	SPIREA JAPONICA 'ANTHONY WATER'	5 GAL.	CONT.
	4	fs	GOLD FLAME SPIREA	SPIREA JAPONICA 'GOLDFLAME'	5 GAL.	CONT.
	8	gp	GOLD DROP POTENTILLA	POTENTILLA FRUITICOSA 'GOLD DROP'	5 GAL.	CONT.
	26	bm	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS	5 GAL.	CONT.
	67	db	DWARF BURNING BUSH	EOUNYMUS ALATA 'DWARF NANA'	5 GAL.	CONT.
	61	rs	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL.	CONT.
	40	ad	ARCTIC FIRE DOGWOOD	CORNUS STOLONIFERA 'FARROW'	5 GAL.	CONT.
	4	dn	DWARF NINEBARK	PHYSOCARPUS OPULIFOLIUS 'NANUS'	5 GAL.	CONT.
ORNAMENTAL GRASSES						
	27	mg	MAIDEN GRASS	MISCANTHUS SINENSIS 'GRACILLIMUS'	1 GAL.	CONT.
	12	fg	MEXICAN FEATHER GRASS	NESSELLA TENUISSIMA	1 GAL.	CONT.

Roadway Buffer

MONUMENT HILL ROAD NON-ARTERIAL	REQUIRED ROADWAY BUFFER	PROVIDED ROADWAY BUFFER	REQUIRED TREES 1 TREE / 30 LN.FT.	PROVIDED TREES
1,175 LN.FT.	10 FEET	10 FEET	40	40

Internal Landscaping

SITE AREA	INTERNAL LANDSCAPE AREA REQUIRED - (5%)	INTERNAL LANDSCAPE AREA PROVIDED	REQUIRED TREES 1 TREE / 500 SF	PROVIDED TREES
505,679 SF.	25,284 SF.	115,434 SF.	51	55

STACKLot
5639 SOUTH CURTICE STREET
LITTLETON, COLORADO 80120
phone. 303.808.4523

PCD FILE NO: PPR2329

REVISIONS

BY	DATE	DESCRIPTION
	10/23/23	RESUBMITTAL
	11/16/23	RESUBMITTAL
	12/13/23	RESUBMITTAL

DRAWN sdw
CHECKED jah
DESIGNED sdw
FILENAME

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER

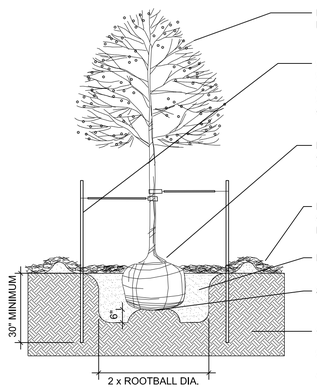
LANDSCAPE NOTES

INTERGROUP ARCHITECTS
■ architecture
■ planning
■ interiors
2000 West Littleton Blvd
Littleton, Colorado 80120
P. 303.738.8877 F. 303.738.2294
www.igarch.com

JOB NO. XX-XXXX
SCALE AS SHOWN
DATE 07/28/2023
SHEETS 21
SHEET 13

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO



DO NOT CUT TREE LEADER. PRUNE ONLY CROSSOVER LIMBS, CO- DOMINANT LEADERS AND INJURED OR DEAD BRANCHES FROM TREE.

SECURE WITH 3 SPECIFIED 8-FT LODGE POLE TREE STAKES IN UNDISTURBED SOIL. INSTALL WIRE AND NON- GIRDLING FLAT FABRIC FASTENERS IMMEDIATELY AFTER PLANTING, ALLOWING 3"-4" TRUNK MOVEMENT. COVER WIRE WITH SPECIFIED RUBBER GARDEN HOSE AND INSTALL 4" FLORESCENT WHITE FLAG ON EACH WIRE.

PLANT ROOT BALL 3"-4" HIGH WITH RESPECT TO FINISHED GRADE. DO NOT COVER TOP OF ROOTBALL WITH SOIL . CUT AND REMOVE TOP 2/3 OF WIRE BASKET AND REMOVE TOP 2/3 BURLAP. REMOVE ALL ROPE, TWINE AND WIRE OTHER THAN BASKET.

PLACE MULCH/COBBLE RING AROUND TREE. DO NOT PLACE MULCH/ COBBLE IN CONTACT WITH TREE TRUNK. RE: SPECIFICATIONS FOR MULCH/COBBLE TYPE AND DEPTH.

PREPARE AND PLACE BACKFILL SOIL MIX AS PER SPECIFICATIONS.

SET ROOTBALL ON UNDISTURBED SOIL. SET PLUMB AND CENTER IN PIT.

COMPACTED SUBGRADE

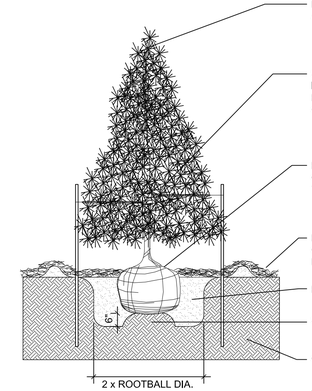
SHADE TREES: LOWEST LIMBS MIN. 6-8' FROM ROOT CROWN

AFTER TWO YEARS NO LIMBS SHALL BE WITHIN 8' OF PAVEMENT

REJECT TREES WITH BROKEN OR DAMAGED ROOTBALLS

1 DECIDUOUS TREE

NOT TO SCALE



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PLANT ROOT BALL 3"-4" HIGH WITH RESPECT TO FINISHED GRADE. DO NOT COVER TOP OF ROOTBALL WITH SOIL . CUT AND REMOVE TOP 2/3 OF WIRE BASKET AND REMOVE TOP 2/3 BURLAP. REMOVE ALL ROPE, TWINE AND WIRE OTHER THAN BASKET.

PLACE MULCH/COBBLE RING AROUND TREE. DO NOT PLACE MULCH/COBBLE IN CONTACT WITH TREE TRUNK. RE: SPECIFICATIONS FOR MULCH/COBBLE TYPE AND DEPTH.

PREPARE AND PLACE BACKFILL SOIL MIX AS PER SPECIFICATIONS.

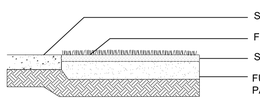
SET ROOTBALL ON UNDISTURBED SOIL. SET PLUMB AND CENTER IN PIT.

COMPACTED SUBGRADE

REJECT TREES WITH BROKEN OR DAMAGED ROOTBALLS

2 EVERGREEN TREE PLANTING

NOT TO SCALE



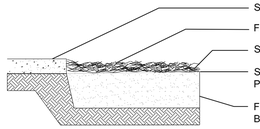
SIDEWALK, TOP OF CURB, OR TOP OF SEAT WALL

FINISHED GRADE OR TOP OF SOD LEVEL WITH PAVED EDGE

SPECIFIED SOD OR SEED

FULL DEPTH OF SPECIFIED AMENDED TOPSOIL PLACED APPROX. 1" BELOW TOP OF PAVED EDGE FOR SOD AND LEVEL FOR SEED

SOD ADJACENT TO WALKS AND CURBS



SIDEWALK, TOP OF CURB, OR TOP OF SEAT WALL

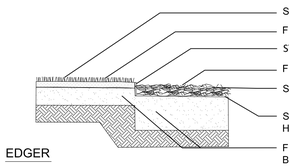
FINISHED GRADE OR TOP OF MULCH/COBBLE 1/2" BELOW PAVED EDGE

SPECIFIED COBBLE

SPECIFIED WEED BARRIER FABRIC UNDER MULCH/ COBBLE WITH SPECIFIED PRE-EMERGENT HERBICIDE BELOW FABRIC

FULL DEPTH OF SPECIFIED AMENDED TOPSOIL PLACED THE NECESSARY DISTANCE BELOW PAVED EDGE

MULCH ADJACENT TO WALKS AND CURBS



SPECIFIED SOD OR SEED

FINISHED GRADE OR TOP OF SOD LEVEL WITH TOP OF EDGER

STEEL EDGER

FINISHED GRADE OR TOP OF MULCH/COBBLE 1/2" BELOW TOP OF EDGER

SPECIFIED MULCH/COBBLE

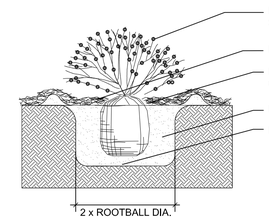
SPECIFIED WEED BARRIER FABRIC UNDER MULCH COBBLE SPECIFIED PRE-EMERGENT HERBICIDE BELOW FABRIC

FULL DEPTH OF SPECIFIED AMENDED TOPSOIL PLACED THE NECESSARY DISTANCE BELOW TOP OF EDGER

EDGER

3 EDGE TREATMENT

NOT TO SCALE



REMOVE ONLY INJURED OR DEAD BRANCHES FROM SHRUBS. SHRUB SPACING AS PER PLANS.

PLACE 3' DIA. MIN. RING OF MULCH/COBBLE UNDER SHRUB.

PLACE PLANT IN VERTICAL, PLUMB POSITION. REMOVE CONTAINER PRIOR TO PLACING BACKFILL.

PREPARE AND PLACE PLANTING SOIL MIX AS PER SPEC.

PLACE 3" OF SPECIFIED BACKFILL BELOW THE ROOTBALL.

4 SHRUB PLANTING

NOT TO SCALE

STACKLot

5639 SOUTH CURTICE STREET
LITTLETON, COLORADO 80120
phone. 303.808.4523

PCD FILE NO: PPR2329

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CHECKED jah

DESIGNED sdw

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SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER

LANDSCAPE DETAILS

INTERGROUP ARCHITECTS

■ architecture
■ planning
■ interiors
2000 West Littleton Blvd
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SCALE AS SHOWN

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SHEETS 21

SHEET 14

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11,
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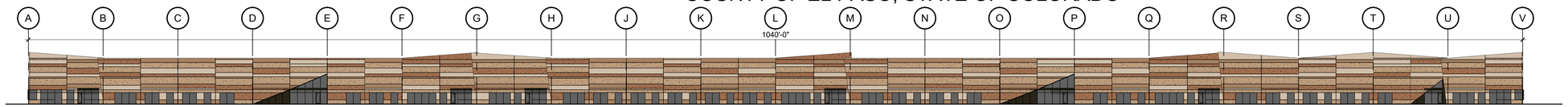
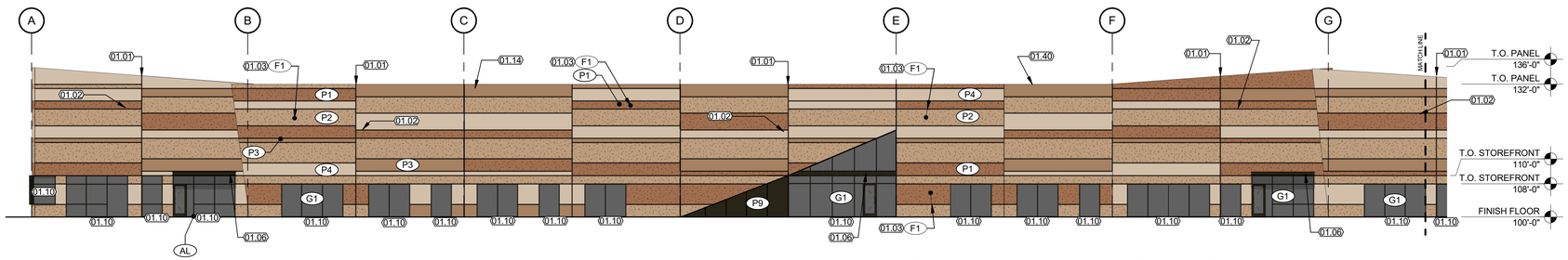
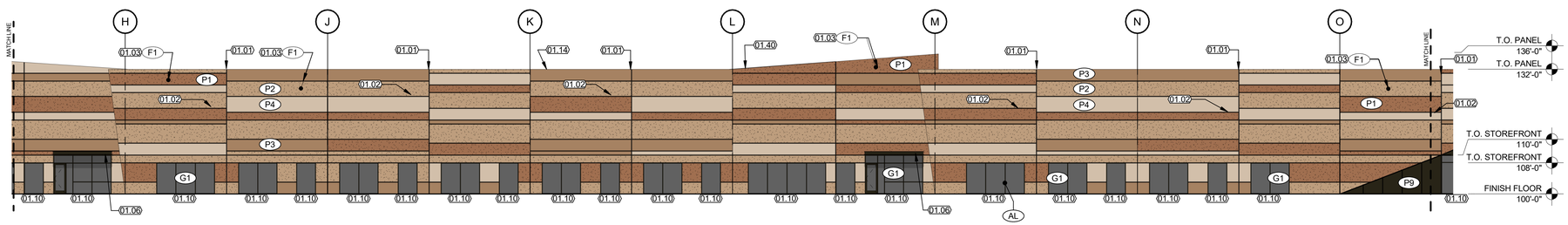


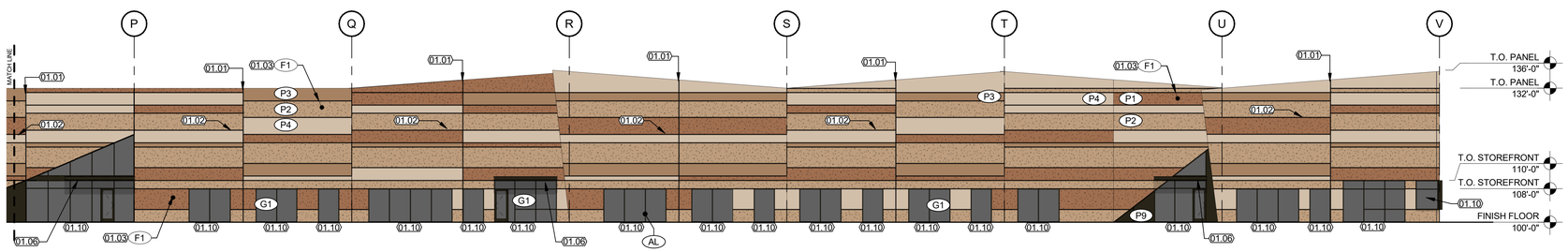
1 OVERALL WEST ELEVATION
SCALE: 1" = 40'-0"



2 ENLARGED WEST ELEVATION - NORTH
SCALE: 1/16" = 1'-0"



3 ENLARGED WEST ELEVATION - MID
SCALE: 1/16" = 1'-0"



4 ENLARGED WEST ELEVATION - SOUTH
SCALE: 1/16" = 1'-0"

KEYNOTES:

01.01 CONCRETE PANEL JOINT WITH 3/4" CHAMFERED EDGES, BACKER ROD & SEALANT FULL LENGTH.
01.02 3/4" x 2 1/4" REVEAL, PAINTED.
01.03 US FORMLINER 2/156 STEINWALD.
01.06 STEEL CHANNEL ENTRY CANOPY TO ATTACH TO CONC. TILT-UP WALL WITH T.S. SUPPORTS, PAINTED.
01.10 INSULATED TINTED GLAZING IN ANODIZED ALUMINUM STOREFRONT SYSTEM, SEE FINISH LEGEND.
01.14 SITE CAST TILT-UP CONCRETE PANEL, PAINTED WITH MEDIUM TEXTURED PAINT. SEE EXTERIOR FINISH LEGEND FOR SPECIFIC COLORS.
01.40 PREFINISHED METAL CAP FLASHING, TYP @ ALL CONCRETE PANELS.

EXTERIOR FINISH LEGEND

KEY	DESCRIPTION	IMAGE	MANUFACTURER	REMARKS / COMMENTS
P1	EXTERIOR PAINT		GLIDDEN #50YR 18/223 "SOFT COPPER"	MEDIUM TEXTURE @ CONC. PANEL
F1	CONCRETE TILT UP ACCENT		US FORMLINER	2/156 STEINWALD ROCK PATTERN
P2	EXTERIOR PAINT		GLIDDEN #10YY 41/175 "HIGHLAND PLAINS"	MEDIUM TEXTURE @ CONC. PANEL
P3	EXTERIOR PAINT		GLIDDEN #20YY 33/145 "DEACON'S BENCH"	MEDIUM TEXTURE @ CONC. PANEL
P4	EXTERIOR PAINT		GLIDDEN #20YY 51/098 "LEGEND TAN"	MEDIUM TEXTURE @ CONC. PANEL
P5	EXTERIOR PAINT		GLIDDEN #30YY 46/036 "ZEPPELIN"	MEDIUM TEXTURE @ CONC. PANEL
F2	CONCRETE TILT UP ACCENT		US FORMLINER	2/75 KOCHER - HORIZONTAL
P6	EXTERIOR PAINT		GLIDDEN #30YY 33/047 "OLD MONTEREY"	MEDIUM TEXTURE @ CONC. PANEL
P7	EXTERIOR PAINT		GLIDDEN #30YY 20/029 "MANSARD STONE"	MEDIUM TEXTURE @ CONC. PANEL
P8	EXTERIOR PAINT		GLIDDEN #30YY 10/038 "FOREST BLACK"	MEDIUM TEXTURE @ CONC. PANEL
P9	EXTERIOR PAINT		GLIDDEN #30YY 05/044 "THE DARK SIDE"	MEDIUM TEXTURE @ CONC. PANEL
G1	GLAZING		VITRO GLASS - SOLARGRAY	
AL	STOREFRONT FRAME		DARK BRONZE	

PCD FILE NO: PPR2329

REVISIONS

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DRAWN: CBW
CHECKED: BS
DESIGNED: KS
FILENAME: BS11530

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER

EXTERIOR ELEVATIONS

INTERGROUP ARCHITECTS
■ architecture
■ planning
■ interiors
2000 West Littleton Blvd
Littleton, Colorado 80120
P: 303.798.8277 F: 303.798.2294
www.igarch.com

JOB NO. BS11530
SCALE AS SHOWN
DATE 07/28/2023
SHEETS 21
SHEET 15

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
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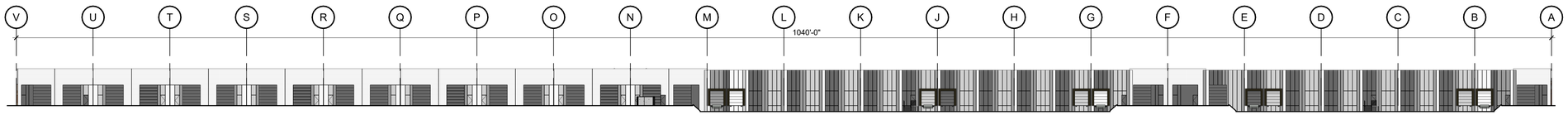
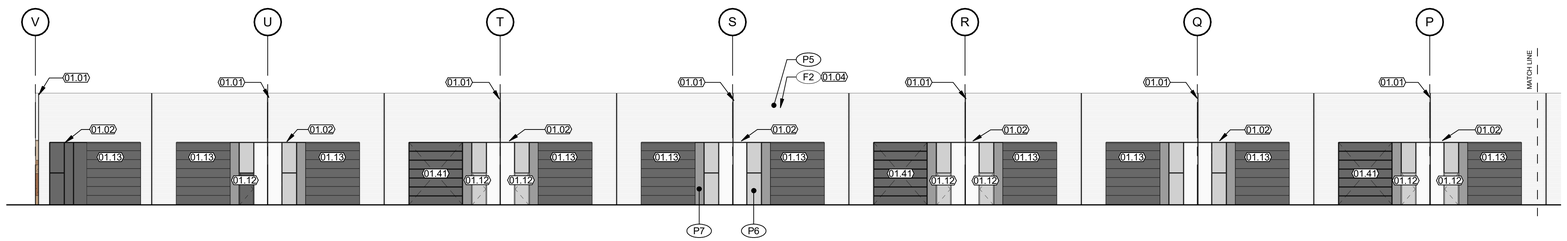
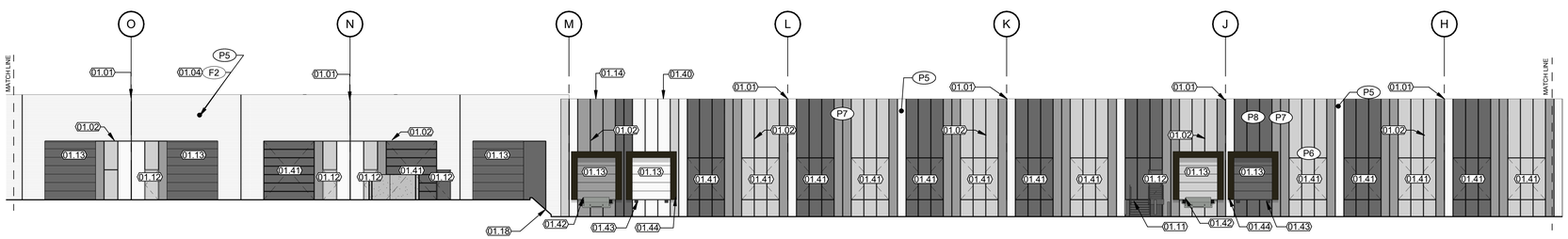


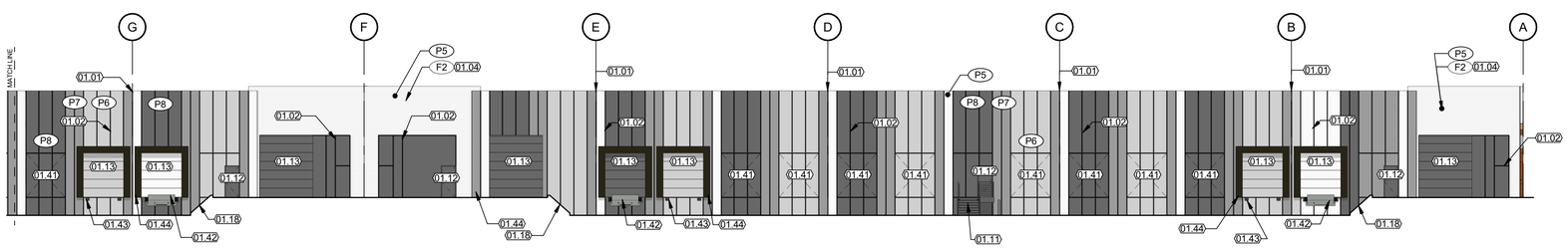
1 OVERALL EAST ELEVATION
SCALE: 1" = 40'-0"



2 ENLARGED EAST ELEVATION - SOUTH
SCALE: 1/16" = 1'-0"



3 ENLARGED EAST ELEVATION - MID
SCALE: 1/16" = 1'-0"



4 ENLARGED EAST ELEVATION - NORTH
SCALE: 1/16" = 1'-0"

KEYNOTES:

01.01	CONCRETE PANEL JOINT WITH 3/4" CHAMFERED EDGES, BACKER ROD & SEALANT FULL LENGTH.
01.02	3/4" x 2 1/4" REVEAL, PAINTED.
01.04	US FORMLINER 2/75 KOCHER - ORIENTATION HORIZONTAL.
01.11	EXTERIOR STEEL STAIRS, LANDING, GUARDRAIL & HANDRAILS. TREAD & LANDING TO BE 1" DEEP OPEN GRATING WITH LONG DIM. PERP. TO PATH OF TRAVEL. GUARDRAIL TO BE 1 1/2"Ø x 42"H. WITH 1 1/2"Ø x 34"H. HARDRAIL, PAINTED.
01.12	INSULATED H.M. MAN DOOR, PAINT TO MATCH ADJACENT WALL SURFACE COLOR, U.N.O.
01.13	INSULATED STEEL O.H. DOOR, PAINTED - SEE FINISH LEGEND.
01.14	SITE CAST TILT-UP CONCRETE PANEL, PAINTED WITH MEDIUM TEXTURED PAINT. SEE EXTERIOR FINISH LEGEND FOR SPECIFIC COLORS.
01.18	SLOPING CONCRETE RETAINING WALL.
01.40	PREFINISHED METAL CAP FLASHING, TYP @ ALL CONCRETE PANELS.
01.41	AREA TO BE KNOCK-OUT FOR FUTURE DOCK DOOR, PROVIDE 1 1/2" DEEP RECESS. TYPICAL 3/4" x 2 1/4" REVEALS WITHIN RECESS TO PROVIDE THE O.H. DOOR APPEARANCE.
01.42	6' x 8' DOCK LEVELER
01.43	DOCK BUMPER, TYP. @ DOCK LEVELER
01.44	DOCK SEAL, TYP @ DOCK HEIGHT O.H. DOORS

EXTERIOR FINISH LEGEND

KEY	DESCRIPTION	IMAGE	MANUFACTURER	REMARKS / COMMENTS
P1	EXTERIOR PAINT		GLIDDEN #50YR 18/223 "SOFT COPPER"	MEDIUM TEXTURE @ CONC. PANEL
F1	CONCRETE TILT UP ACCENT		US FORMLINER	2/156 STEINWALD ROCK PATTERN
P2	EXTERIOR PAINT		GLIDDEN #10YY 41/175 "HIGHLAND PLAINS"	MEDIUM TEXTURE @ CONC. PANEL
P3	EXTERIOR PAINT		GLIDDEN #20YY 33/145 "DEACON'S BENCH"	MEDIUM TEXTURE @ CONC. PANEL
P4	EXTERIOR PAINT		GLIDDEN #20YY 51/098 "LEGEND TAN"	MEDIUM TEXTURE @ CONC. PANEL
P5	EXTERIOR PAINT		GLIDDEN #30YY 46/036 "ZEPPELIN"	MEDIUM TEXTURE @ CONC. PANEL
F2	CONCRETE TILT UP ACCENT		US FORMLINER	2/75 KOCHER - HORIZONTAL
P6	EXTERIOR PAINT		GLIDDEN #30YY 33/047 "OLD MONTEREY"	MEDIUM TEXTURE @ CONC. PANEL
P7	EXTERIOR PAINT		GLIDDEN #30YY 20/029 "MANSARD STONE"	MEDIUM TEXTURE @ CONC. PANEL
P8	EXTERIOR PAINT		GLIDDEN #30YY 10/038 "FOREST BLACK"	MEDIUM TEXTURE @ CONC. PANEL
P9	EXTERIOR PAINT		GLIDDEN #30YY 05/044 "THE DARK SIDE"	MEDIUM TEXTURE @ CONC. PANEL
G1	GLAZING		VITRO GLASS - SOLARGRAY	
AL	STOREFRONT FRAME		DARK BRONZE	

PCD FILE NO: PPR2329

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SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER

EXTERIOR ELEVATIONS

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JOB NO. BS11530
SCALE AS SHOWN
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SHEETS 21
SHEET 16

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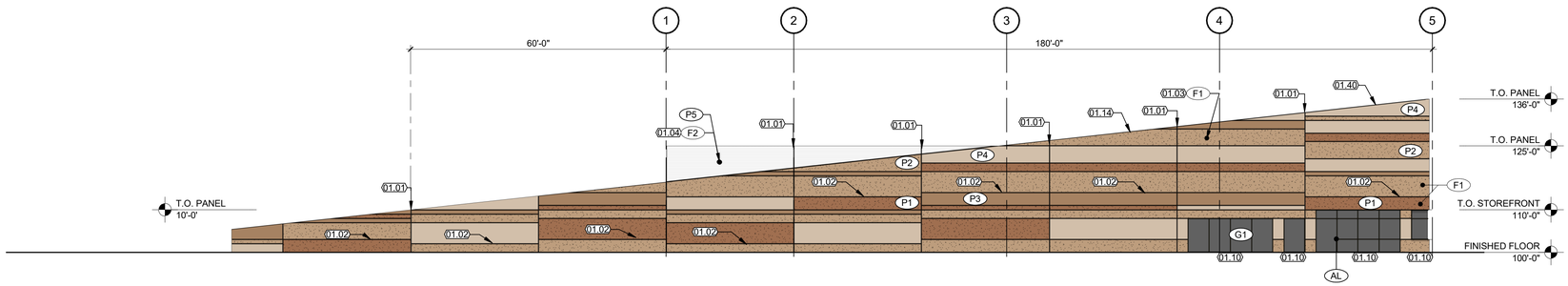
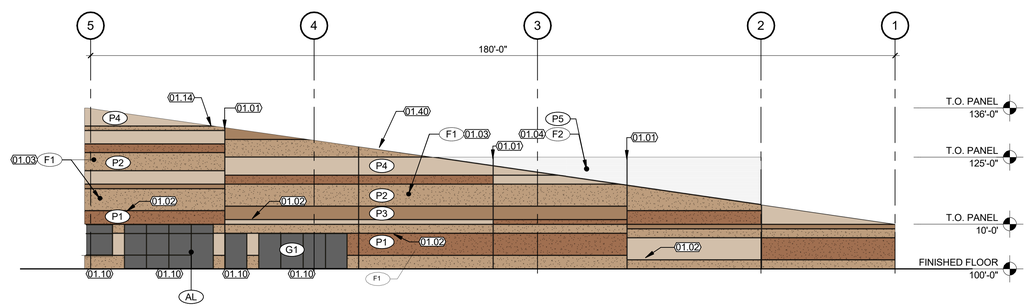


1 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

KEYNOTES:

01.01 CONCRETE PANEL JOINT WITH 3/4" CHAMFERED EDGES, BACKER ROD & SEALANT FULL LENGTH.
01.02 3/4" x 2 1/4" REVEAL, PAINTED.
01.03 US FORMLINER 2/156 STEINWALD.
01.04 US FORMLINER 2/75 KOCHER - ORIENTATION HORIZONTAL.
01.10 INSULATED TINTED GLAZING IN ANODIZED ALUMINUM STOREFRONT SYSTEM, SEE FINISH LEGEND.
01.14 SITE CAST TILT-UP CONCRETE PANEL, PAINTED WITH MEDIUM TEXTURED PAINT. SEE EXTERIOR FINISH LEGEND FOR SPECIFIC COLORS.
01.40 PREFINISHED METAL CAP FLASHING, TYP @ ALL CONCRETE PANELS.

EXTERIOR FINISH LEGEND

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F2	CONCRETE TILT UP ACCENT		US FORMLINER	2/75 KOCHER - HORIZONTAL
P6	EXTERIOR PAINT		GLIDDEN #30YY 33/047 "OLD MONTEREY"	MEDIUM TEXTURE @ CONC. PANEL
P7	EXTERIOR PAINT		GLIDDEN #30YY 20/029 "MANSARD STONE"	MEDIUM TEXTURE @ CONC. PANEL
P8	EXTERIOR PAINT		GLIDDEN #30YY 10/038 "FOREST BLACK"	MEDIUM TEXTURE @ CONC. PANEL
P9	EXTERIOR PAINT		GLIDDEN #30YY 05/044 "THE DARK SIDE"	MEDIUM TEXTURE @ CONC. PANEL
G1	GLAZING		VITRO GLASS - SOLARGRAY	
AL	STOREFRONT FRAME		DARK BRONZE	

PCD FILE NO: PPR2329

REVISIONS

BY	DATE	DESCRIPTION
	10/20/2023	RESUBMITTAL
	11/16/2023	RESUBMITTAL
	12/13/2023	RESUBMITTAL

DRAWN CBW
CHECKED BS
DESIGNED KS
FILENAME BS11530

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER

EXTERIOR ELEVATIONS

INTERGROUP ARCHITECTS
■ architecture
■ planning
■ interiors
2000 West Littleton Blvd
Littleton, Colorado 80120
P: 303.738.8275 F: 303.738.2294
www.igarch.com

JOB NO. BS11530
SCALE AS SHOWN
DATE 07/28/2023
SHEETS 21
SHEET 17

SITE DEVELOPMENT PLAN

THE ROCK COMMERCE CENTER

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO

1 NORTH END CAP PERSPECTIVE
SCALE: 12" = 1'-0"

2 SOUTH TENANT PERSPECTIVE
SCALE: 12" = 1'-0"

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SHEETS 21
SHEET 18

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER

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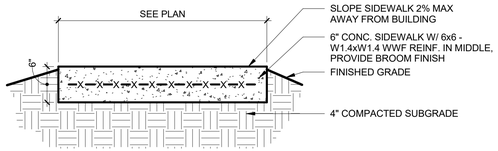
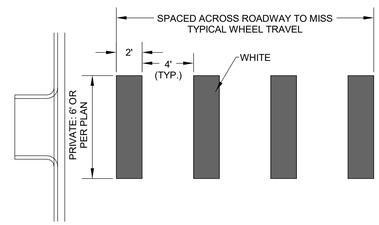
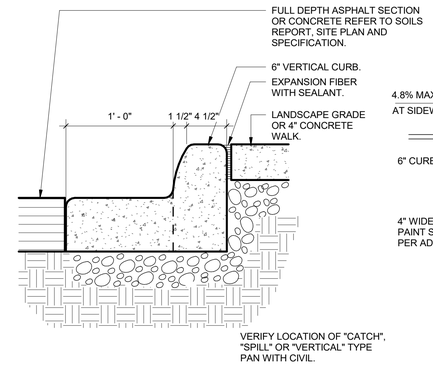


NOTE: PROVIDE HAND TOOLED TRANSVERSE & LONGITUDINAL CONTRACTION JOINTS @ 5'-0" O.C. MAX., 3/8" EXPANSION JOINTS @ 25'-0" O.C. MAX

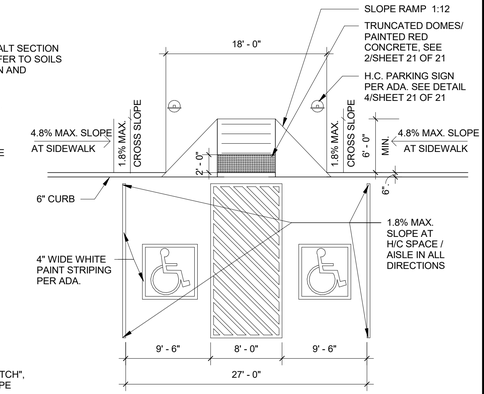
12 EXTERIOR CONC. SIDEWALK
SCALE: 1" = 1'-0"



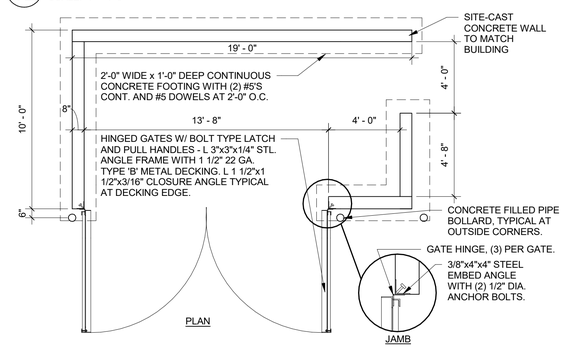
9 CROSS WALK STRIPING DETAIL
SCALE: 12" = 1'-0"



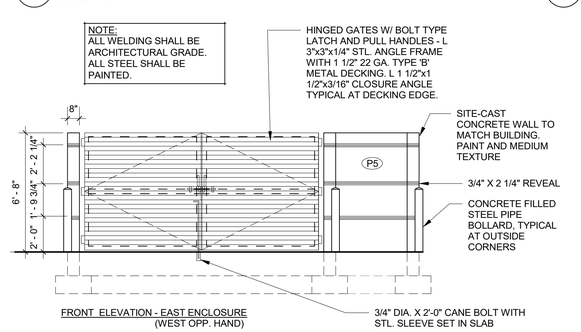
6 CURB DETAIL
SCALE: 1 1/2" = 1'-0"



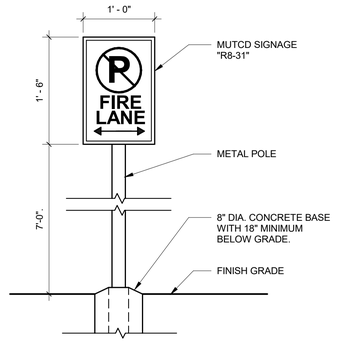
3 ACCESSIBLE PARKING ENLARGED PLAN
SCALE: 1/8" = 1'-0"



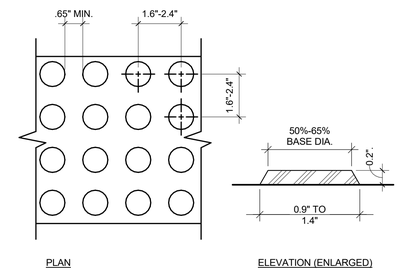
11 TRASH ENCLOSURE DETAIL
SCALE: 1/4" = 1'-0"



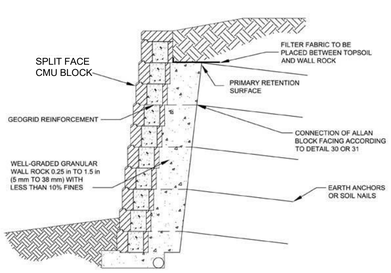
7 BIKE RACK DETAIL
SCALE: 3/4" = 1'-0"



5 FIRE LANE SIGN DETAIL
SCALE: 1" = 1'-0"

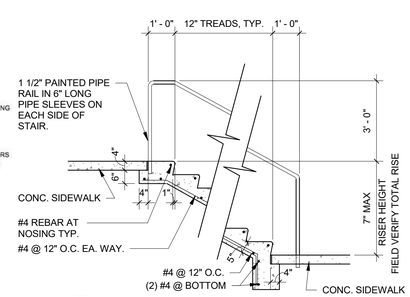


2 TRUNCATED DOME SIZING & SPACING
SCALE: 3" = 1'-0"



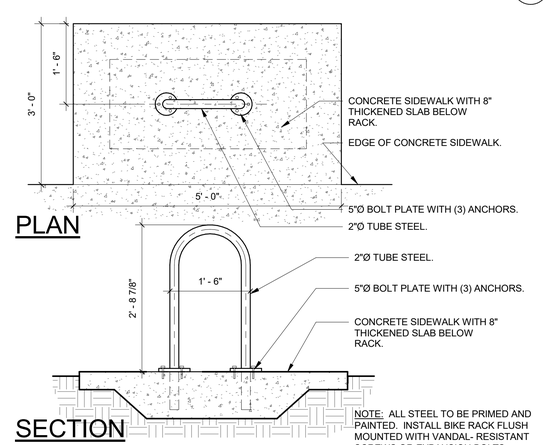
NOTE:
RETAINING WALL TO BE DESIGN-BUILD AND WILL REQUIRE A BUILDING PERMIT.

13 SEGMENTED BLOCK RETAINING WALL
SCALE: 3/4" = 1'-0"

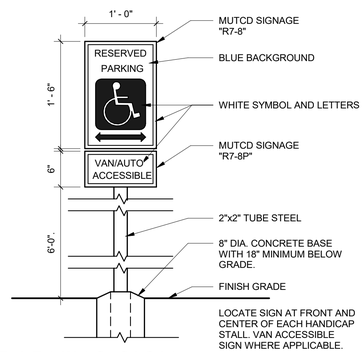


NOTE:
NUMBER OF TREADS & RISERS WILL VARY. RISE & RUN / STEP IS TYP - SEE GRADING PLAN.

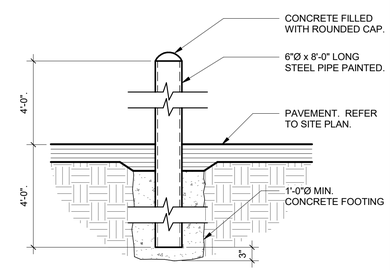
10 LANDSCAPE STAIR DETAIL
SCALE: 3/8" = 1'-0"



NOTE: ALL STEEL TO BE PRIMED AND PAINTED. INSTALL BIKE RACK FLUSH MOUNTED WITH VANDAL- RESISTANT SCREWS OR EXPANSION BOLTS.



4 HC PARKING SIGN
SCALE: 1" = 1'-0"



NOTE:
VERIFY FOUNDATION SIZE AND DEPTH FOR 8'-0" H. BOLLARDS.

1 BOLLARD DETAIL
SCALE: 3/4" = 1'-0"

PCD FILE NO: PPR2329

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DRAWN: CBW
CHECKED: BS
DESIGNED: KS
FILENAME: BS11530

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER

SITE DETAILS

INTERGROUP ARCHITECTS
■ architecture
■ planning
■ interiors
2000 West Littleton Blvd
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JOB NO. BS11530
SCALE AS SHOWN
DATE 07/28/2023
SHEETS 21
SHEET 19

SITE DEVELOPMENT PLAN

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A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11,
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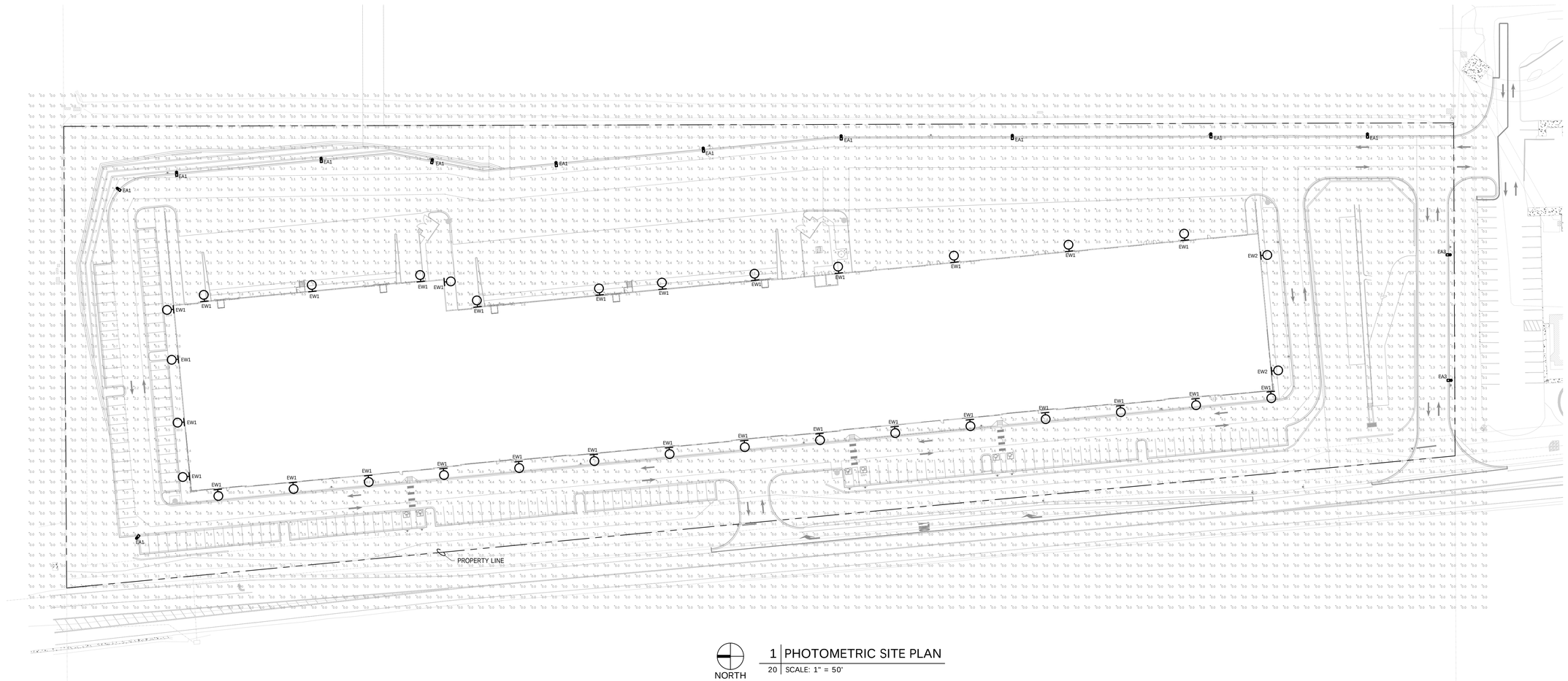

1 | PHOTOMETRIC SITE PLAN
20 | SCALE: 1" = 50'

AE DESIGN
Integrated Lighting, Technology, and Electrical Solutions
1900 Wazee Street #205 | Denver, CO 80202 | 303.296.3034
aedesign-inc.com
Project #: 6411.00

PCD FILE NO: PPR2329

REVISIONS

BY	DATE	DESCRIPTION
	10/20/23	2ND SUBMITTAL
	11/17/23	3RD SUBMITTAL

DRAWN HJ, HK
CHECKED EDR
DESIGNED HJ, HK
FILENAME PPR2329

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER

PHOTOMETRIC SITE PLAN

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■ planning
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SHEETS 21
SHEET 20

SITE DEVELOPMENT PLAN

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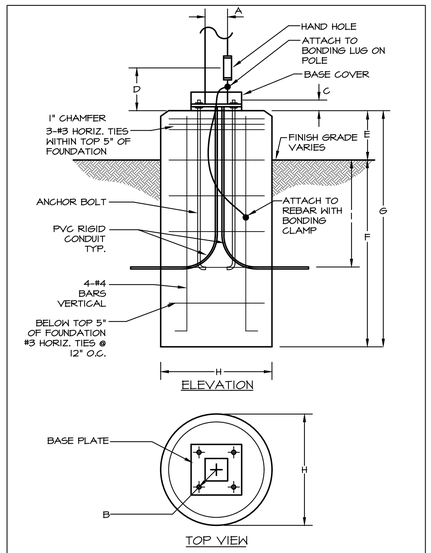
A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

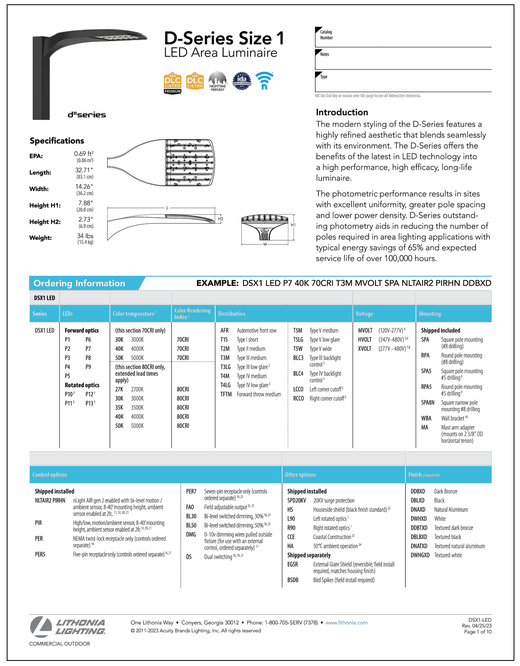
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
EAST LOADING		2.5 fc	11.3 fc	0.1 fc	113.0:1	25.0:1
NORTH PARKING LOT		2.4 fc	8.8 fc	0.2 fc	44.0:1	12.0:1
PROPERTY LINE		0.1 fc	1.5 fc	0.0 fc	N/A	N/A
PROPERTY LINE + 20'		0.0 fc	0.1 fc	0.0 fc	N/A	N/A
SITE		1.1 fc	15.6 fc	0.0 fc	N/A	N/A
SOUTH PARKING LOT		3.0 fc	7.9 fc	0.9 fc	8.8:1	3.3:1
SOUTHEAST PARKING LOT		2.6 fc	8.2 fc	0.5 fc	16.4:1	5.2:1
WEST PARKING LOT		3.7 fc	15.6 fc	0.4 fc	39.0:1	9.3:1



POLE KEY	OVERALL HEIGHT	A	ANCHOR BOLT DATA B	SIZE	C	D	E	F	G	H	I
EA1	20'0"	4"	PER MANUFACTURER				2'6"	6'0"	8'6"	24"	36"
EA2	20'0"	4"	PER MANUFACTURER				2'6"	6'0"	8'6"	24"	36"

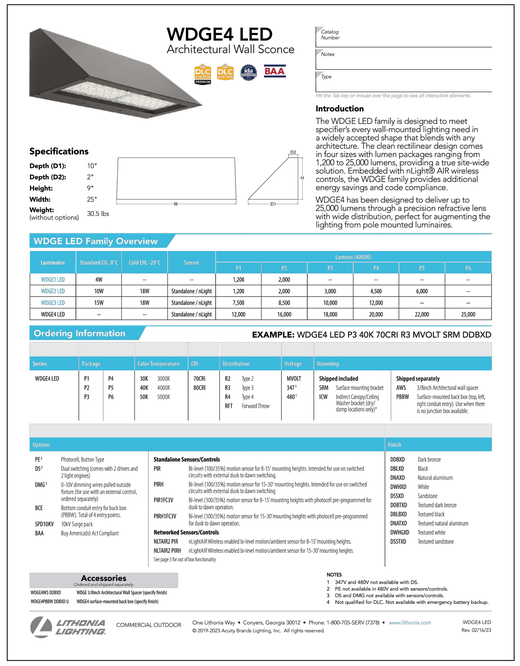
3 POLE BASE DETAIL

SCALE: N.T.S.



1 FIXTURE TYPE 'EA1', 'EA2', 'EA3'

SCALE: N.T.S.



2 FIXTURE TYPE 'EW1' & 'EW2'

SCALE: N.T.S.

LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	SOURCE QTY	WATT	TYPE	CCT/CRI	MAX WATTS	LUMEN OUTPUT	DIMMING	FIXTURE FINISH	MOUNTING LOCATION	INFORMATION BOF/RFD/OFH
EA1	LED AREA LIGHT, POLE TOP, TYPE IV DISTRIBUTION, HOUSE SIDE SHIELD	LITHONIA	DSX1-P2-40K-70CRI-T4M-MVOLT-RPA-HS-DBLXD	277	1	68	LED	4000K 70+ CRI	68	9,904 LM	SWITCHING	BLACK	POLE TOP	20' - 0" BOF
EA2	LED AREA LIGHT, POLE TOP, TYPE III DISTRIBUTION, HOUSE SIDE SHIELD	LITHONIA	DSX1-P2-40K-70CRI-T3M-MVOLT-RPA-HS-DBLXD	277	1	68	LED	4000K 70+ CRI	68	9,763 LM	SWITCHING	BLACK	POLE TOP	20' - 0" BOF
EA3	LED AREA LIGHT, POLE TOP, TYPE IV DISTRIBUTION, LOWER OUTPUT, HOUSE SIDE SHIELD	LITHONIA	DSX1-P1-40K-70CRI-T4M-MVOLT-RPA-HS-DBLXD	277	1	51	LED	4000K 70+ CRI	51	7,707 LM	SWITCHING	BLACK	POLE TOP	20' - 0" BOF
EW1	SURFACE MOUNTED LED WALL PACK, TYPE IV DISTRIBUTION	LITHONIA	WDGE4-LED-P3-40K-70CRI-R4-MVOLT-SRM-DBLXD	277	1	123	LED	4000K 70+ CRI	123	18,524 LM	SWITCHING	BLACK	WALL SURFACE	20' - 0" BOF
EW2	SURFACE MOUNTED LED WALL PACK, TYPE III DISTRIBUTION	LITHONIA	WDGE4-LED-P3-40K-70CRI-R3-MVOLT-SRM-DBLXD	277	1	123	LED	4000K 70+ CRI	123	18,074 LM	SWITCHING	BLACK	WALL SURFACE	20' - 0" BOF

ABBREVIATIONS: BOF - BOTTOM OF FIXTURE, RFD - RECESSED FIXTURE DEPTH, OFH - OVERALL FIXTURE HEIGHT, AFF(AFG) - ABOVE FINISHED FLOOR (GRADE), WFD - WALL FIXTURE DEPTH

GENERAL NOTES:

A. ALL REFLECTOR LAMPS SHALL BE PROVIDED AS WIDE FLOOD DISTRIBUTION, VON.
B. LUMENS LISTED ARE DELIVERED LUMENS, NOT INITIAL.
C. FOR ALL SPECIFIED LUMINAIRES, THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MOUNTING HARDWARE, ACCESSORIES, COMPONENTS, LEADER/JUMPER CABLES, WIRE FEED, CONNECTORS, END CAPS, REMOTE POWER SUPPLIES, AND ANY OTHER NECESSARY COMPONENT AS REQUIRED FOR INSTALLING A SECURE AND FULLY FUNCTIONAL SYSTEM.
D. ALL FINISH SELECTIONS SHALL BE VERIFIED BY ARCHITECT/INTERIOR DESIGNER/OWNER AS PART OF THE SUBMITTAL PROCESS. UNLESS OTHERWISE NOTED, EC SHALL ASSUME STANDARD LUMINAIRE FINISH OPTION FOR PRICING.
E. EC SHALL VERIFY ALL FIXTURE MOUNTING HEIGHTS WITH ARCHITECTURAL ELEVATIONS PRIOR TO ANY ROUGH-IN.
F. EXTERIOR LUMINAIRES SHALL BE COLD WEATHER RATED FOR 0 DEG. F / -18 DEG. C., AND RATED FOR OUTDOOR USE.

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SHEETS 21 SHEET 21