

THE ROCK COMMERCE CENTER

SITE DEVELOPMENT PLAN

LOCATED IN THE SOUTHWEST QUARTER OF THE
NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
EL PASO COUNTY, STATE OF COLORADO.

PROJECT TEAM

OWNER / DEVELOPER

CENTRAL DEVELOPMENT, LLC
1600 S. ALBON ST., #200
DENVER, CO 80222
303.628.0200 voice
CONTACT: JEREMY RECORDS

CIVIL ENGINEER

REDLAND
1500 W. CANAL CT.
LITTLETON, CO 80120
720.283.6783 voice
CONTACT: MARK CEVAAL, P.E.
EMAIL: mcevaal@redland.com

ARCHITECT

INTERGROUP ARCHITECTS
2000 W. LITTLETON BLVD.
LITTLETON, CO 80120
303.407.1157 voice
CONTACT: BILL SMITH, AIA

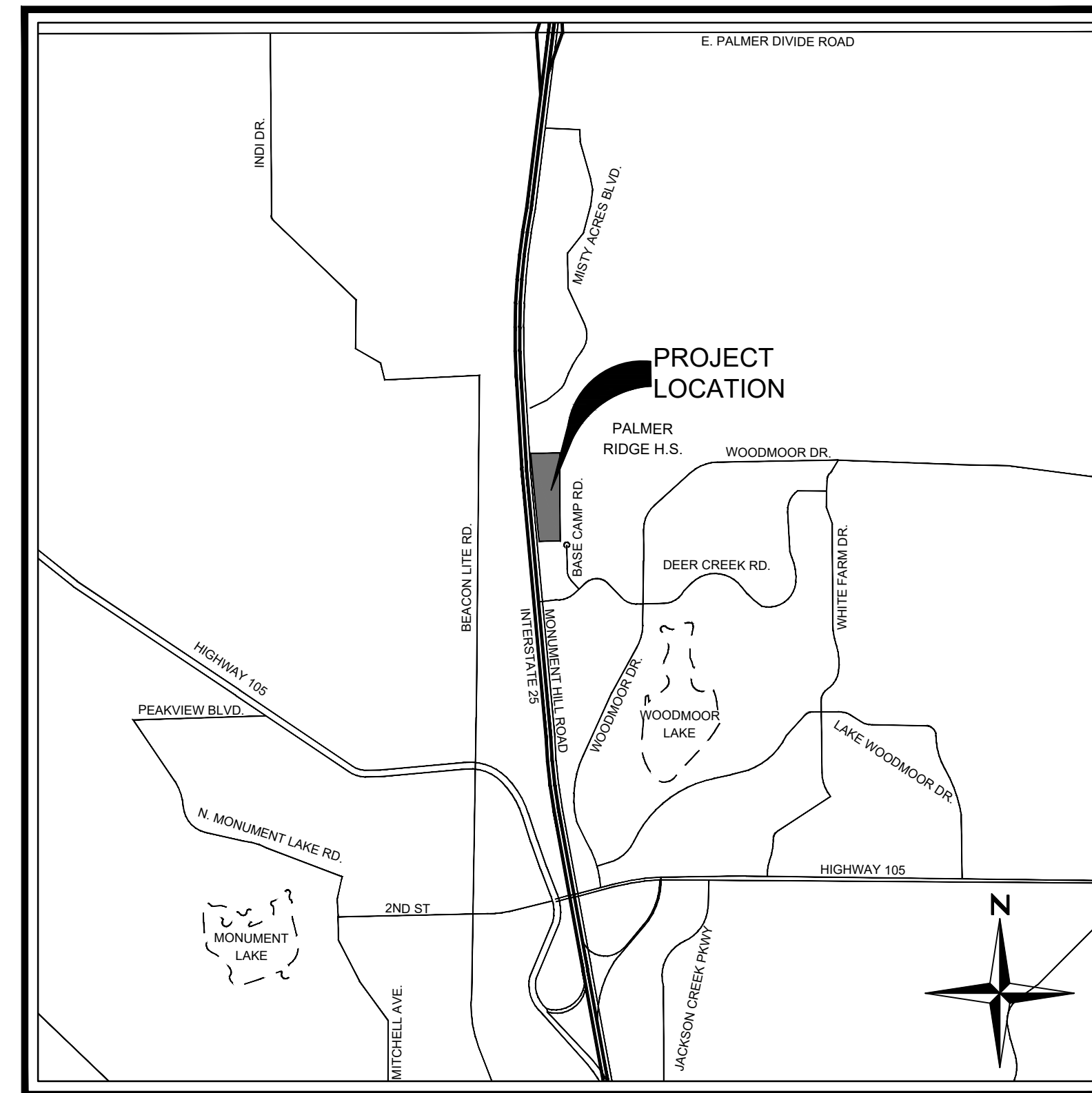
LANDSCAPE ARCHITECT

STACKLOT
5366 S. CURTICE ST.
LITTLETON, CO 80120
303.808.4523 voice
CONTACT: STEVE WIENS
EMAIL: steve@stacklot.com

LEGAL DESCRIPTION:

PARCEL B:

THAT PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M. LYING EAST OF THE EAST LINE OF THAT TRACT CONVEYED TO THE STATE HIGHWAY DEPARTMENT BY QUITCLAIM DEED RECORDED SEPTEMBER 8, 1948 IN BOOK 1185, PAGE 458, ALSO DESCRIBED AS: THAT PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE P.M., COUNTY OF EL PASO, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER; THENCE EASTERLY ALONG THE SOUTHERLY LINE OF SAID NORTHWEST QUARTER A DISTANCE OF 996.04 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY OF INTERSTATE HIGHWAY 25 DESCRIBED IN THAT DEED TO THE STATE HIGHWAY DEPARTMENT RECORDED SEPTEMBER 8, 1948 IN BOOK 1185 AT PAGE 458, WHICH POINT IS THE TRUE POINT OF THE BEGINNING OF THE PARCEL TO BE DESCRIBED; THENCE ON A DEFLECTION ANGLE TO THE LEFT 95°08'20" AND ALONG SAID EASTERLY RIGHT OF WAY LINE A DISTANCE OF 1334.24 FEET TO A POINT ON THE NORTHERLY LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE ON A DEFLECTION ANGLE TO THE RIGHT 95°00'36" AND ALONG SAID NORTHERLY LINE 441.95 FEET TO THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE ON A DEFLECTION ANGLE TO THE RIGHT 90°16'15" AND ALONG THE EASTERLY LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER A DISTANCE OF 1329.88 FEET TO THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE ON A DEFLECTION ANGLE TO THE RIGHT 89°51'29" AND ALONG THE SOUTHERLY LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER A DISTANCE OF 319.15 FEET TO THE POINT OF BEGINNING.



VICINITY MAP
SCALE: 1" = 2000'

BENCHMARK

NGS CONTROL POINT T 395 BEING A STANDARD NGS STEEL ROD IN A LOGO MONUMENT BOX LOCATED 20 MILES NORTH OF COLORADO SPRINGS ON THE EAST SIDE OF I-25, 1,200 FEET NORTH OF THE WEIGH STATION BUILDING, AND 20.5 FEET EAST OF THE EASTERLY EDGE OF OIL OF THE NORTHBOUND LANES OF I-25.

NAVD88. ELEV = 7111.32'

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE REFERENCED TO THE SOUTHERLY BOUNDARY OF LOT 1, GREATER EUROPE MISSION SUBDIVISION FILING NO. 1, BEING MONUMENTED AS SHOWN HEREON, ASSUMED TO BEAR SOUTH 80°00'37" WEST, A DISTANCE OF 358.79 FEET.

Sheet List Table	
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1 OF 20	COVER SHEET
2 OF 20	OVERALL SITE PLAN
3 OF 20	SITE PLAN
4 OF 20	SITE PLAN
5 OF 20	GRADING PLAN
6 OF 20	GRADING PLAN
7 OF 20	UTILITY PLAN
8 OF 20	UTILITY PLAN
9 OF 20	LANDSCAPE PLAN 'A'
10 OF 20	LANDSCAPE PLAN 'B'
11 OF 20	LANDSCAPE PLAN 'C'
12 OF 20	LANDSCAPE NOTES
13 OF 20	LANDSCAPE DETAILS
14 OF 20	EXTERIOR ELEVATIONS
15 OF 20	EXTERIOR ELEVATIONS
16 OF 20	EXTERIOR ELEVATIONS
17 OF 20	EXTERIOR PERSPECTIVES
18 OF 20	SITE DETAILS
19 OF 20	PHOTOMETRIC SITE PLAN
20 OF 20	PHOTOMETRIC DETAILS

15 Redland
YEARS
WHERE GREAT PLACES BEGIN

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PROJECT NO.	DATE	NO.	NOTES
23009			
	08/08/2023	1	1ST SUBMITTAL
	10/20/2023	2	2ND SUBMITTAL
	11/17/2023	3	3RD SUBMITTAL

THE ROCK COMMERCE CENTER
SITE DEVELOPMENT PLAN
COVER SHEET

SHEET

1 OF 20

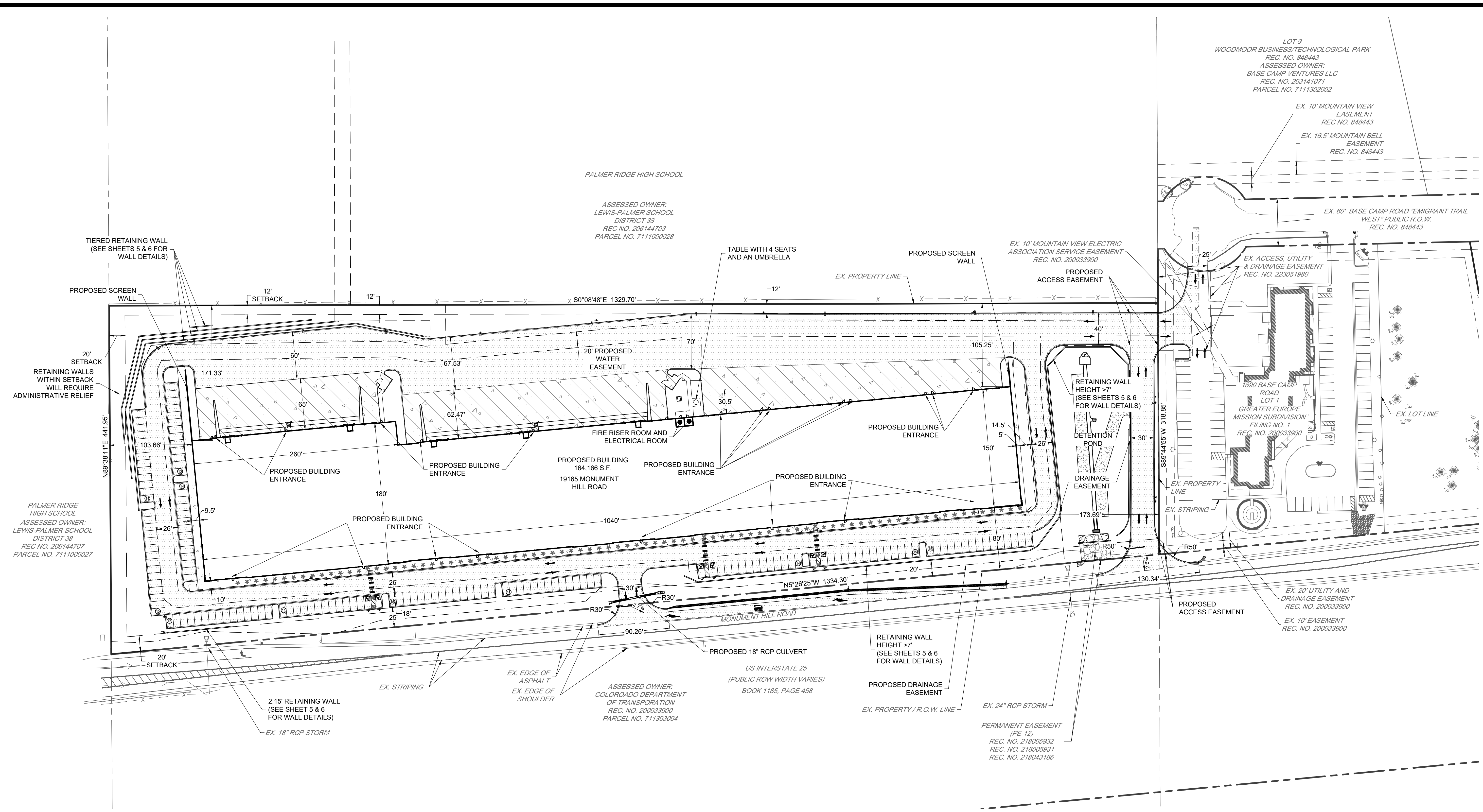
I:\2023\23009 - The Rock Commerce Center\CAAD\Sheet Sets\Site Plan\The Rock_V23009_Cover Sheet.dwg tab: 1 OF 24 COVER SHEET Nov 20, 2023 - 7:23am csalz

I:\2023\23009 - The Rock Commerce Center\Sheet\Sheet\The Rock\23009_Overall Site Plan.dwg Lab: 2 OF 24 OVERALL SITE PLAN Nov 20, 2023 - 7:23am caoiz

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PROJECT NO.	DATE	NO.	NOTES
23009	08/08/2023	1	1ST SUBMITTAL
	10/20/2023	2	2ND SUBMITTAL
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**THE ROCK COMMERCE CENTER
 SITE DEVELOPMENT PLAN
 OVERALL SITE PLAN**



- NOTE:
1. ANY WORK WITHIN EL PASO COUNTY RIGHT-OF-WAY REQUIRES A WORK IN RIGHT-OF-WAY PERMIT FROM EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS.
 2. A BUILDING PERMIT FORM PIKES PEAK REGIONAL BUILDING DEPARTMENT IS REQUIRED FOR RETAINING WALLS GREAT THAN 4 FEET IN HEIGHT.

PROPOSED LEGEND		EXISTING LEGEND	
	EASEMENT		PROPERTY LINE
	CURB AND GUTTER		R.O.W.
	SIDEWALK		LOT LINE
	CONCRETE PAVEMENT		EASEMENT LINE
	ASPHALT PAVEMENT		SECTION LINE
	LIMITS OF CONSTRUCTION / SAWCUT		EDGE OF PAVEMENT
	PEDESTRIAN ACCESSIBLE ROUTE		CURB AND GUTTER
	RETAINING WALL		CONCRETE
			FENCE
			SETBACK

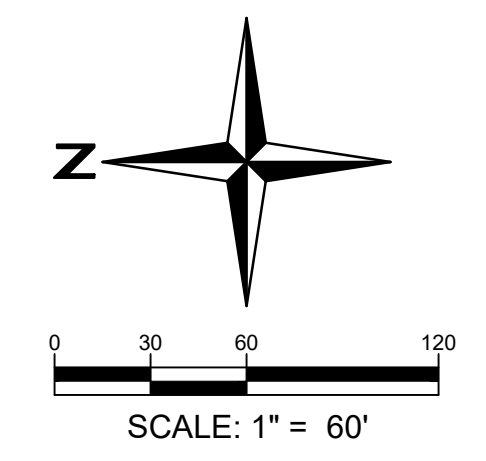
LOT 1, THE ROCK COMMERCE CENTER SUBDIVISION FILING NO. 1	REQUIRED	PROPOSED
ZONING	CS	CS
PARCEL AREA	11.61 AC. (505,680 S.F.)	11.61 AC. (505,680 S.F.)
BUILDING AREA	-	163,800 S.F.
BUILDING HEIGHT	40' MAX.	36'
STANDARD SPACES	*RETAIL = 28 SPACES *WAREHOUSE = 123 SPACES TOTAL = 151 SPACES	PROPOSED PARKING = 151 SPACES
ACCESSIBLE SPACES	6 ACCESSIBLE SPACES	6 ACCESSIBLE SPACES
VAN ACCESSIBLE	1 VAN ACCESSIBLE SPACE	1 VAN ACCESSIBLE SPACES
LANDSCAPE AREA	-	2.4 AC. (105,409.5 S.F. / 20.8%)
HARDSCAPE AREA	-	9.2 AC. (400,270.5 S.F. / 79.2%)

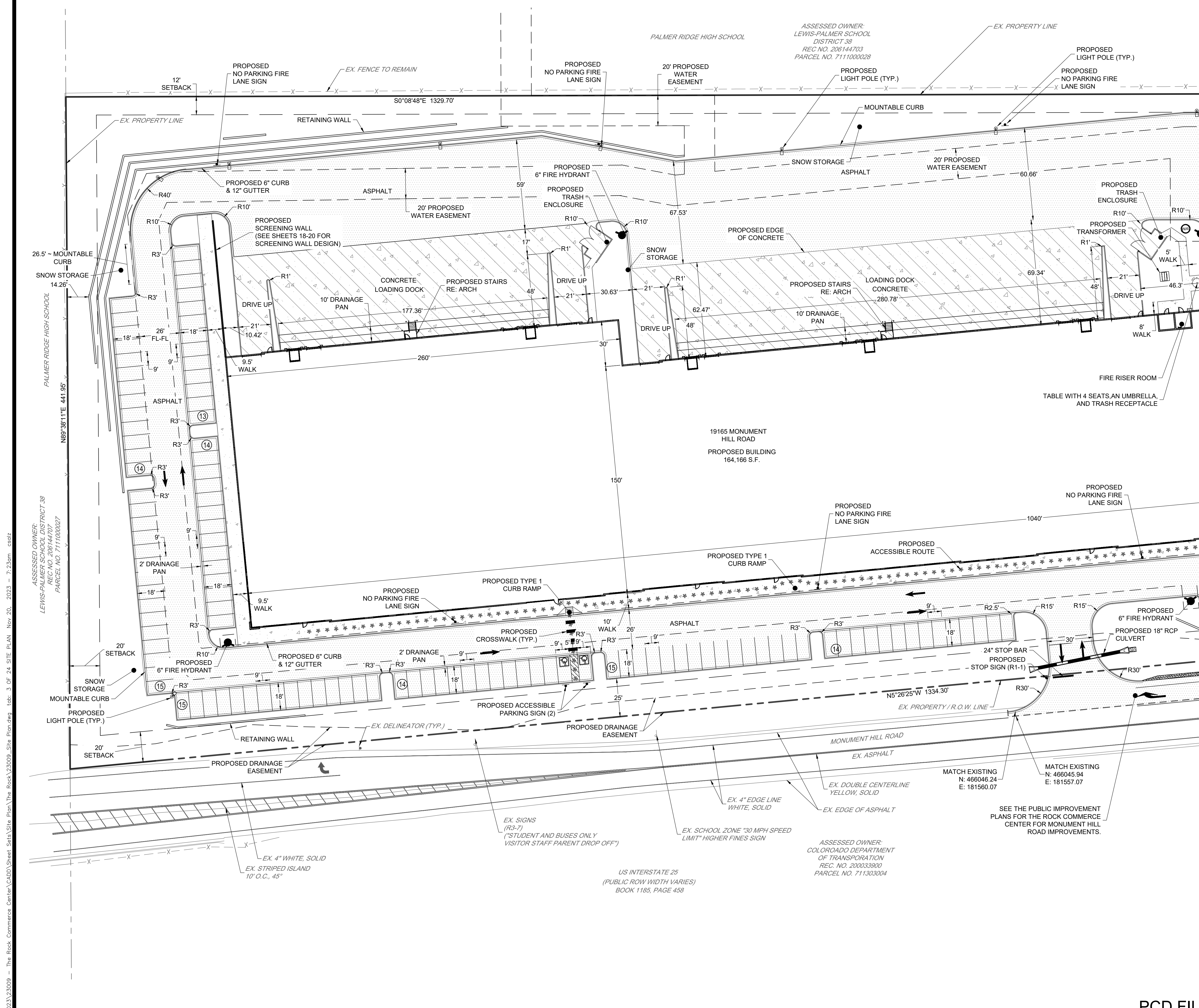
- * RETAIL = 10% OF BLDG S.F. @ 1/600 S.F.
- * WAREHOUSE = 90% OF BLDG S.F. @ 1/1200 S.F.
- * AN ALTERNATIVE PARKING RATIO WILL BE REQUESTED TO CHANGE THE WAREHOUSE PARKING TO 1 SPACE PER 1,200 S.F. FROM 1 SPACE PER 1,000 S.F.
- * THE TOTAL AMOUNT OF ACCESSIBLE SPACES WILL STILL FOLLOW THE ORIGINAL CODE.

LOT 1, GREATER EUROPE MISSION FILING NO. 1	
ZONING	CS
PARCEL AREA	3.59 AC. (156,422 S.F.)
BUILDING AREA	+11,784 S.F.
BUILDING HEIGHT	45' MAX.
STANDARD SPACES	REQUIRED = 59 SPACES EXISTING = 96 SPACES PROPOSED = 88 SPACES
ACCESSIBLE SPACES	3 ACCESSIBLE SPACES
VAN ACCESSIBLE	1 VAN ACCESSIBLE
LANDSCAPE AREA	(87,973.7 S.F. / 56.2%)
HARDSCAPE AREA	(68,448.3 S.F. / 43.8%)

NOTE:
 THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATION AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OF GUIDELINES ENACTED OF PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

PCD FILE NO. PPR2329





- PROPOSED LEGEND**
- EASEMENT
 - CURB AND GUTTER
 - SIDEWALK
 - CONCRETE PAVEMENT
 - ASPHALT PAVEMENT
 - LIMITS OF CONSTRUCTION / SAWCUT
 - ***** PEDESTRIAN ACCESSIBLE ROUTE
 - RETAINING WALL
 - FIRE HYDRANT

- EXISTING LEGEND**
- PROPERTY LINE
 - R.O.W.
 - LOT LINE
 - EASEMENT LINE
 - SECTION LINE
 - EDGE OF PAVEMENT
 - CURB AND GUTTER
 - CONCRETE
 - FENCE
 - SETBACK

NOTE: THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATION AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OF GUIDELINES ENACTED OF PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

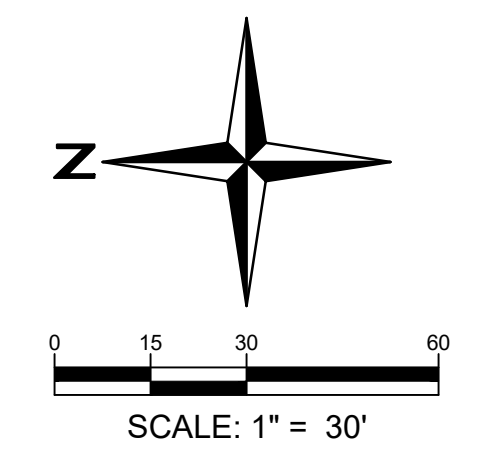
MATCHLINE - SEE SHEET NO. 4 OF 20

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23009	08/08/2023	1	10/20/2023	2	1ST SUBMITTAL
			11/17/2023	3	2ND SUBMITTAL
					3RD SUBMITTAL

THE ROCK COMMERCE CENTER
SITE DEVELOPMENT PLAN
SITE PLAN



I:\2023\23009 - The Rock Commerce Center\CAAD\Sheet Sets\Site Plan\The Rock\23009_Site Plan.dwg tab: 3 OF 24 SITE PLAN Nov 20, 2023 -- 7:23am csalz
ASSESSOR: LEWIS-PALMER SCHOOL DISTRICT 38
REC. NO. 206144707
PARCEL NO. 7111000027

US INTERSTATE 25
(PUBLIC ROW WIDTH VARIES)
BOOK 1185, PAGE 458

ASSESSOR: COLORADO DEPARTMENT OF TRANSPORTATION
REC. NO. 200033900
PARCEL NO. 711303004

SEE THE PUBLIC IMPROVEMENT PLANS FOR THE ROCK COMMERCE CENTER FOR MONUMENT HILL ROAD IMPROVEMENTS.

MATCH EXISTING N: 466046.24 E: 181560.07

MATCH EXISTING N: 466045.94 E: 181557.07

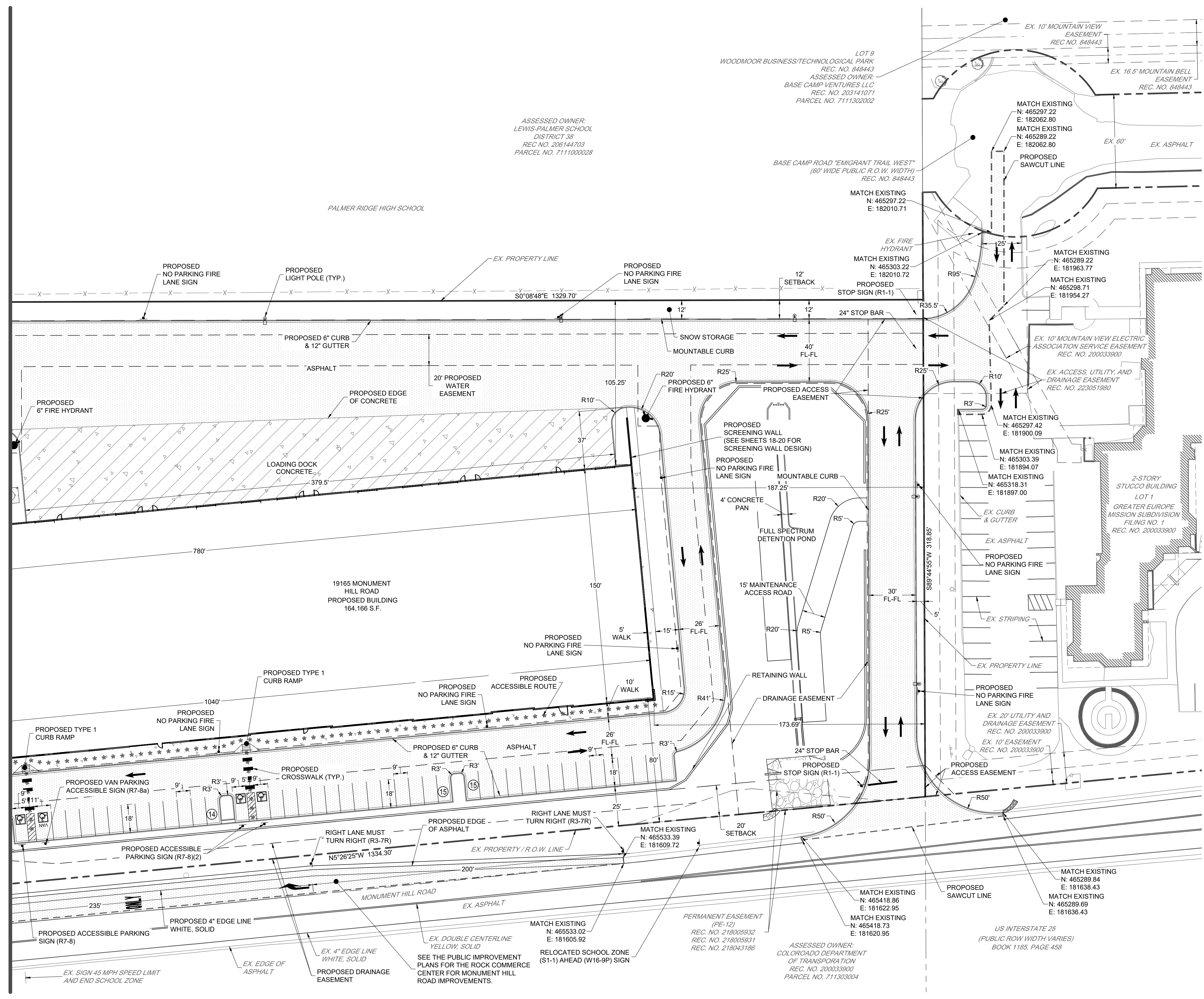
EX. SCHOOL ZONE "30 MPH SPEED LIMIT" HIGHER FINES SIGN

EX. SIGNS (R3-7) ("STUDENT AND BUSES ONLY VISITOR STAFF PARENT DROP OFF")

EX. 4" WHITE, SOLID EX. STRIPED ISLAND 10' O.C., 45"

I:\2023\23009 - The Rock Commerce Center\Sheet Sets\Site Plan\The Rock\23009_Site Plan.dwg tab: 4 OF 24 SITE PLAN Nov 20, 2023 - 7:23am csalz

MATCHLINE - SEE SHEET NO. 3 OF 20



- PROPOSED LEGEND**
- EASEMENT
 - CURB AND GUTTER
 - SIDEWALK
 - CONCRETE PAVEMENT
 - ASPHALT PAVEMENT
 - LIMITS OF CONSTRUCTION / SAWCUT
 - PEDESTRIAN ACCESSIBLE ROUTE
 - RETAINING WALL
 - FIRE HYDRANT
- EXISTING LEGEND**
- PROPERTY LINE
 - R.O.W.
 - LOT LINE
 - EASEMENT LINE
 - SECTION LINE
 - EDGE OF PAVEMENT
 - CURB AND GUTTER
 - CONCRETE
 - FENCE
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NOTE: THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATION AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OF GUIDELINES ENACTED OF PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

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WHERE GREAT PLACES BEGIN

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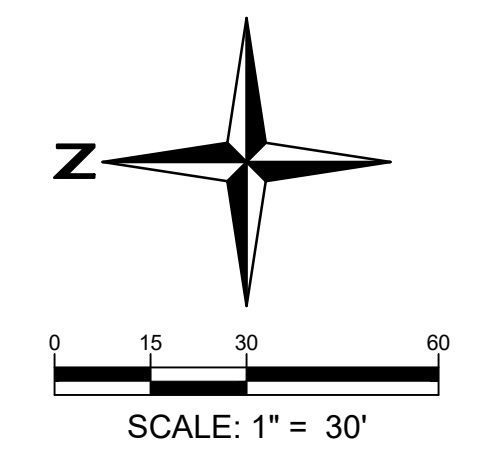
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Construction Management

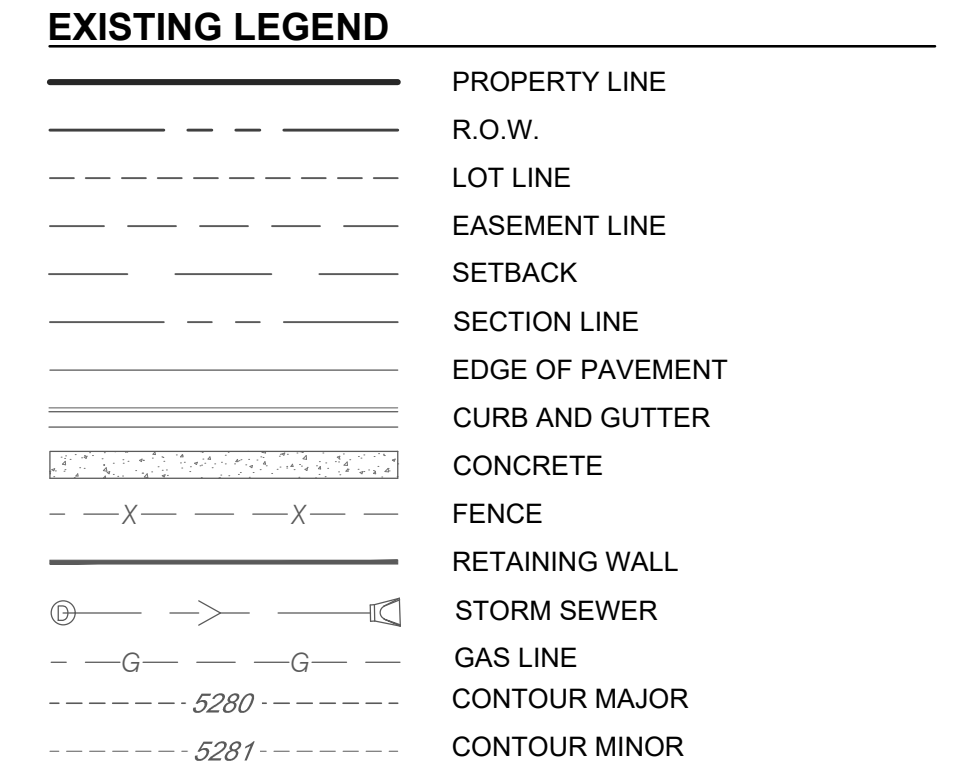
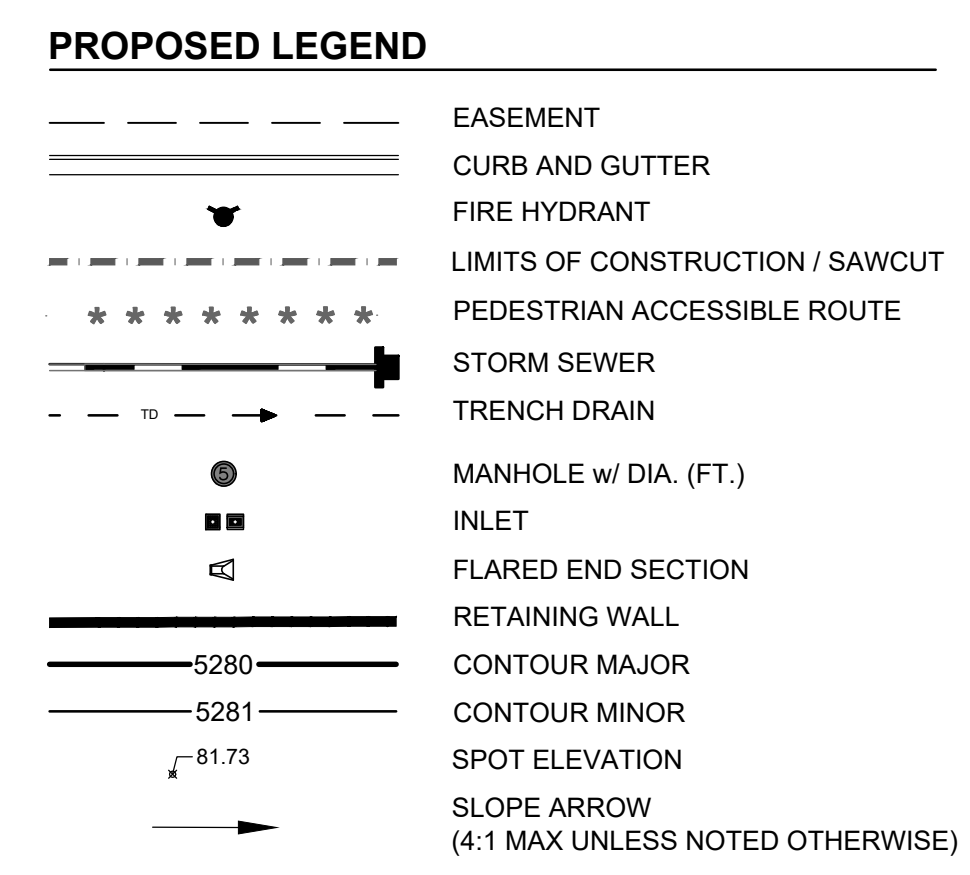
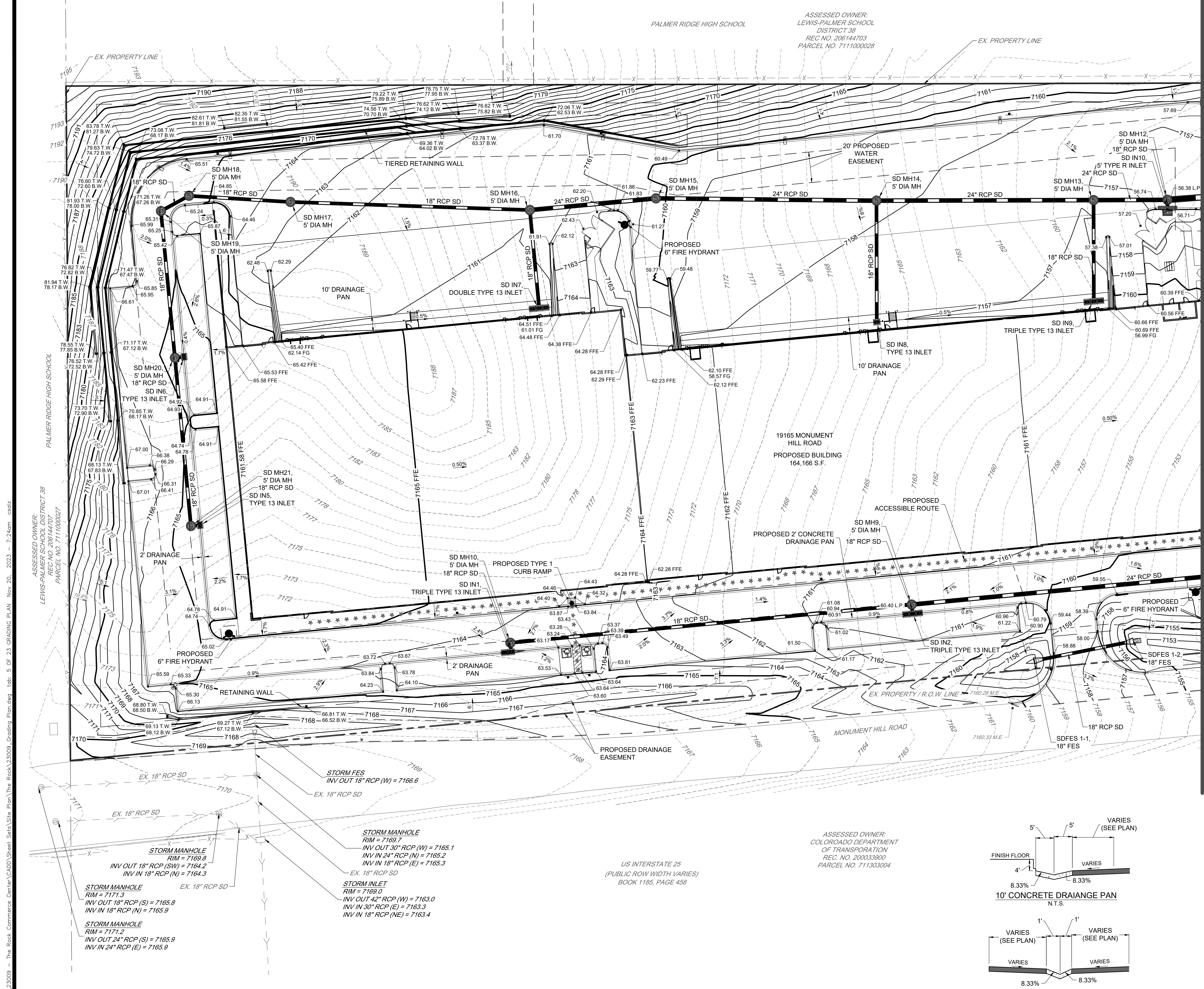
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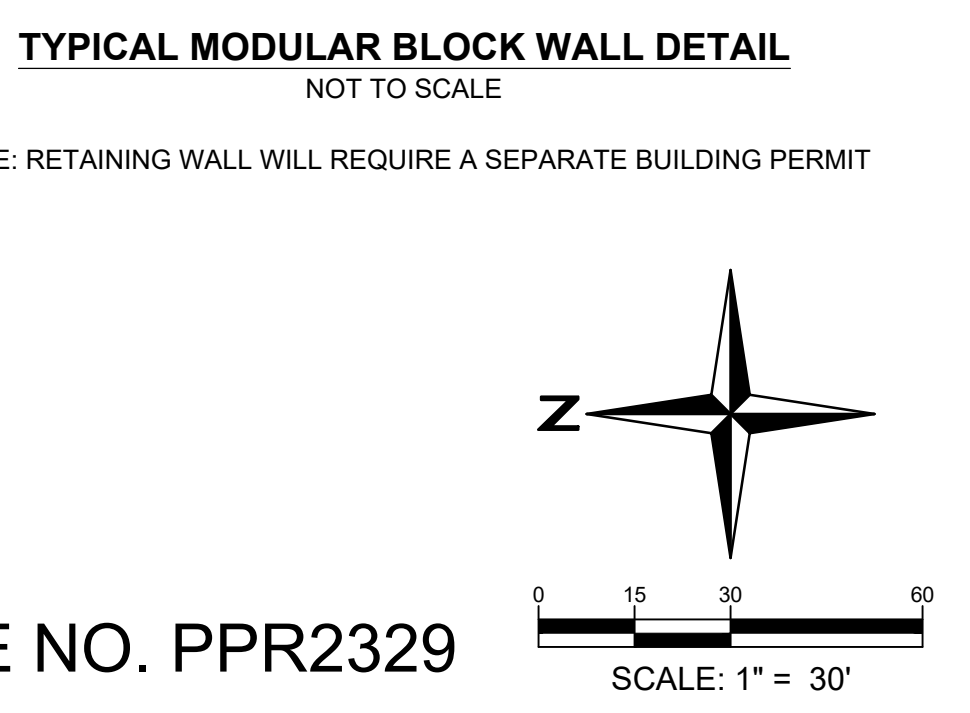
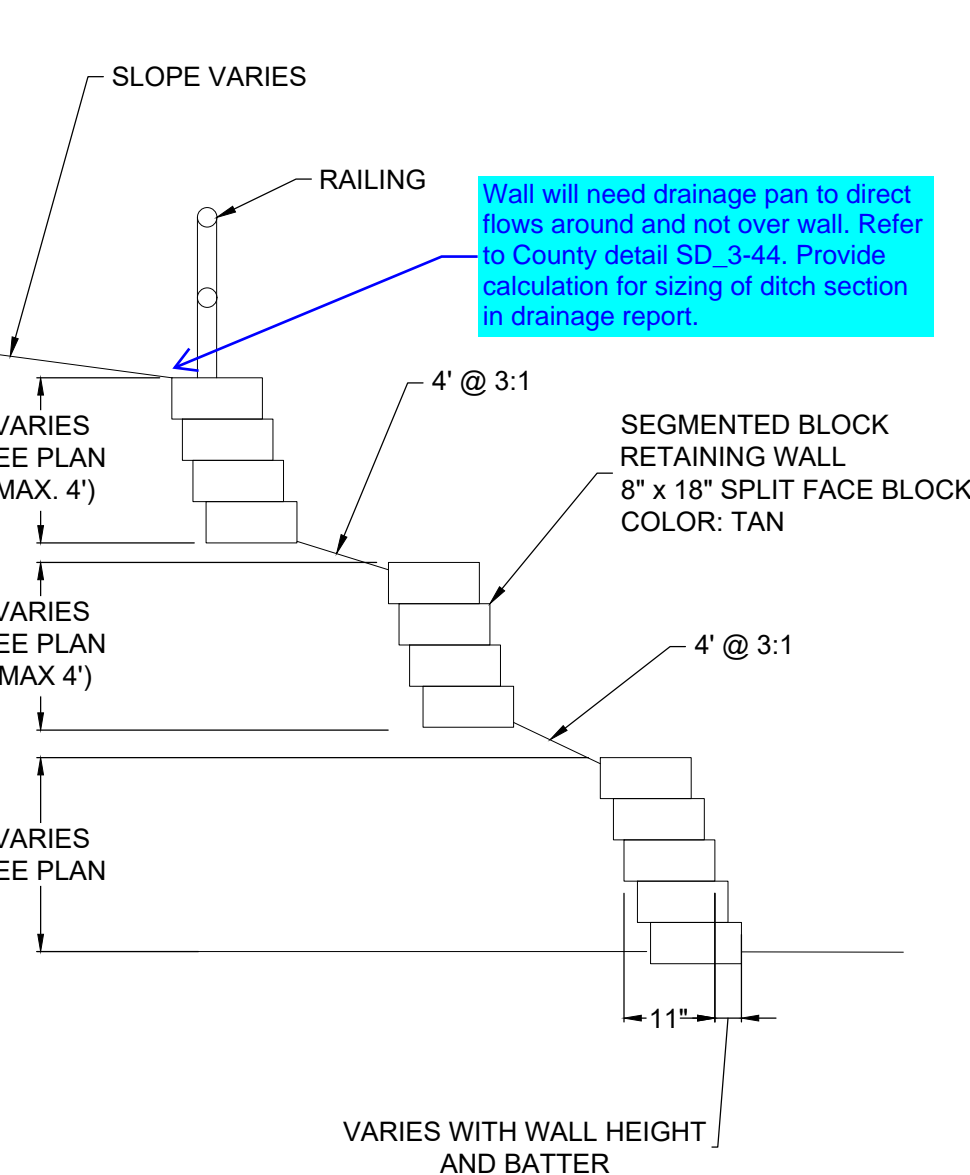
THE ROCK COMMERCE CENTER
SITE DEVELOPMENT PLAN
SITE PLAN

PCD FILE NO. PPR2329





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 - REGIONAL BUILDING DEPARTMENT PERMIT REQUIRED FOR ALL RETAINING WALLS GREATER THAN OR EQUAL TO 4 FT IN HEIGHT.
 - SEE SHEETS 18-21 FOR SCREENING WALL DETAILS BY ARCH.
 - NO BATCH PLANTS WILL BE UTILIZED ONSITE.



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WHERE GREAT PLACES BEGIN
YEARS

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THE ROCK COMMERCE CENTER
SITE DEVELOPMENT PLAN
GRADING PLAN

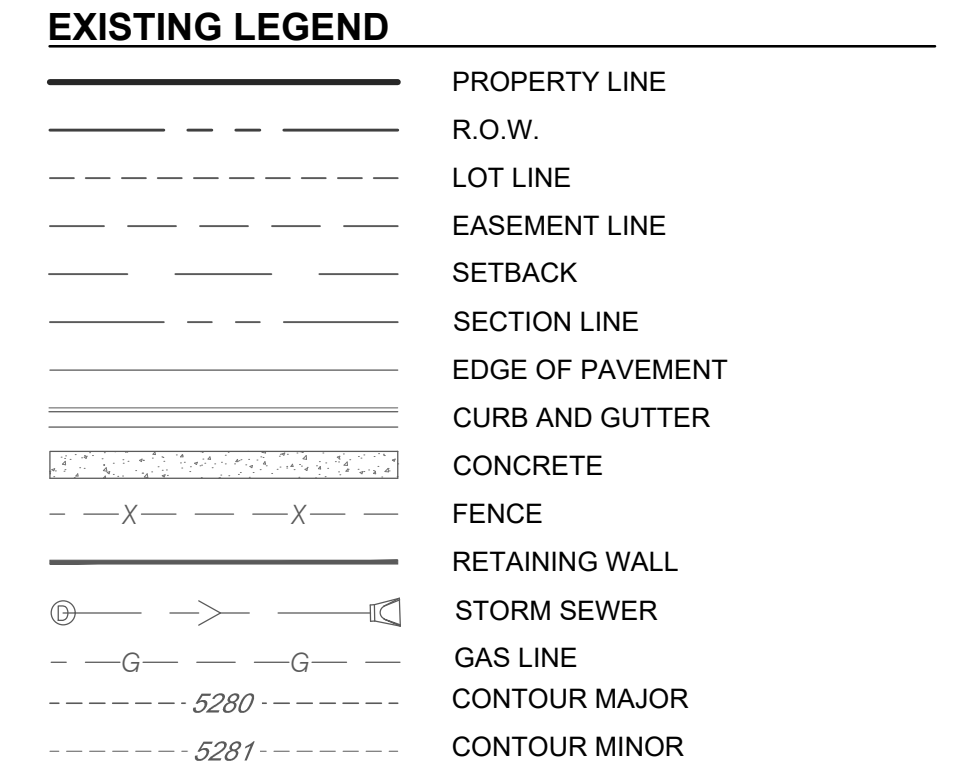
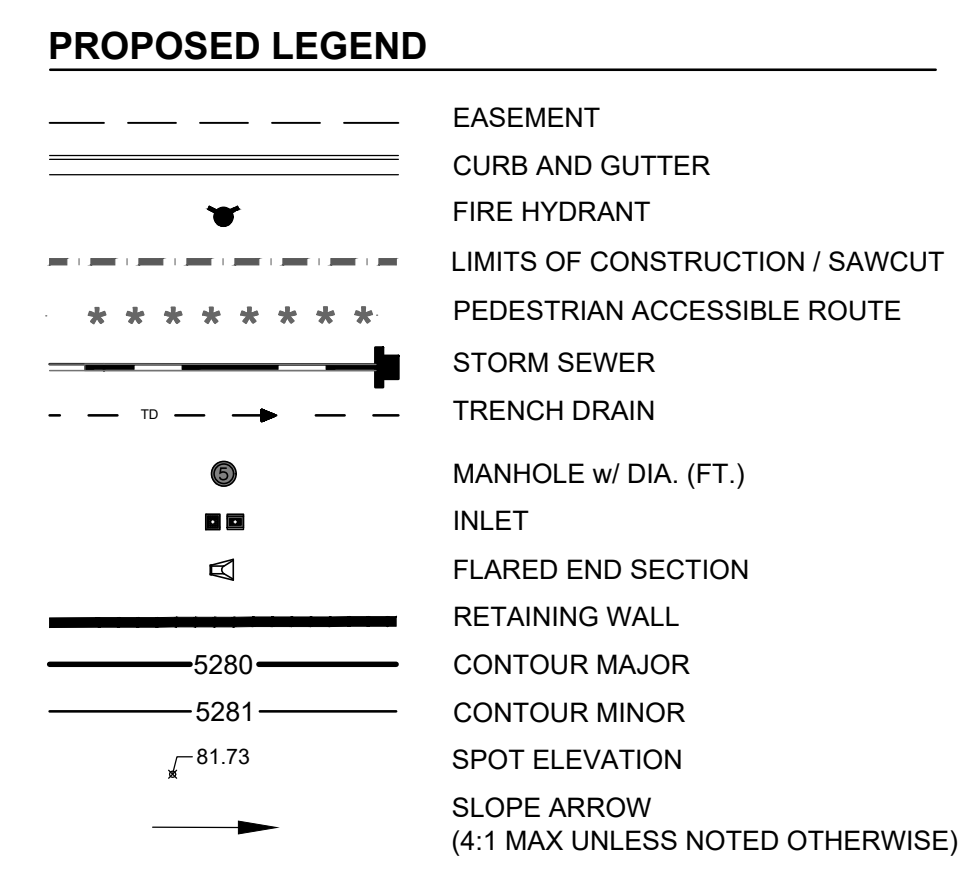
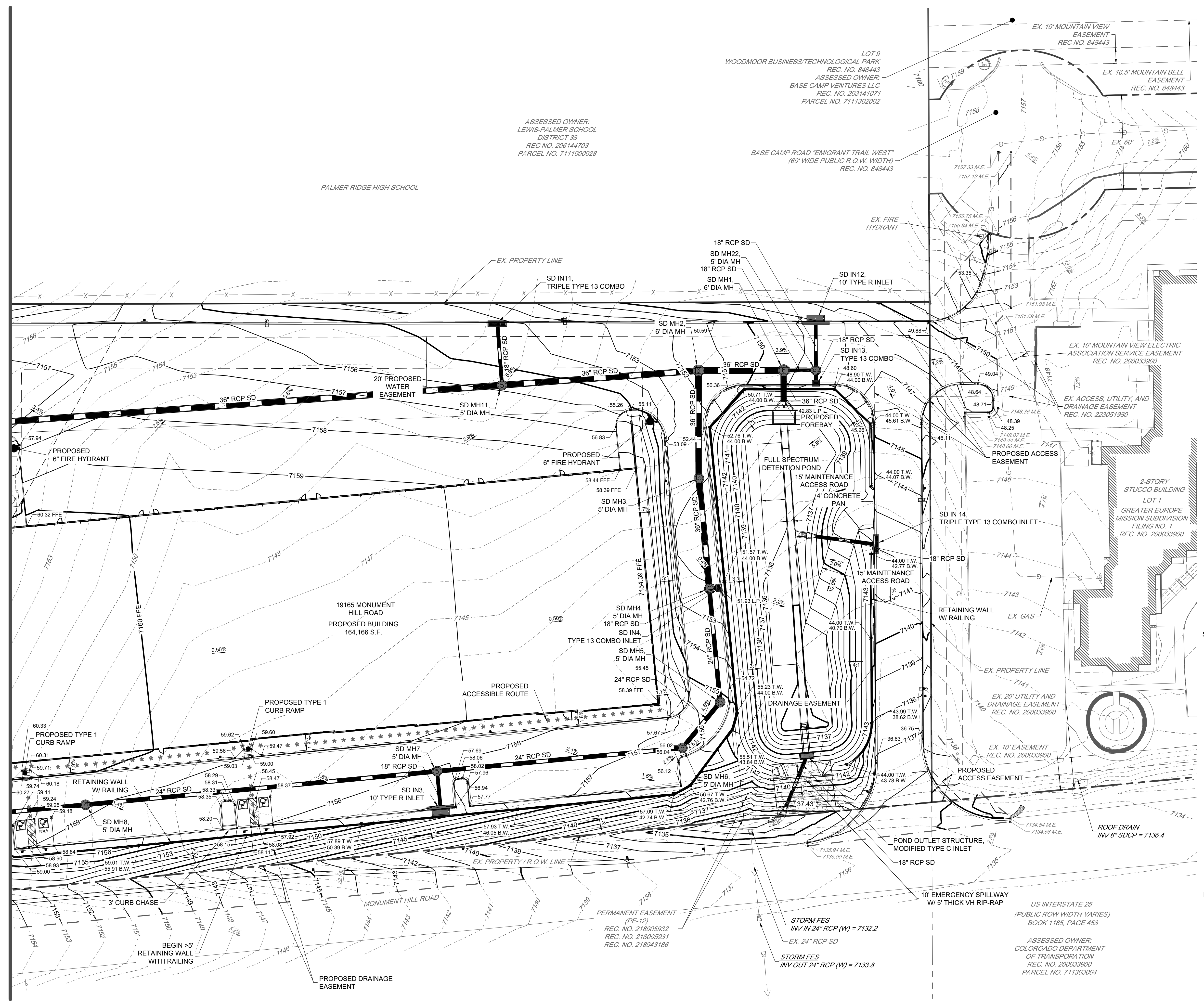
SHEET
5 OF 20

I:\2023\23009 - The Rock Commerce Center\CAAD\Sheet Sets\Site Plan\The Rock\23009_Grading Plan.dwg tab: 5 OF 23 GRADING PLAN Nov 20, 2023 - 7:24am caalz

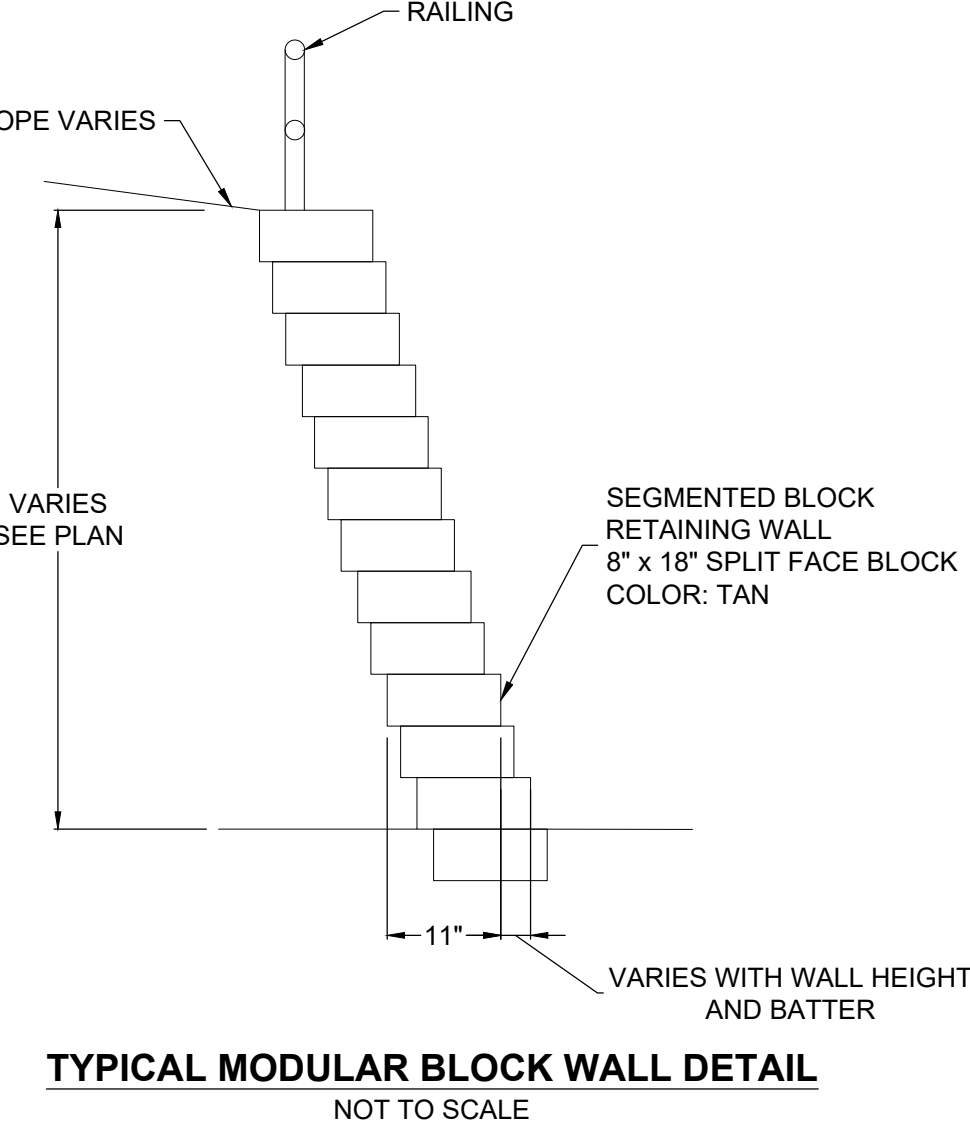
PCD FILE NO. PPR2329

I:\2023\23009 - The Rock Commerce Center\Sheet Sets\Site Plan\The Rock_V23009_Grading Plan.dwg tab: 6 OF 22 GRADING PLAN Nov 20, 2023 - 7:24am casj

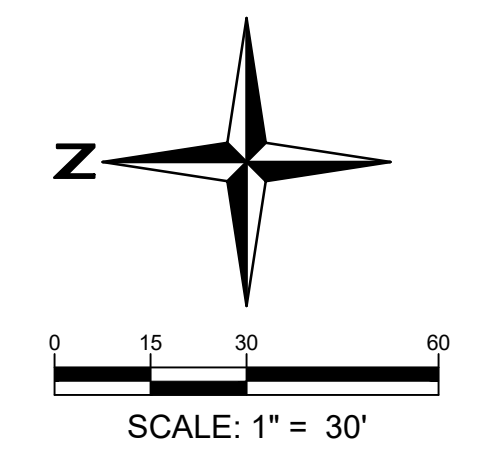
MATCHLINE - SEE SHEET NO. 5 OF 20



- NOTE:
1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATION AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OF GUIDELINES ENACTED OF PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
 2. REGIONAL BUILDING DEPARTMENT PERMIT REQUIRED FOR ALL RETAINING WALLS GREATER THAN OR EQUAL TO 4 FT IN HEIGHT.
 3. SEE SHEETS 18-21 FOR SCREENING WALL DETAILS BY ARCH.
 4. NO BATCH PLANTS WILL BE UTILIZED ONSITE.



NOTE: RETAINING WALL WILL REQUIRE A SEPARATE BUILDING PERMIT



PCD FILE NO. PPR2329

ASSESSED OWNER: LEWIS-PALMER SCHOOL DISTRICT 38 REC NO. 206144703 PARCEL NO. 711100028

LOT 9 WOODMOOR BUSINESS/TECHNOLOGICAL PARK REC. NO. 848443 ASSESSED OWNER: BASE CAMP VENTURES LLC REC. NO. 203141071 PARCEL NO. 711130202

BASE CAMP ROAD "EMIGRANT TRAIL WEST" (60' WIDE PUBLIC R.O.W. WIDTH) REC. NO. 848443

PALMER RIDGE HIGH SCHOOL

19165 MONUMENT HILL ROAD PROPOSED BUILDING 164,166 S.F.

EX. 10' MOUNTAIN VIEW ELECTRIC ASSOCIATION SERVICE EASEMENT REC. NO. 200033900

EX. ACCESS, UTILITY, AND DRAINAGE EASEMENT REC. NO. 223051980

EX. 20' UTILITY AND DRAINAGE EASEMENT REC. NO. 200033900

US INTERSTATE 25 (PUBLIC ROW WIDTH VARIES) BOOK 1185, PAGE 458

ASSESSED OWNER: COLORADO DEPARTMENT OF TRANSPORTATION REC. NO. 200033900 PARCEL NO. 711303004

PERMANENT EASEMENT (PE-12) REC. NO. 218005932 REC. NO. 218005931 REC. NO. 218043186

STORM FES INV IN 24" RCP (W) = 7132.2 EX. 24" RCP SD

STORM FES INV OUT 24" RCP (W) = 7133.8

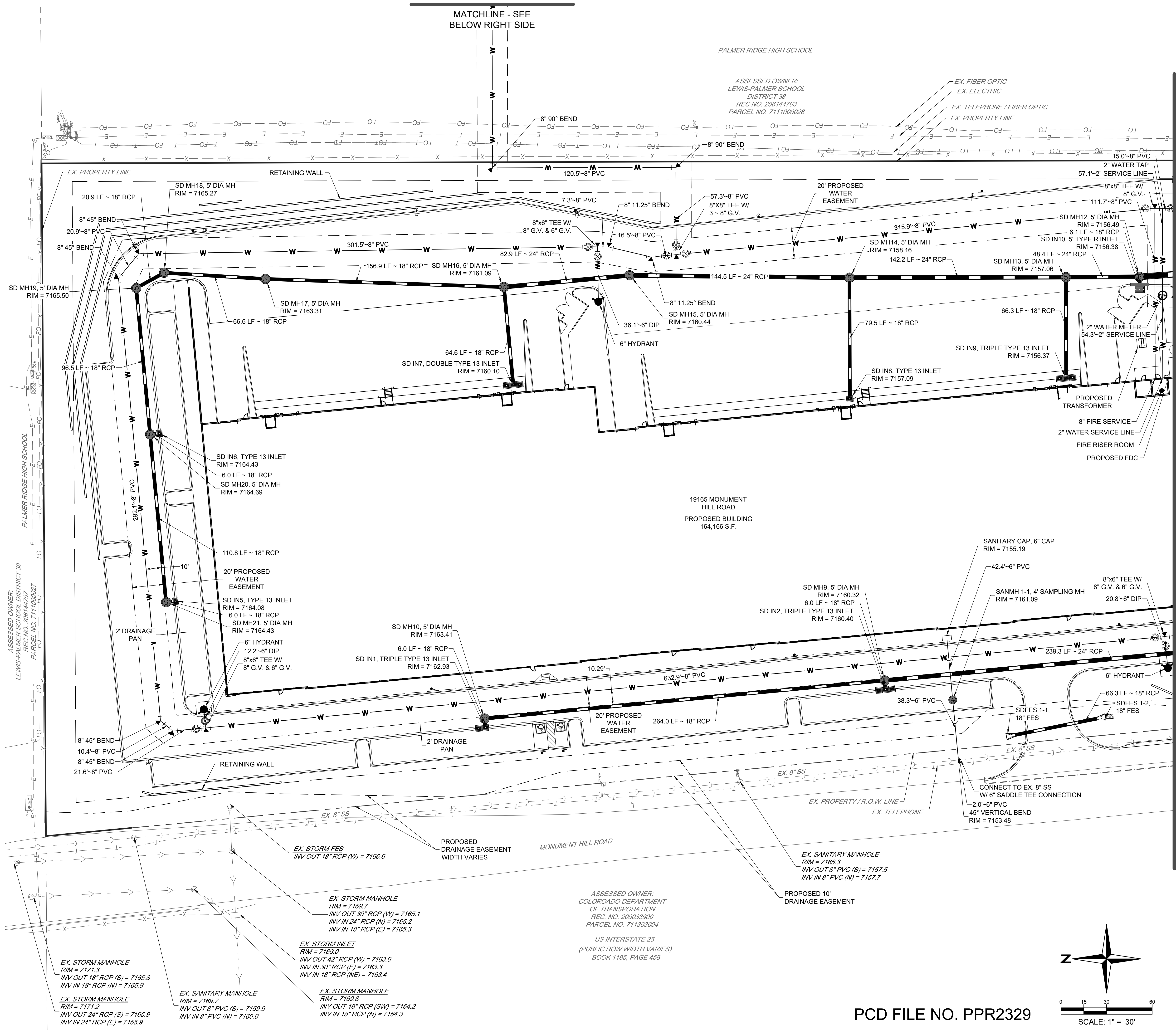
15 Redland
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THE ROCK COMMERCE CENTER
SITE DEVELOPMENT PLAN
 GRADING PLAN

I:\2023\23009 - The Rock Commerce Center\CADD\Sheet Sets\Site Plan\The Rock\23009_Utility Plan.dwg Tab: 11 OF 24 UTILITY PLAN Nov 20, 2023 - 7:24am caslz



PROPOSED LEGEND

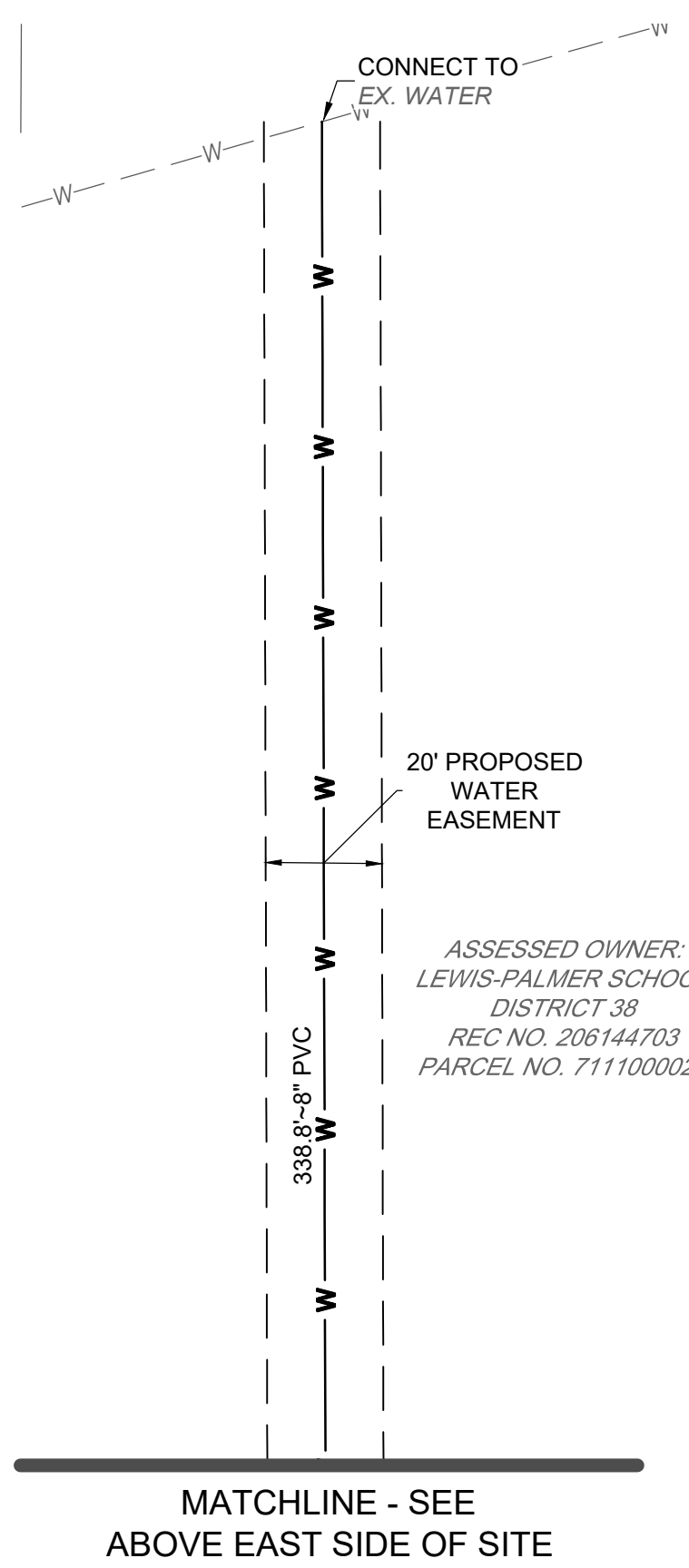
- EASEMENT
- CURB AND GUTTER
- LIMITS OF CONSTRUCTION / SAWCUT
- FIRE HYDRANT
- STORM SEWER
- SANITARY SEWER
- TRENCH DRAIN
- W --- WATER LINE
- IRR --- IRRIGATION LINE
- NP --- NONPOTABLE WATER LINE
- RW --- RAW WATER LINE
- MANHOLE w/ DIA. (FT.)
- INLET
- FLARED END SECTION
- WATER BEND
- WATER CROSS
- WATER TEE
- WATER REDUCER
- WATER VALVE
- PLUG/CAP
- RETAINING WALL

EXISTING LEGEND

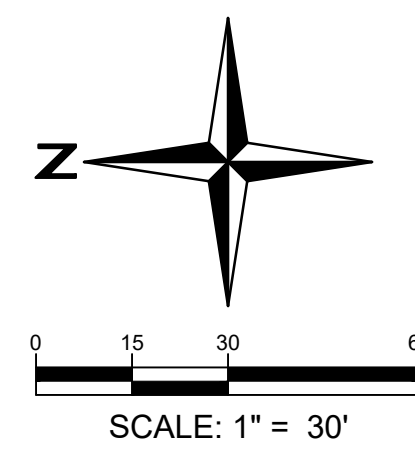
- PROPERTY LINE
- R.O.W.
- LOT LINE
- EASEMENT LINE
- SECTION LINE
- SETBACK
- EDGE OF PAVEMENT
- CURB AND GUTTER
- FENCE
- RETAINING WALL
- WATER LINE
- RW --- RAW WATER LINE
- NP --- NON-POTABLE WATER LINE
- IRR --- IRRIGATION LINE
- SANITARY SEWER
- STORM SEWER
- ELECTRIC LINE
- GAS LINE
- TELEPHONE LINE
- FO --- FIBER OPTICS LINE
- OH --- OVERHEAD ELECTRIC LINE

MATCHLINE - SEE SHEET NO. 8 OF 20

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MATCHLINE - SEE ABOVE EAST SIDE OF SITE



PCD FILE NO. PPR2329

15 Redland
 YEARS WHERE GREAT PLACES BEGIN
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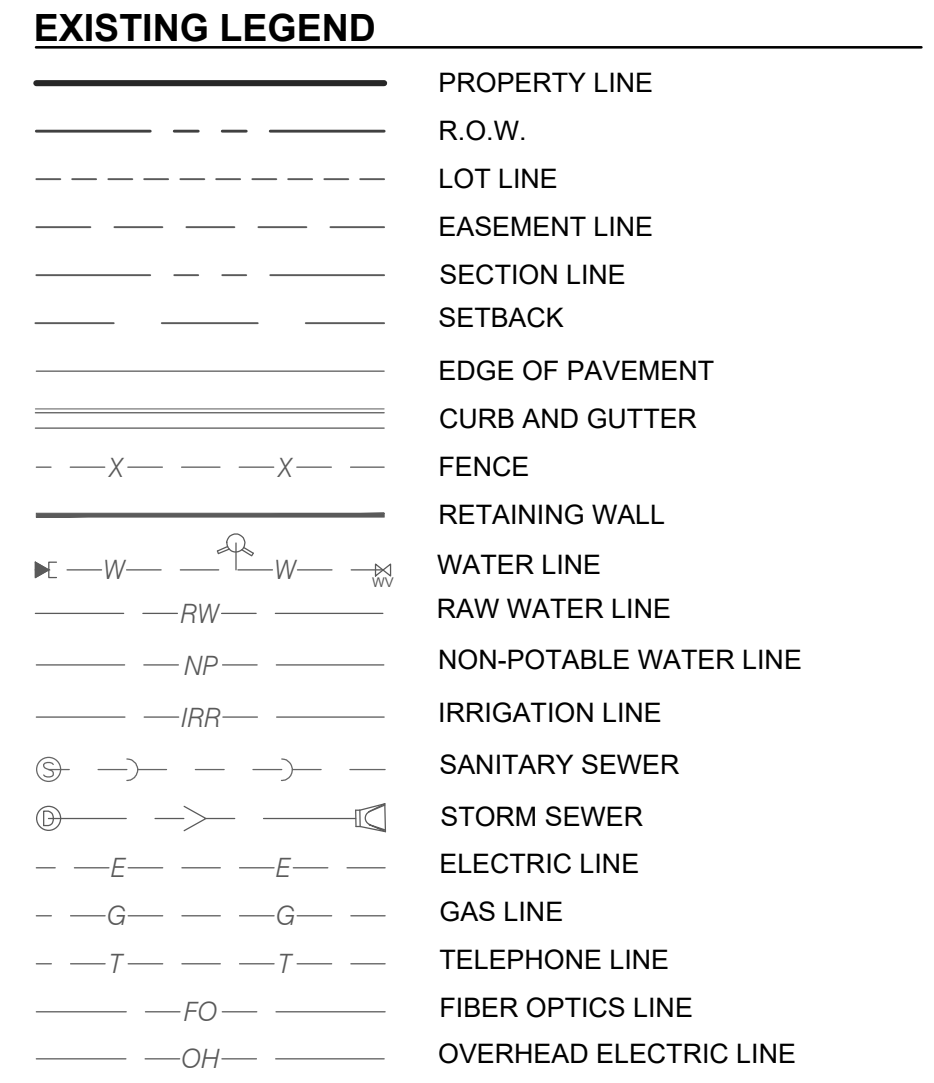
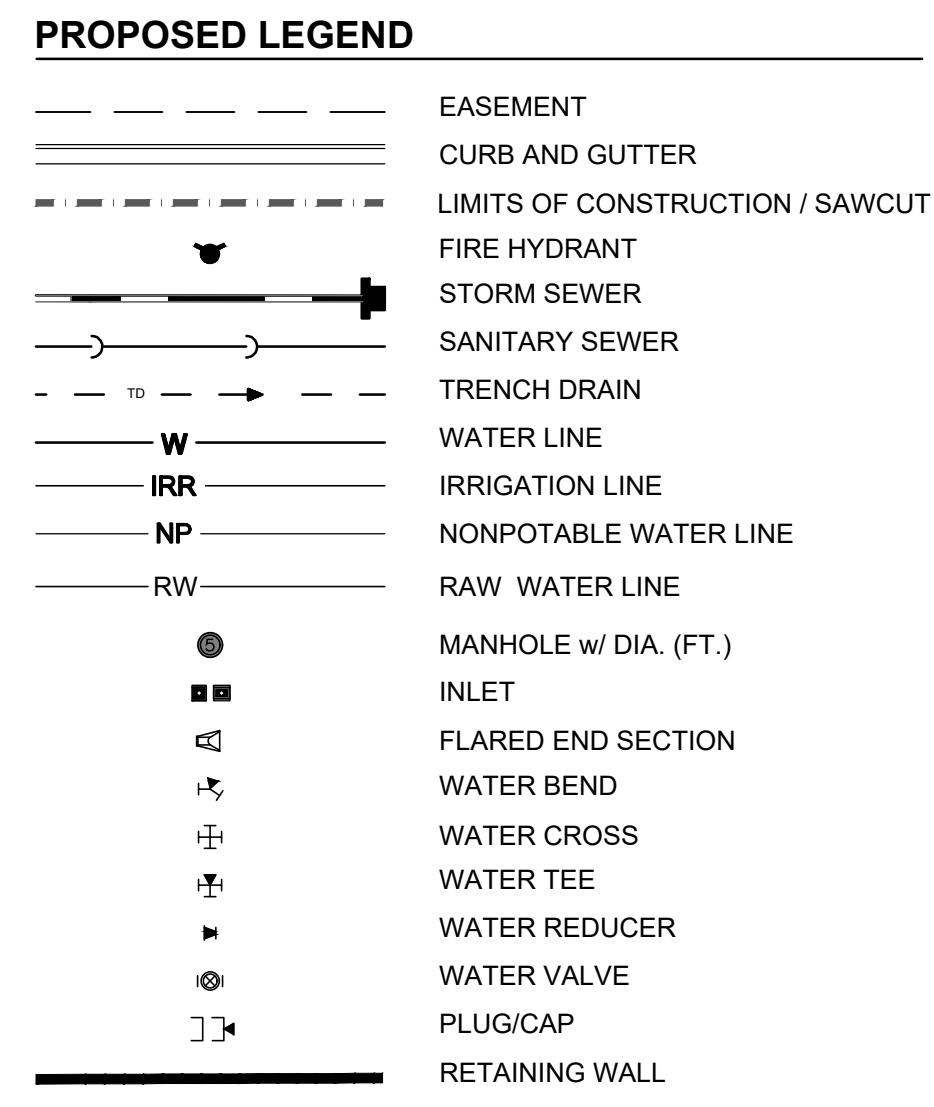
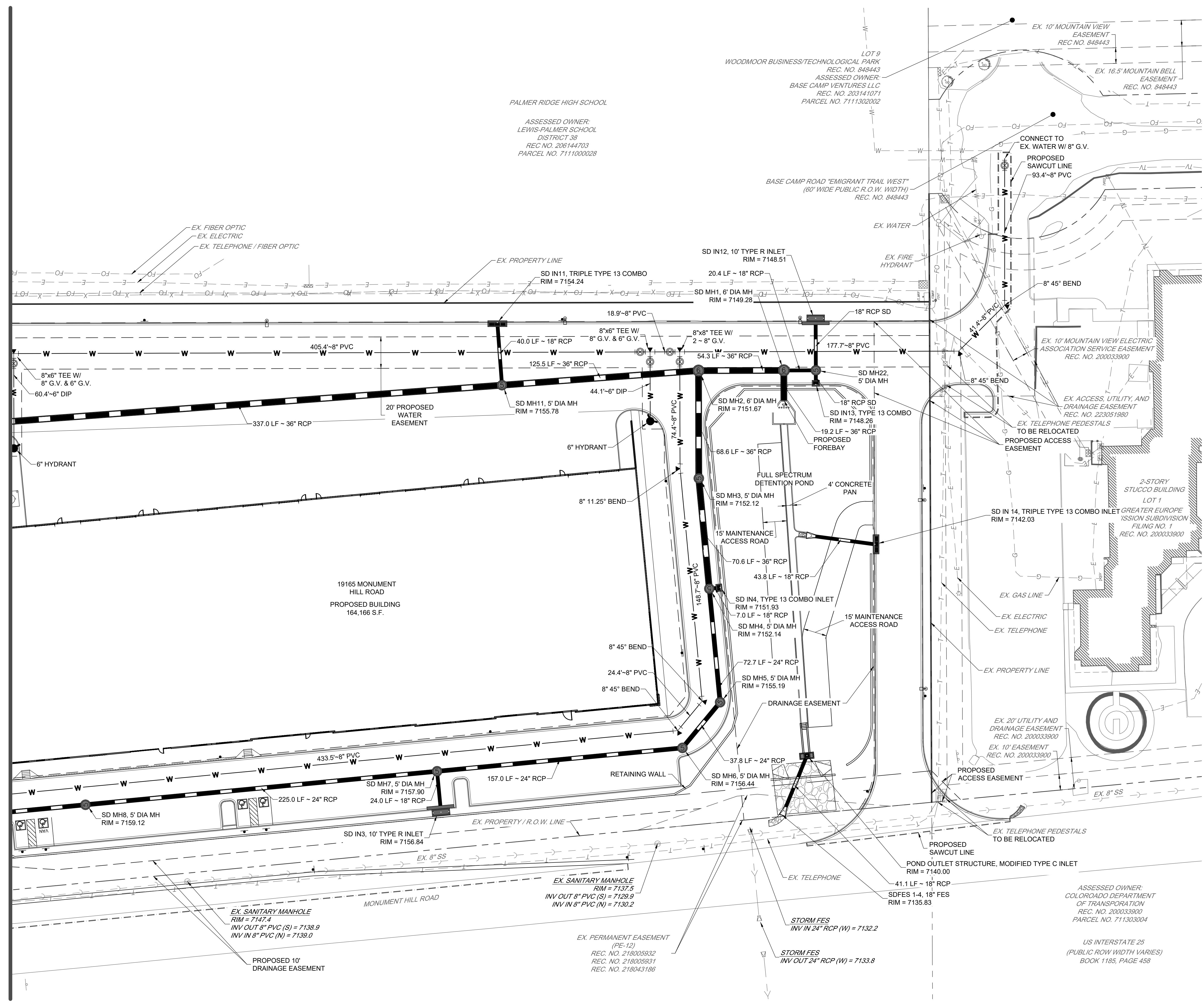
NOT FOR CONSTRUCTION

PROJECT NO.	DATE	NO.	NOTES
23009	09/08/2023	1	1ST SUBMITTAL
	10/20/2023	2	2ND SUBMITTAL
	11/17/2023	3	3RD SUBMITTAL

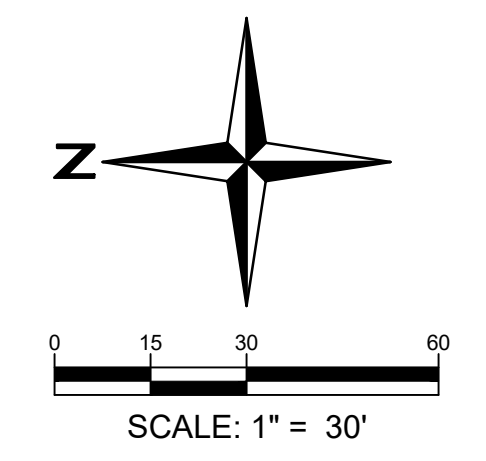
THE ROCK COMMERCE CENTER
SITE DEVELOPMENT PLAN
 UTILITY PLAN

I:\2023\23009 - The Rock Commerce Center\Sheet Sets\Site Plan\The Rock\23009_UTILITY Plan.dwg Tab: 12 OF 24 UTILITY PLAN Nov 20, 2023 - 7:24am csoiz

MATCHLINE - SEE SHEET NO. 7 OF 20



NOTE: THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATION AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OF GUIDELINES ENACTED OF PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.



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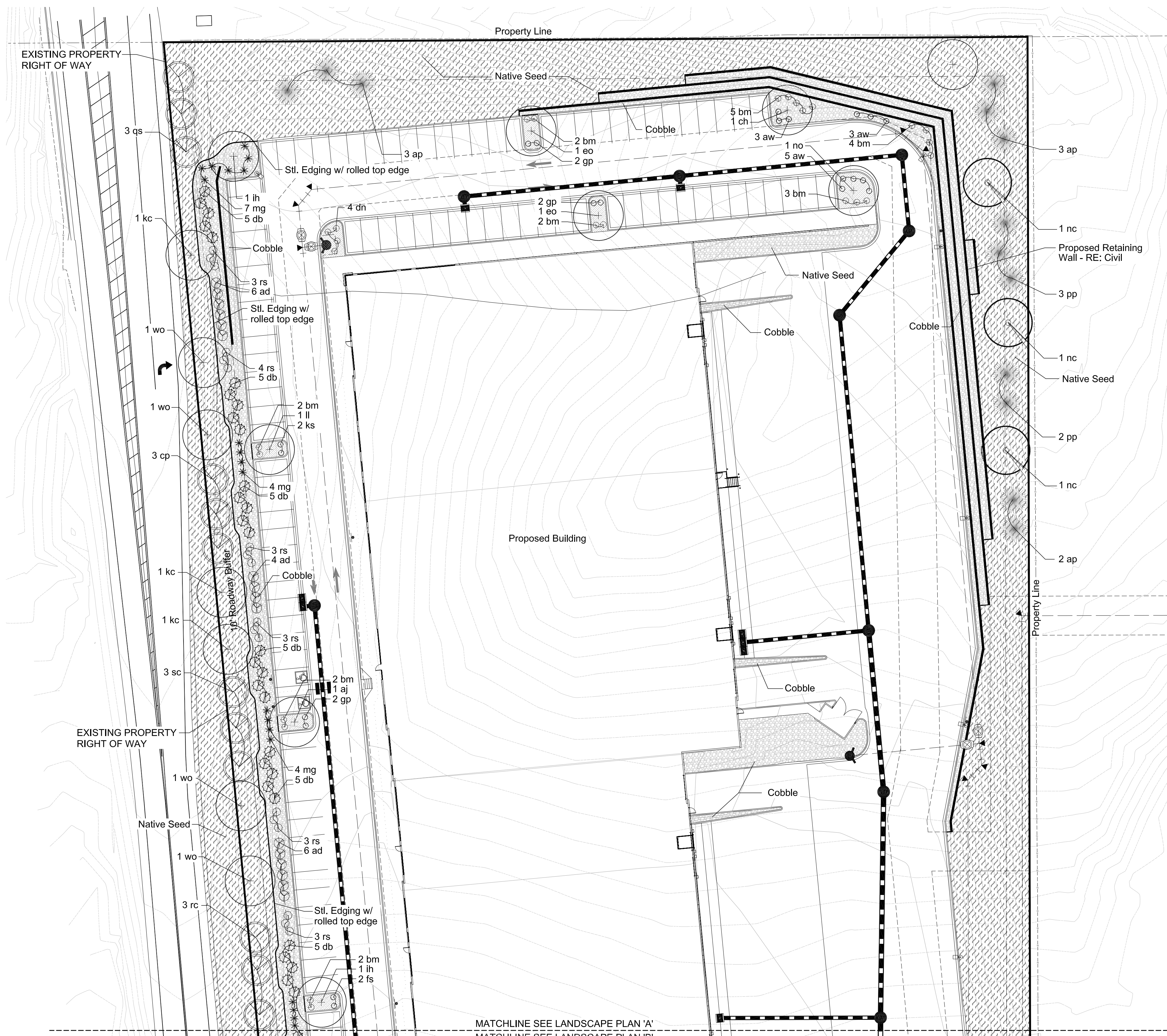
PROJECT NO.	DATE	NO.	NOTES
23009	08/02/2023	1	1ST SUBMITTAL
	10/20/2023	2	2ND SUBMITTAL
	11/17/2023	3	3RD SUBMITTAL

THE ROCK COMMERCE CENTER
SITE DEVELOPMENT PLAN
 UTILITY PLAN

SHEET
 8 OF 20

SITE DEVELOPMENT PLAN THE ROCK COMMERCE CENTER

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO



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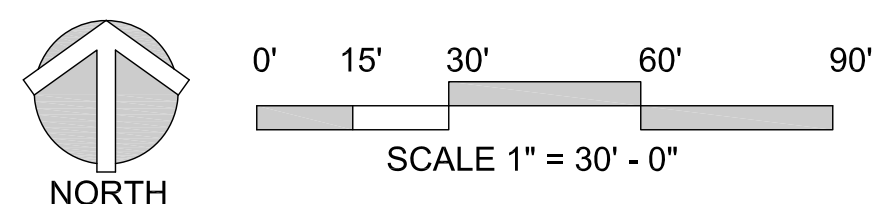
- DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- SHRUB
- ORNAMENTAL GRASS / PERENNIAL

NATIVE SEED MIX NON-IRRIGATED		% OF TOTAL	PLS PER ACRE
COMMON NAME	SCIENTIFIC NAME	TOTAL	ACRE
BLUE GRAMA	BOUTELOUA GRACILIS	25%	1.8 LBS.
SAND DROPSEED	SPOROBOLUS CRYPTANDRUS	20%	0.20 LBS.
SIDEOATS GRAMA	BOUTELOUA CURTIPENDULA	20%	6.3 LBS.
WESTERN WHEATGRASS	PASCOPYRUM SMITHII	15%	8.2 LBS.
BUFFALO GRASS	BOUTELOUA DACTYLOIDES	10%	10.7 LBS.
INLAND SALTGRASS	DISTICHLIS SPICATA	1%	0.60 LBS.
PASTURE SAGE	ARTEMISIA FRIGIDA	1%	0.01 LBS.
BLANKET FLOWER	GAILLARDIA ARTISTATA	1%	0.5 LBS.
PRAIRIE CONEFLOWER	RATIBIDA COLUMNIFERA	1%	0.1 LBS.
PURPLE PRAIRIECLOVER	DALEA PURPUREA	1%	0.3 LBS.
BLUE FLAX	LINUM LEWISII	1%	0.4 LBS.

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GREEN NEEDLEGRASS	NASELLA VIRIDULA	10%	3.3 LBS.

- 4"-8" ROUND COBBLE OVER FILTER FABRIC
- SHREDDED CEDAR MULCH
- STEEL EDGING w/ ROLLED TOP EDGE
- RETAINING WALL - RE: CIVIL

LANDSCAPE PLAN 'A'



STACKlot
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LITTLETON, COLORADO 80120
phone. 303.808.4523

PCD FILE NO: PPR2329

REVISIONS	DATE	DESCRIPTION
BY	10/23/23	RESUBMITTAL
	11/16/23	RESUBMITTAL

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CHECKED: jah
DESIGNED: sdw
FILENAME:

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER
LANDSCAPE PLAN 'A'

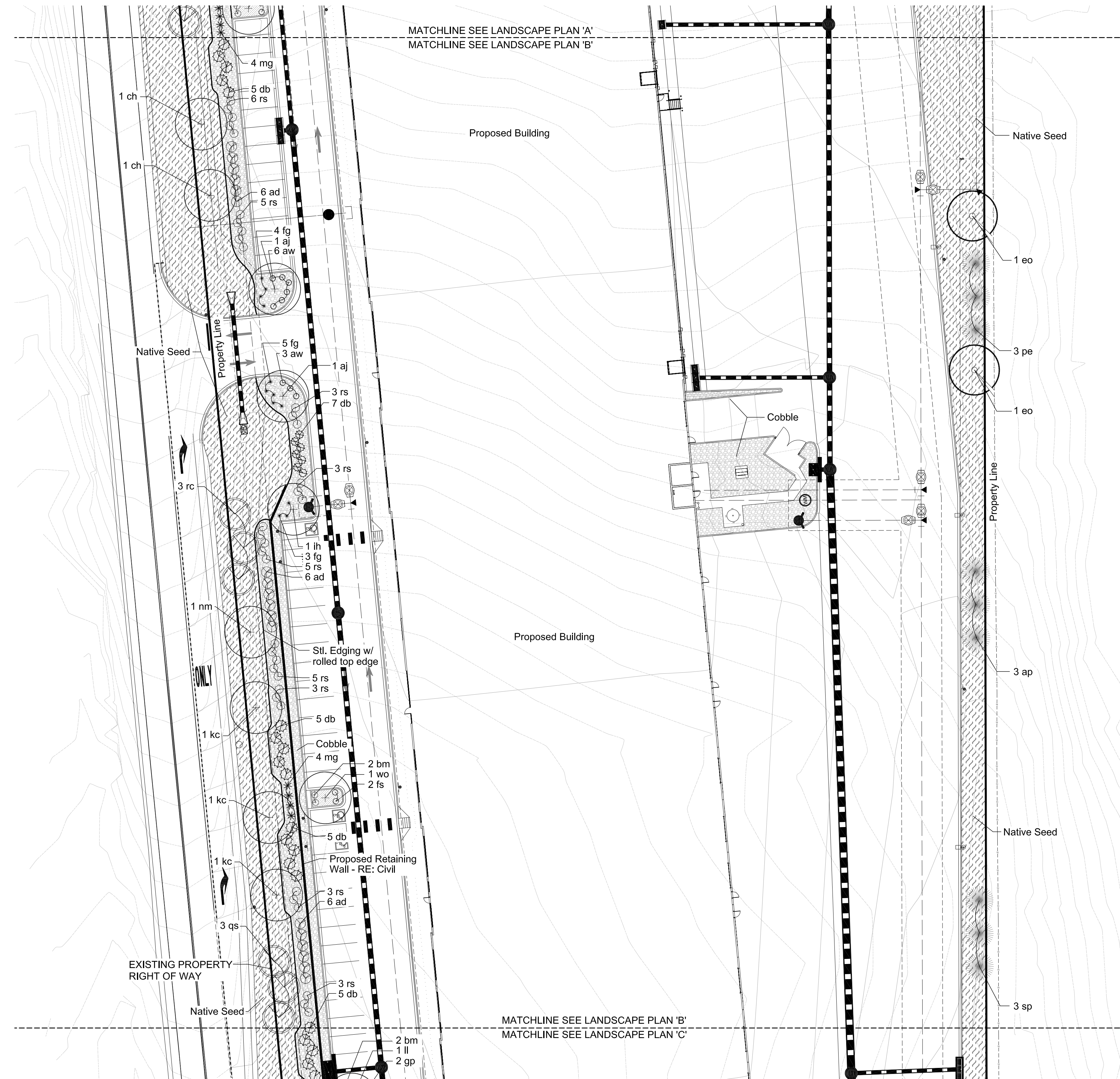


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SHEETS	20
SHEET	9

SITE DEVELOPMENT PLAN THE ROCK COMMERCE CENTER

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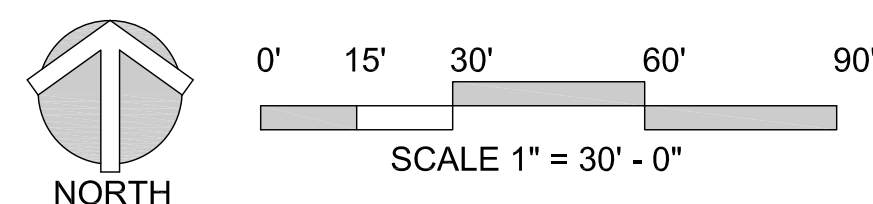
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THE ROCK COMMERCE CENTER
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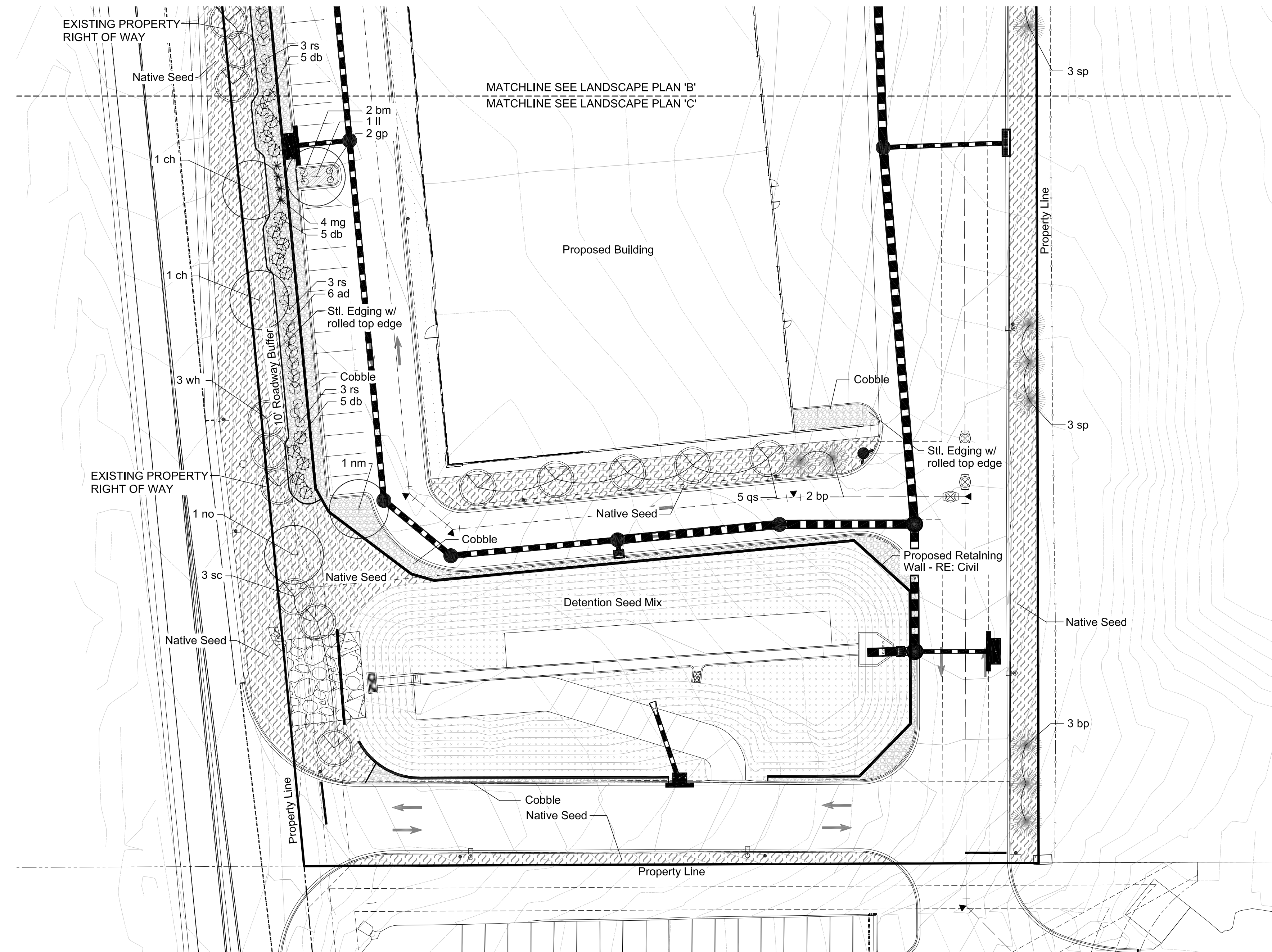


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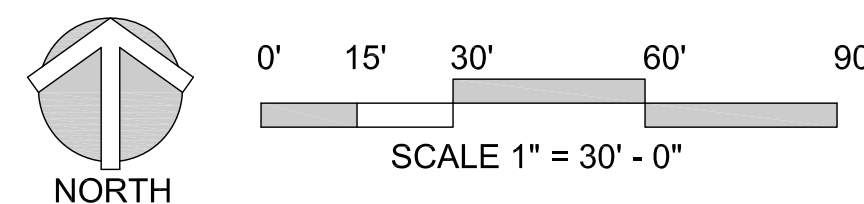
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	11/16/23	RESUBMITTAL

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CHECKED: jah
DESIGNED: sdw
FILENAME:

SITE DEVELOPMENT PLAN
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LANDSCAPE PLAN 'C'



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SHEET	11

SITE DEVELOPMENT PLAN THE ROCK COMMERCE CENTER

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO

GENERAL PLANTING NOTES:

- PRIOR TO BEGINNING ANY WORK ON THE SITE THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OFFICE OF THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AND MATERIALS AS SPECIFIED HEREIN AND AS SHOWN ON PLANS.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECTS APPROVAL IN WRITING. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT MATERIAL LIST AS DEEMED NECESSARY.
- ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFY ALL QUANTITIES ON THE PLANTING PLAN(S).
- LANDSCAPE CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCEMENT OF WORK. VERIFY EXACT LOCATION OF ALL UTILITIES BY CONTACTING APPROPRIATE UTILITY COMPANIES. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR / REPLACEMENT FOR ANY DAMAGE CAUSED TO UTILITIES.
- FINISH GRADE SHALL BE ADJUSTED FOR TURF THICKNESS.
- ALL PLANT MATERIALS SHALL HAVE BACKFILL, CAREFULLY PLACED AROUND BASE AND IDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS, TOP ONE-THIRD (1/3) OF BURLAP AND LOOSE BURLAP SHALL BE REMOVED AT THIS TIME THE REMAINDER OF HE PIT SHALL THEN BE BACKFILLED, ALLOWING FOR THE DEPTH OF THE MULCH SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
- AFTER PLANTING IS COMPLETED REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL GROWING HABIT OR SHAPE OF THE PLANT. MAKE ALL CUTS FLUSH, LEAVING NO STUBS. CENTRAL LEADERS SHALL NOT BE REMOVED. IF THE CENTRAL LEADER OF A PLANT IS DEAD THE PLANT SHALL BE REPLACED.
- PLANT SPECIFIED GROUND COVERS WITHIN ONE FOOT OF TRUCK OF TREES AND SHRUBS PLANTED WITHIN THE AREA. PLANTING ARRANGEMENTS SHALL BE TRIANGULAR WITH PROPER SPACING BETWEEN PLANTS.
- COMMERCIAL GRADE 3/8 INCH BY 4" POWDER COATED STEEL EDGING SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. PLACE EDGING FLUSH WITH GRADE AND STAKE TO GROUND PER MANUFACTURES RECOMMENDATIONS.
- LANDSCAPE CONTRACTOR TO PROVIDE THE LANDSCAPE CONTRACTOR A SAMPLE OF PROPOSED STEEL EDGING FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- USE SHREDDED CEDAR MULCH IN ALL PLANTING BEDS AND TREE SAUCERS. LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 CUBIC FOOT SAMPLE OF PROPOSED MULCH TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- PLACE FOUR INCHES OF MULCH IN ALL SHRUB BEDS, PLACE FOUR INCHES OF MULCH IN ALL GROUND COVER, PERENNIAL BEDS AND PLACE 4 INCHES OF MULCH AT ALL TREE SAUCERS.
- PLANTING BEDS RECEIVING MULCH MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. DO NOT APPLY HERBICIDE IN PERENNIAL OR ANNUAL BEDS.
- LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER SUBSTANTIAL COMPLETION IS GRANTED ON THE COMPLETE PROJECT.
- REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN UNDERGROUND AUTOMATIC UNDERGROUD IRRIGATION SYSTEM. WITH SEPARATE ZONES FOR TURF AND SHRUBS / TREES / GROUNDCOVER.
- IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPE/SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF, MADE PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

SOIL ANALYSIS CONTRACTOR REQUIREMENT

"THE REQUIRED SOIL ANALYSIS REPORT IS REQUIRED TO BE SUBMITTED AND APPROVED WITH THE IRRIGATION PLAN SUBMITTAL AND BEFORE ANY LANDSCAPE CONSTRUCTION. THIS WOULD INCLUDE COMPLETING THE SOIL SAMPLING AND SUBMITTING THE SAMPLES TO A SOILS LAB FOR TESTING. A SEPARATE LAB TEST REPORT AND SOIL PREPARATION RECOMMENDATIONS (AMENDMENT/FERTILIZER AMOUNTS AND APPLICATION RATES) FOR EACH TYPE OF PROPOSED LANDSCAPING (SHRUB BEDS/SOD/NATIVE SEED) WILL NEED TO BE PROVIDED TO CITY STAFF FOR REVIEW AND APPROVAL."

SOIL AMENDMENTS

PRIOR TO PLANTING, ALL SITES FOR PLANTINGS SHALL INCORPORATE SOIL AMENDMENTS AT A RATE OF 3 CUBIC YARDS PER 1000 SQUARE FEET TO A MINIMUM DEPTH OF 6". A LESSER AMOUNT SHALL BE ALLOWED IF A SOIL TEST SHOWS THAT 3 CUBIC YARDS PER 1000 SQUARE FEET IS NOT NECESSARY FOR WATER RETENTION AND DEEP ROOTING OF PLANT MATERIALS. IF THE SPECIFIED PLANT MATERIAL REQUIRES LESS FERTILE SOIL, THOSE AREAS MAY HAVE LESS SOIL AMENDMENTS INSTALLED IF APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR. THESE AREAS SHALL BE IDENTIFIED ON THE LANDSCAPE PLAN. EXISTING TOPSOIL SHALL BE SALVAGED AND STOCKPILED FOR USE AS SOIL AMENDMENTS OR TOPSOIL. NO TOPSOIL SHALL BE REMOVED FROM THE SITE UNLESS THE CITY APPROVES THE TRANSFER OF TOPSOIL TO A CITY-OWNED PARK OR OPEN SPACE AREA. A NOTE SHALL BE PLACED ON THE LANDSCAPE PLAN REFLECTING THE ABOVE REQUIREMENTS REGARDING SOIL AMENDMENTS AND TOPSOIL. EXAMPLES OF ACCEPTABLE SOIL AMENDMENTS INCLUDE COMPOST AND AGED MANURE. MOUNTAIN PEAT AND INORGANIC MATERIALS SUCH AS SAND, GYPSUM AND LIME ARE PROHIBITED SOIL AMENDMENTS. ALL SITES ARE SUBJECT TO INSPECTION BY THE CITY FOR COMPLIANCE WITH SOIL AMENDMENT REQUIREMENTS.

PLANT MATERIAL SCHEDULE:

SYMBOL	QTY.	I.D.	COMMON NAME	BOTANICAL NAME	SIZE	COND.
SHADE TREES						
	2	nm	NORWAY MAPLE	ACER PLATANOIDES	1 1/2" CAL.	B & B
	3	aj	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'JEFFERSRED'	1 1/2" CAL.	B & B
	5	ch	COMMON HACKBERRY	CELTIS OCCIDENTALIS	1 1/2" CAL.	B & B
	3	ih	IMPERIAL HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL'	1 1/2" CAL.	B & B
	6	kc	KENTUCKY COFFEE TREE	GYMNOCLADUS DIOICUS	1 1/2" CAL.	B & B
	3	nc	NARROWLEAF COTTONWOOD	NARROWLEAF COTTONWOOD	1 1/2" CAL.	B & B
	5	wo	SWAMP WHITE OAK	QUERCUS BICOLOR	1 1/2" CAL.	B & B
	2	no	NORTHERN RED OAK	QUERCUS RUBRA	1 1/2" CAL.	B & B
	2	ll	LITTLELEAF LINDEN	TILIA CORDATA	1 1/2" CAL.	B & B
	4	eo	ENGLISH OAK	QUERCUS ROBUR	1 1/2" CAL.	B & B
ORNAMENTAL TREES						
	3	wh	WASHINGTON HAWTHORN	CRATAEGUS PHAENOPYRUM	1" CAL.	B & B
	6	rc	RADIANT CRABAPPLE	MALAU 'RADIANT'	1" CAL.	B & B
	6	sc	SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW'	1" CAL.	B & B
	3	cp	CHANTICLEER PEAR	PYRUS CALLERYANA	1" CAL.	B & B
	11	qs	CRIMSON SPIRE OAK	QUERCUS X BIMUNDORUM 'CRIMSCHMIDT'	1" CAL.	B & B
EVERGREEN TREES						
	3	pe	PINON PINE	PINUS EDULIS	6' HT.	B & B
	11	ap	AUSTRIAN PINE	PINUS NIGRA	6' HT.	B & B
	5	pp	PONDEROSA PINE	PINUS PONDEROSA	6' HT.	B & B
	6	sp	SOUTHWESTERN WHITE PINE	PINUS STROBIFORMIS	6' HT.	B & B
	5	bp	BOSNIA PINE	PINUS HELDREICHII	6' HT.	B & B
SHRUBS						
	2	ks	DARK KNIGHT SPIREA	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	5 GAL.	CONT.
	20	aw	ANOTHONY WATERER SPIREA	SPIREA JAPONICA 'ANTHONY WATER'	5 GAL.	CONT.
	4	fs	GOLD FLAME SPIREA	SPIREA JAPONICA 'GOLDFLAME'	5 GAL.	CONT.
	8	gp	GOLD DROP POTENTILLA	POTENTILLA FRUITICOSA 'GOLD DROP'	5 GAL.	CONT.
	26	bm	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS	5 GAL.	CONT.
	67	db	DWARF BURNING BUSH	EOUNYMUS ALATA 'DWARF NANA'	5 GAL.	CONT.
	61	rs	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL.	CONT.
	40	ad	ARCTIC FIRE DOGWOOD	CORNUS STOLONIFERA 'FARROW'	5 GAL.	CONT.
	4	dn	DWARF NINEBARK	PHYSOCARPUS 'OPULIFOLIUS 'NANUS'	5 GAL.	CONT.
	ORNAMENTAL GRASSES					
	27	mg	MAIDEN GRASS	MISCANTHUS SINENSIS 'GRACILLIMUS'	1 GAL.	CONT.
	12	fg	MEXICAN FEATHER GRASS	NESSELLA TENUISSIMA	1 GAL.	CONT.

Roadway Buffer

MONUMENT HILL ROAD NON-ARTERIAL	REQUIRED ROADWAY BUFFER	PROVIDED ROADWAY BUFFER	REQUIRED TREES 1 TREE / 30 LN.FT.	PROVIDED TREES
1,175 LN.FT.	10 FEET	10 FEET	40	40

Internal Landscaping

SITE AREA	INTERNAL LANDSCAPE AREA REQUIRED - (5%)	INTERNAL LANDSCAPE AREA PROVIDED	REQUIRED TREES 1 TREE / 500 SF	PROVIDED TREES
505,679 SF.	25,284 SF.	115,434 SF.	51	54



5639 SOUTH CURTICE STREET
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	10/23/23	RESUBMITTAL
	11/16/23	RESUBMITTAL

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SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER
LANDSCAPE NOTES



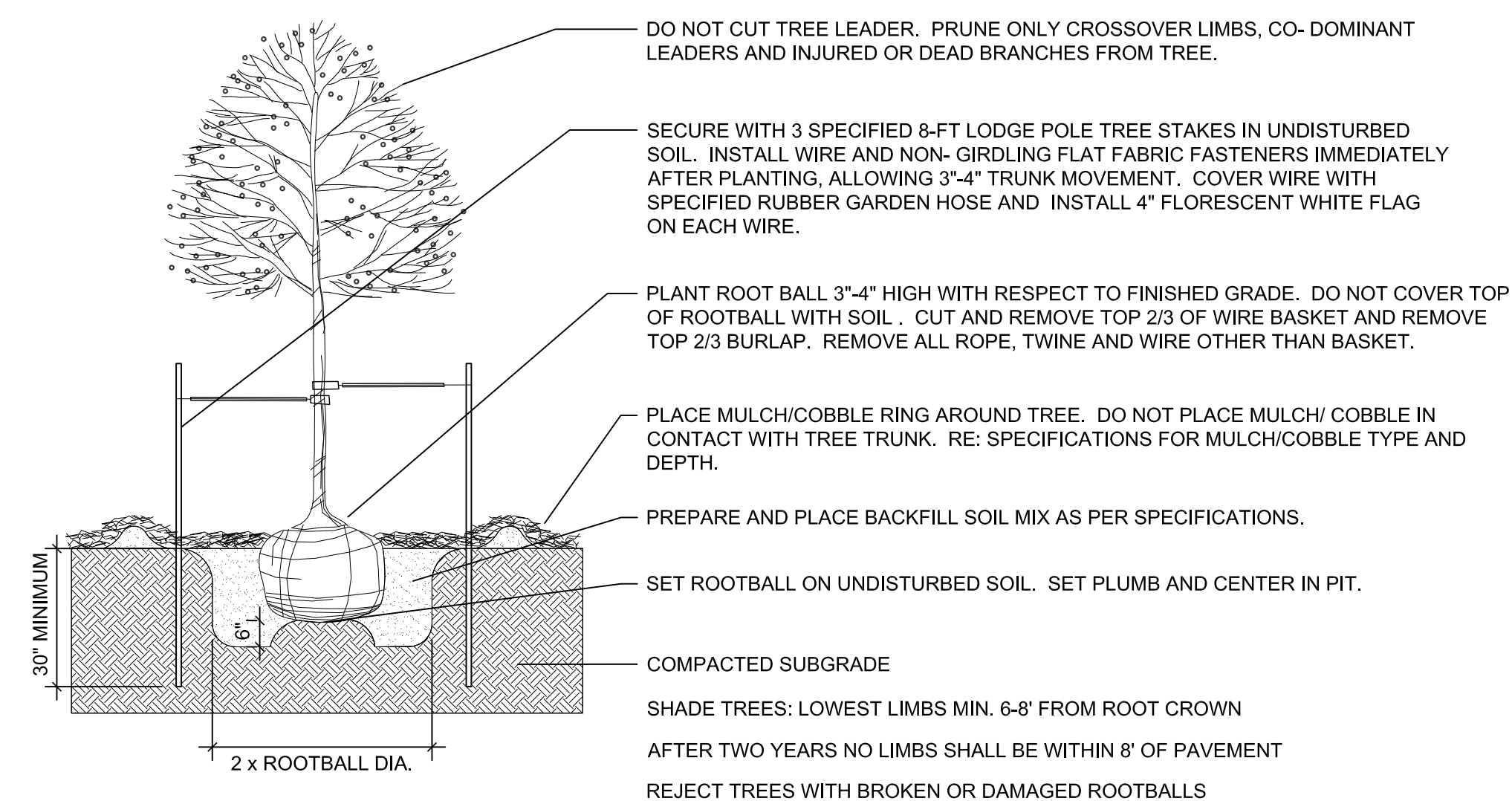
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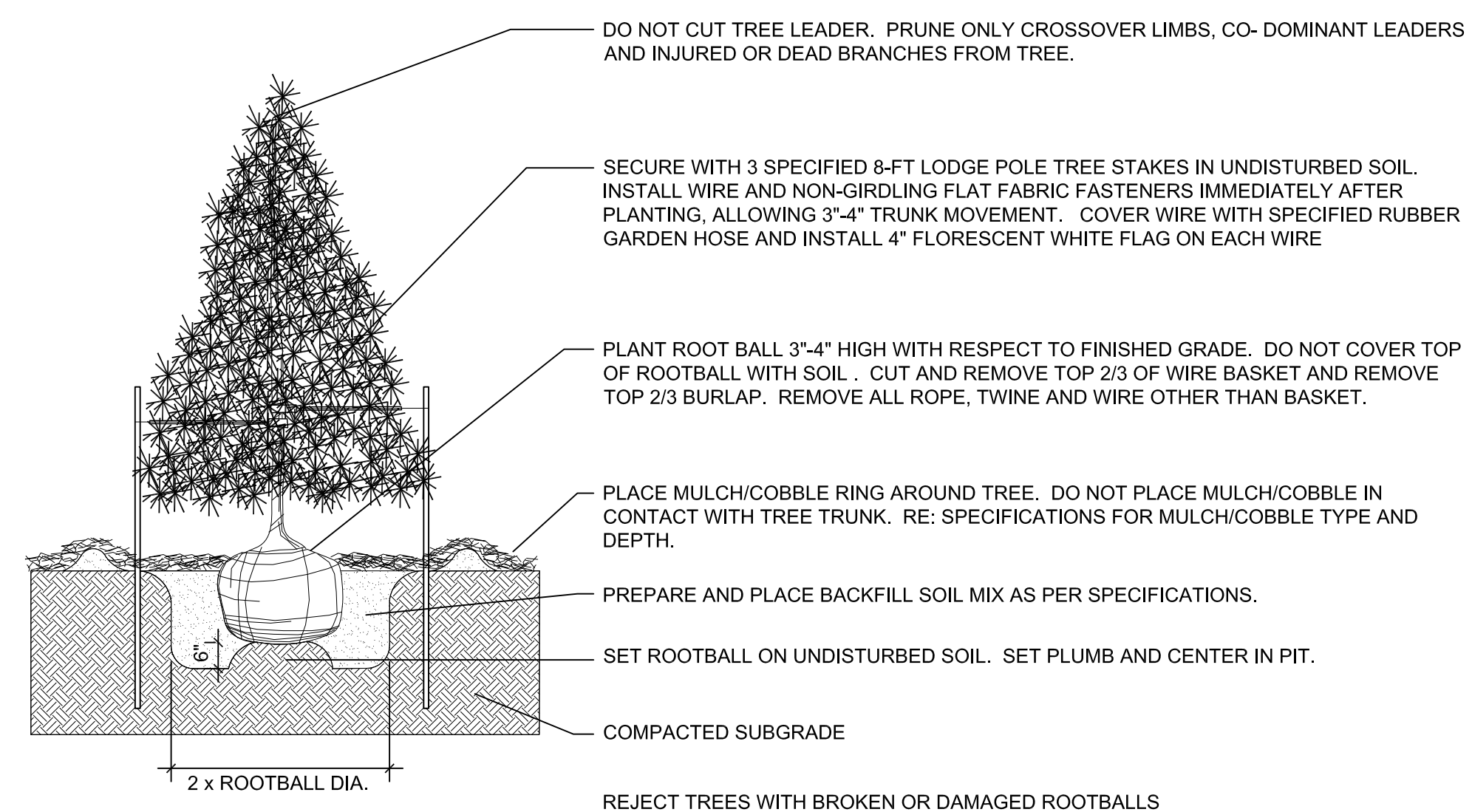
SITE DEVELOPMENT PLAN

THE ROCK COMMERCE CENTER

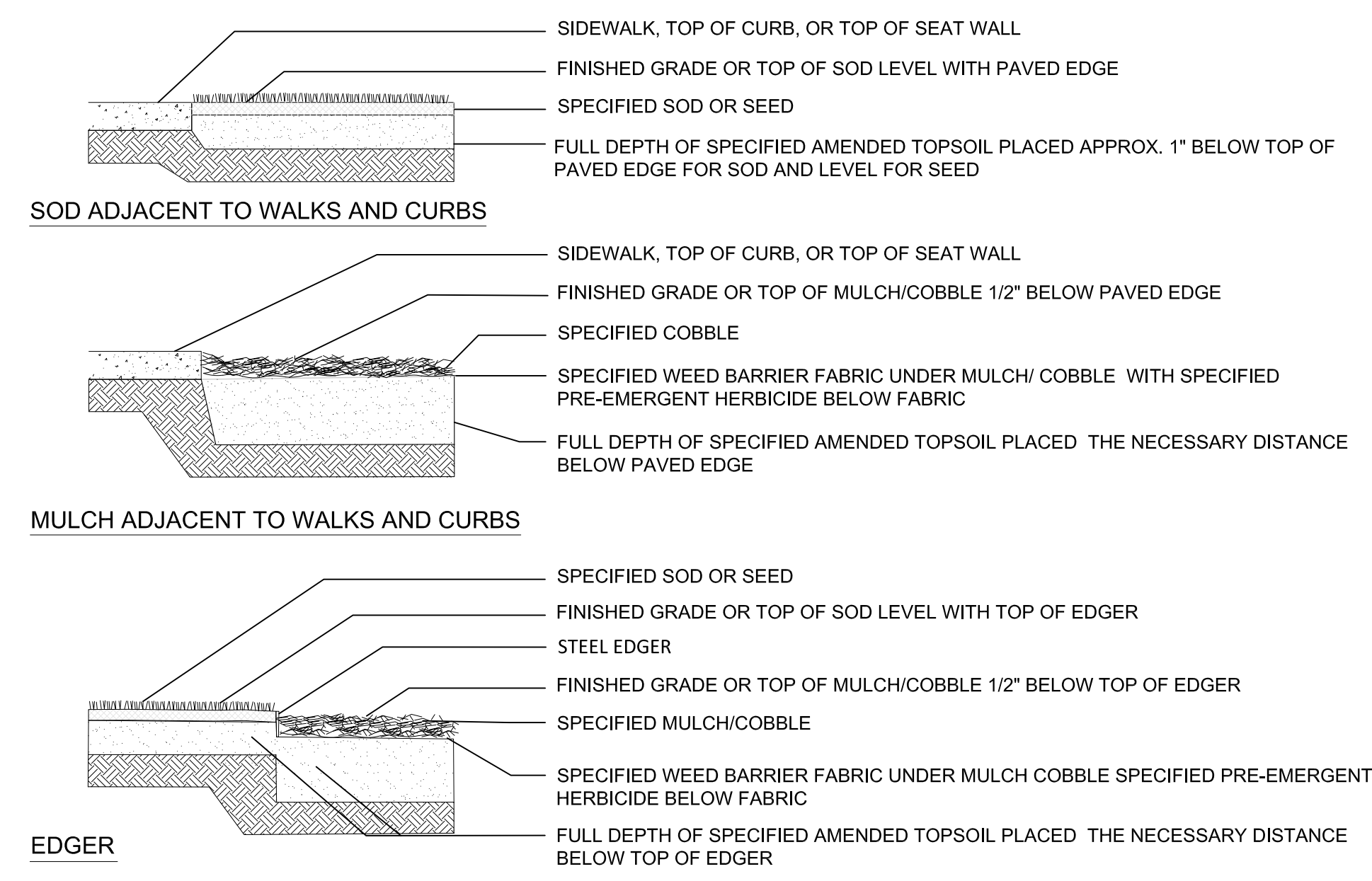
A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO



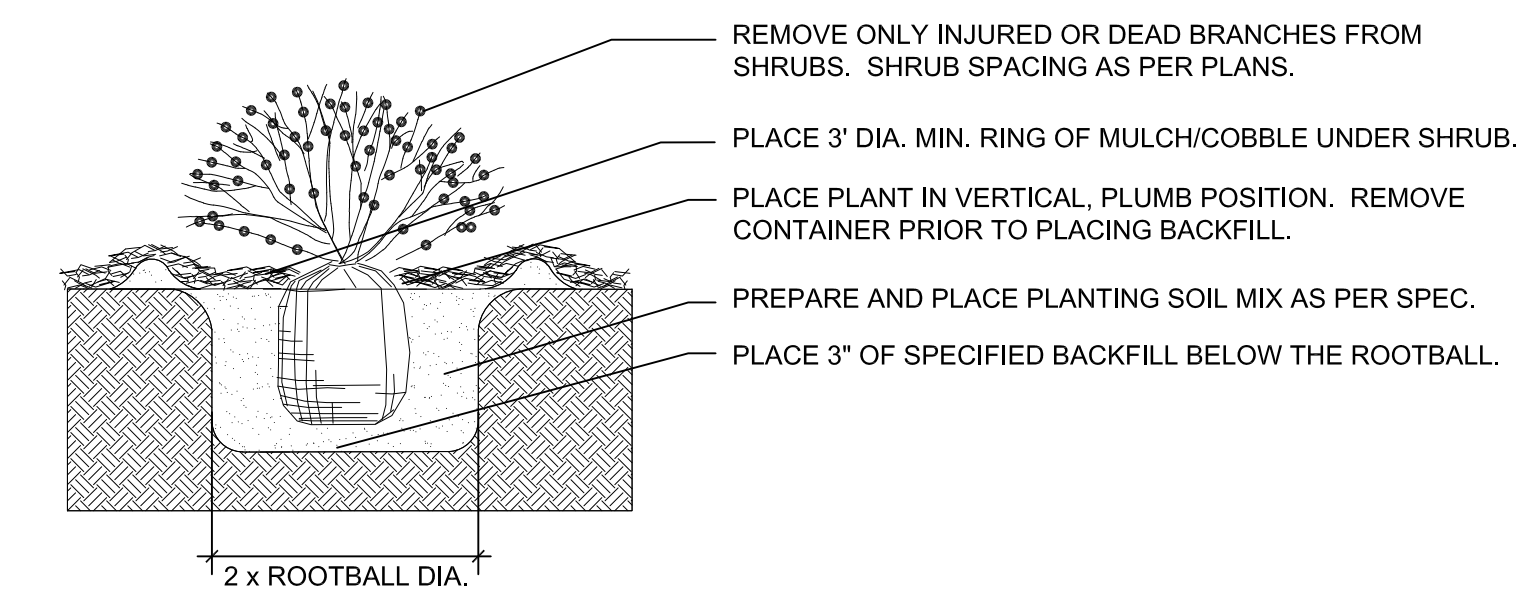
1 DECIDUOUS TREE
NOT TO SCALE



2 EVERGREEN TREE PLANTING
NOT TO SCALE



3 EDGE TREATMENT
NOT TO SCALE



4 SHRUB PLANTING
NOT TO SCALE

REVISIONS	DATE	DESCRIPTION
	10/23/23	RESUBMITTAL
	11/16/23	RESUBMITTAL

DRAWN: sdw
CHECKED: jah
DESIGNED: sdw
FILENAME:

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER
LANDSCAPE DETAILS



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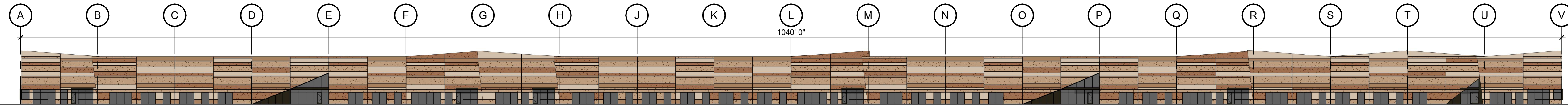
STACKlot
5639 SOUTH CURTICE STREET
LITTLETON, COLORADO 80120
phone. 303.808.4523

PCD FILE NO: PPR2329

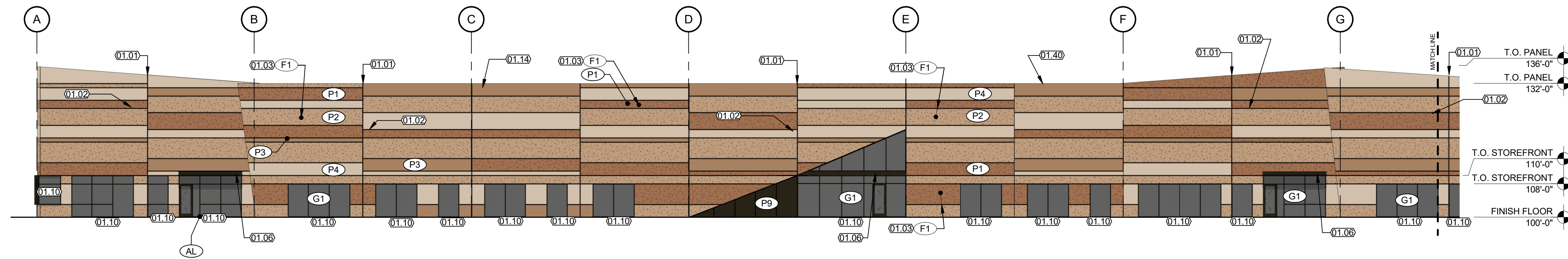
JOB NO.	XX-XXXX
SCALE	AS SHOWN
DATE	07/28/2023
SHEETS	20
SHEET	13

SITE DEVELOPMENT PLAN THE ROCK COMMERCE CENTER

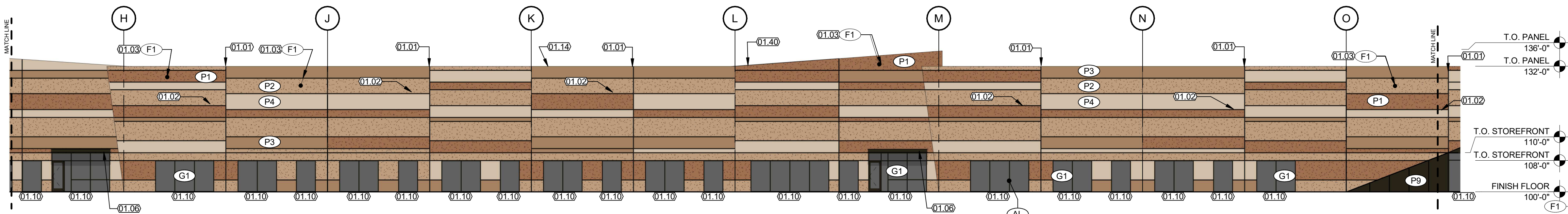
A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO



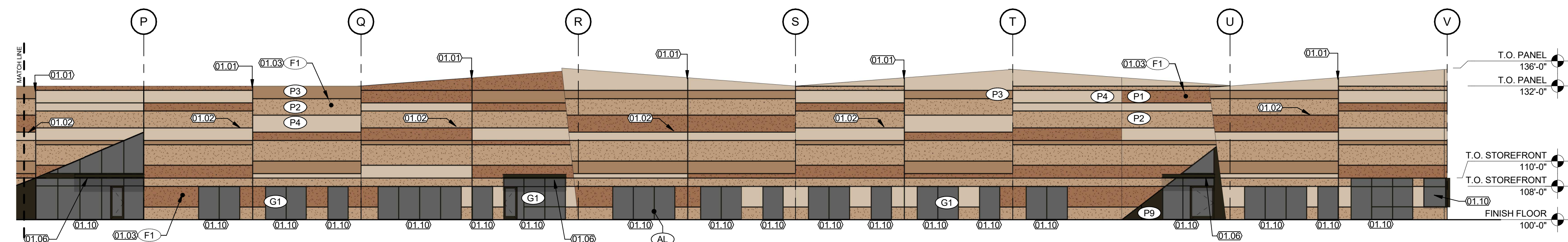
1 OVERALL WEST ELEVATION
SCALE: 1" = 40'-0"



2 ENLARGED WEST ELEVATION - NORTH
SCALE: 1/16" = 1'-0"



3 ENLARGED WEST ELEVATION - MID
SCALE: 1/16" = 1'-0"



4 ENLARGED WEST ELEVATION - SOUTH
SCALE: 1/16" = 1'-0"

KEYNOTES:

- 01.01 CONCRETE PANEL JOINT WITH 3/4" CHAMFERED EDGES, BACKER ROD & SEALANT FULL LENGTH.
- 01.02 3/4" x 2 1/4" REVEAL, PAINTED.
- 01.03 US FORMLINER 2/156 STEINWALD.
- 01.06 STEEL CHANNEL ENTRY CANOPY TO ATTACH TO CONC. TILT-UP WALL WITH T.S. SUPPORTS, PAINTED.
- 01.10 INSULATED TINTED GLAZING IN ANODIZED ALUMINUM STOREFRONT SYSTEM. SEE FINISH LEGEND.
- 01.14 SITE CAST TILT-UP CONCRETE PANEL, PAINTED WITH MEDIUM TEXTURED PAINT. SEE EXTERIOR FINISH LEGEND FOR SPECIFIC COLORS.
- 01.40 PREFINISHED METAL CAP FLASHING, TYP @ ALL CONCRETE PANELS.

EXTERIOR FINISH LEGEND

KEY	DESCRIPTION	IMAGE	MANUFACTURER	REMARKS / COMMENTS
P1	EXTERIOR PAINT		GLIDDEN #50YR 18/223 "SOFT COPPER"	MEDIUM TEXTURE @ CONC. PANEL
F1	CONCRETE TILT UP ACCENT		US FORMLINER	2/156 STEINWALD ROCK PATTERN
P2	EXTERIOR PAINT		GLIDDEN #10YY 41/175 "HIGHLAND PLAINS"	MEDIUM TEXTURE @ CONC. PANEL
P3	EXTERIOR PAINT		GLIDDEN #20YY 33/145 "DEACON'S BENCH"	MEDIUM TEXTURE @ CONC. PANEL
P4	EXTERIOR PAINT		GLIDDEN #20YY 51/098 "LEGEND TAN"	MEDIUM TEXTURE @ CONC. PANEL
P5	EXTERIOR PAINT		GLIDDEN #30YY 46/036 "ZEPELIN"	MEDIUM TEXTURE @ CONC. PANEL
F2	CONCRETE TILT UP ACCENT		US FORMLINER	2/75 KOCHER - HORIZONTAL
P6	EXTERIOR PAINT		GLIDDEN #30YY 33/047 "OLD MONTEREY"	MEDIUM TEXTURE @ CONC. PANEL
P7	EXTERIOR PAINT		GLIDDEN #30YY 20/029 "MANSARD STONE"	MEDIUM TEXTURE @ CONC. PANEL
P8	EXTERIOR PAINT		GLIDDEN #30YY 10/038 "FOREST BLACK"	MEDIUM TEXTURE @ CONC. PANEL
P9	EXTERIOR PAINT		GLIDDEN #30YY 05/044 "THE DARK SIDE"	MEDIUM TEXTURE @ CONC. PANEL
G1	GLAZING		VITRO GLASS - SOLARGRAY	
AL	STOREFRONT FRAME		DARK BRONZE	

REVISIONS	DATE	DESCRIPTION
	10/20/2023	RESUBMITTAL
	11/16/2023	RESUBMITTAL

DRAWN	CBW
CHECKED	BS
DESIGNED	KS
FILENAME	BS11530

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER
EXTERIOR ELEVATIONS



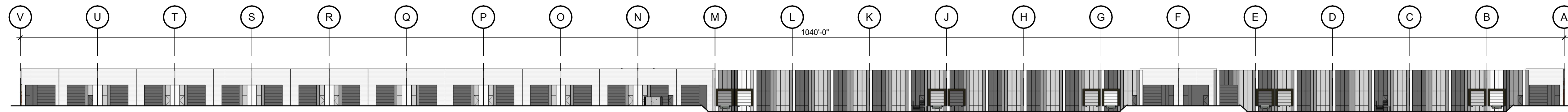
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JOB NO.	BS11530
SCALE	AS SHOWN
DATE	07/28/2023
SHEETS	20
SHEET	14

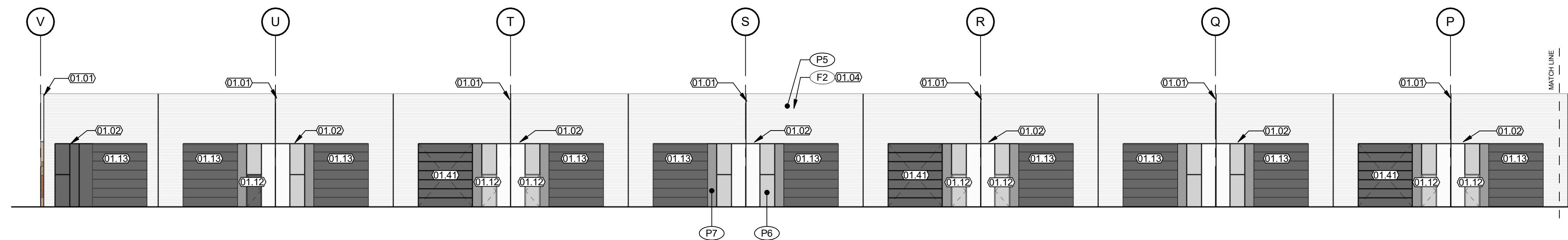
PCD FILE NO: PPR2329

SITE DEVELOPMENT PLAN THE ROCK COMMERCE CENTER

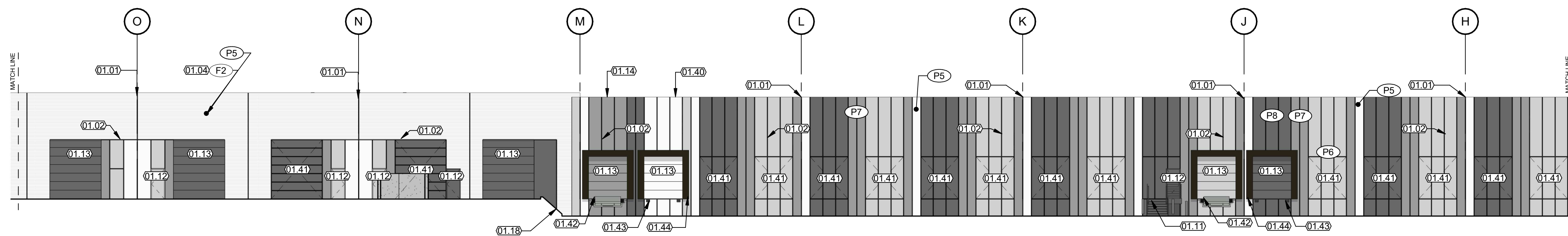
A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO



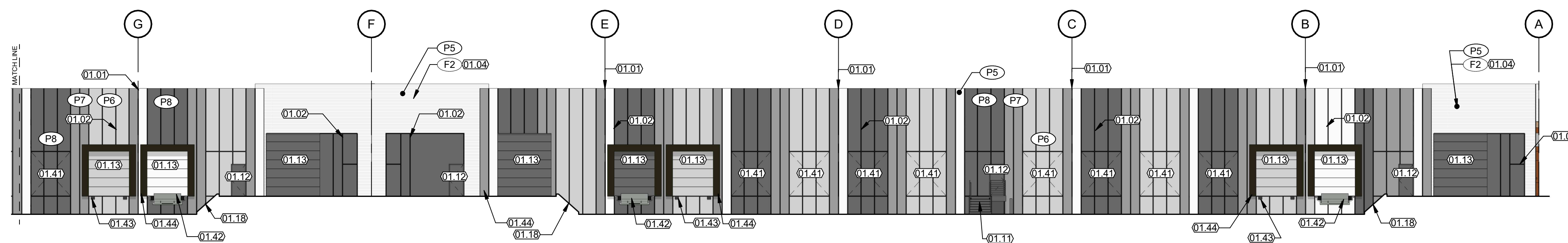
1 OVERALL EAST ELEVATION
SCALE: 1" = 40'-0"



2 ENLARGED EAST ELEVATION - SOUTH
SCALE: 1/16" = 1'-0"



3 ENLARGED EAST ELEVATION - MID
SCALE: 1/16" = 1'-0"



4 ENLARGED EAST ELEVATION - NORTH
SCALE: 1/16" = 1'-0"

KEYNOTES:

- 01.01 CONCRETE PANEL JOINT WITH 3/4" CHAMFERED EDGES, BACKER ROD & SEALANT FULL LENGTH.
- 01.02 3/4" x 2 1/4" REVEAL, PAINTED.
- 01.04 US FORMLINER 2/75 KOCHER - ORIENTATION HORIZONTAL.
- 01.11 EXTERIOR STEEL STAIRS, LANDING, GUARDRAIL & HANDRAILS. TREAD & LANDING TO BE 1" DEEP OPEN GRATING WITH LONG DIM. PERP. TO PATH OF TRAVEL. GUARDRAIL TO BE 1 1/2"Ø x 42"H. WITH 1 1/2"Ø x 3/4"H. HARDRAIL, PAINTED.
- 01.12 INSULATED H.M. MAN DOOR, PAINT TO MATCH ADJACENT WALL SURFACE COLOR, U.N.O.
- 01.13 INSULATED STEEL O.H. DOOR, PAINTED - SEE FINISH LEGEND.
- 01.14 SITE CAST TILT-UP CONCRETE PANEL, PAINTED WITH MEDIUM TEXTURED PAINT. SEE EXTERIOR FINISH LEGEND FOR SPECIFIC COLORS.
- 01.18 SLOPING CONCRETE RETAINING WALL.
- 01.40 PREFINISHED METAL CAP FLASHING, TYP @ ALL CONCRETE PANELS.
- 01.41 AREA TO BE KNOCK-OUT FOR FUTURE DOCK DOOR, PROVIDE 1 1/2" DEEP RECESS. TYPICAL 3/4" x 2 1/4" REVEALS WITHIN RECESS TO PROVIDE THE O.H. DOOR APPEARANCE.
- 01.42 6' x 8' DOCK LEVELER
- 01.43 DOCK BUMPER, TYP. @ DOCK LEVELER
- 01.44 DOCK SEAL, TYP @ DOCK HEIGHT O.H. DOORS

EXTERIOR FINISH LEGEND

KEY	DESCRIPTION	IMAGE	MANUFACTURER	REMARKS / COMMENTS
P1	EXTERIOR PAINT		GLIDDEN #50YR 18/223 "SOFT COPPER"	MEDIUM TEXTURE @ CONC. PANEL
F1	CONCRETE TILT UP ACCENT		US FORMLINER	2/156 STEINWALD ROCK PATTERN
P2	EXTERIOR PAINT		GLIDDEN #10YY 41/175 "HIGHLAND PLAINS"	MEDIUM TEXTURE @ CONC. PANEL
P3	EXTERIOR PAINT		GLIDDEN #20YY 33/145 "DEACON'S BENCH"	MEDIUM TEXTURE @ CONC. PANEL
P4	EXTERIOR PAINT		GLIDDEN #20YY 51/098 "LEGEND TAN"	MEDIUM TEXTURE @ CONC. PANEL
P5	EXTERIOR PAINT		GLIDDEN #30YY 46/036 "ZEPPELIN"	MEDIUM TEXTURE @ CONC. PANEL
F2	CONCRETE TILT UP ACCENT		US FORMLINER	2/75 KOCHER - HORIZONTAL
P6	EXTERIOR PAINT		GLIDDEN #30YY 33/047 "OLD MONTEREY"	MEDIUM TEXTURE @ CONC. PANEL
P7	EXTERIOR PAINT		GLIDDEN #30YY 20/029 "MANSARD STONE"	MEDIUM TEXTURE @ CONC. PANEL
P8	EXTERIOR PAINT		GLIDDEN #30YY 10/038 "FOREST BLACK"	MEDIUM TEXTURE @ CONC. PANEL
P9	EXTERIOR PAINT		GLIDDEN #30YY 05/044 "THE DARK SIDE"	MEDIUM TEXTURE @ CONC. PANEL
G1	GLAZING		VITRO GLASS - SOLARGRAY	
AL	STOREFRONT FRAME		DARK BRONZE	

PCD FILE NO: PPR2329

REVISIONS	DESCRIPTION
DATE	RESUBMITTAL
10/20/2023	RESUBMITTAL
11/16/2023	RESUBMITTAL
BY	

DRAWN	CBW
CHECKED	BS
DESIGNED	KS
FILENAME	BS11530

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER
EXTERIOR ELEVATIONS



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SCALE	AS SHOWN
DATE	07/28/2023
SHEETS	SHEET
20	15

SITE DEVELOPMENT PLAN THE ROCK COMMERCE CENTER

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO

REVISIONS	DATE	DESCRIPTION
	10/20/2023	RESUBMITTAL
	11/16/2023	RESUBMITTAL

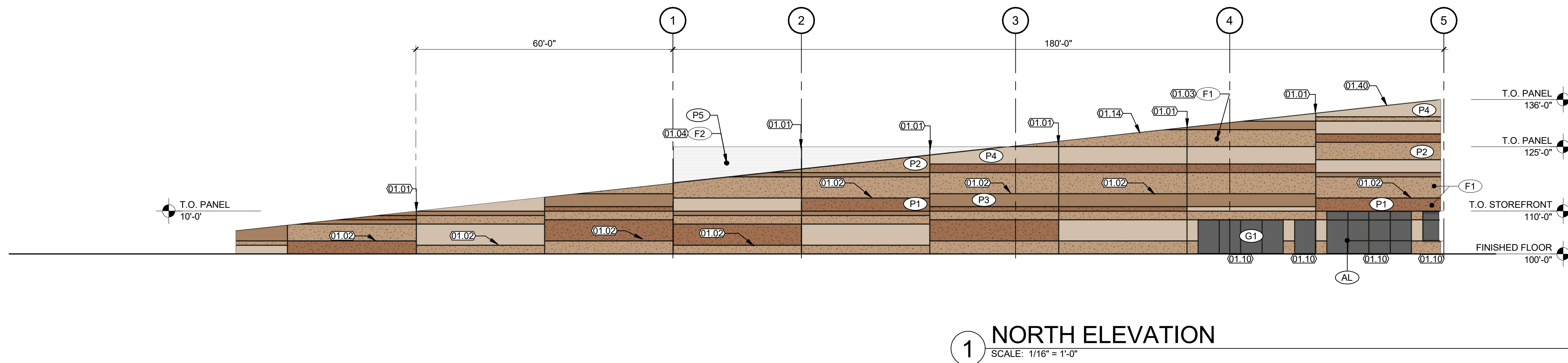
DRAWN	CBW
CHECKED	BS
DESIGNED	KS
FILENAME	BS11530

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER
EXTERIOR ELEVATIONS



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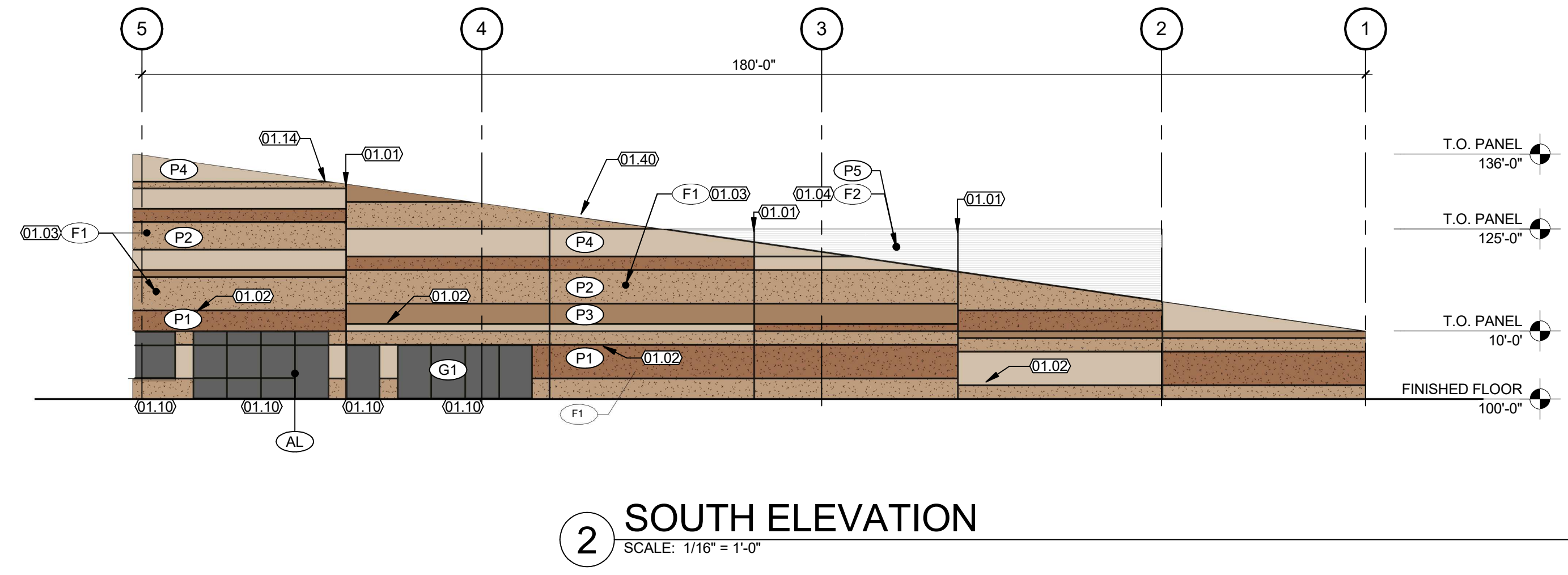
JOB NO.	BS11530
SCALE	AS SHOWN
DATE	07/28/2023
SHEETS	20
SHEET	16



1 NORTH ELEVATION
SCALE: 1/16" = 1'-0"

KEYNOTES:

- 01.01 CONCRETE PANEL JOINT WITH 3/4" CHAMFERED EDGES, BACKER ROD & SEALANT FULL LENGTH.
- 01.02 3/4" x 2 1/4" REVEAL, PAINTED.
- 01.03 US FORMLINER 2/156 STEINWALD.
- 01.04 US FORMLINER 2/75 KOCHER - ORIENTATION HORIZONTAL.
- 01.10 INSULATED TINTED GLAZING IN ANODIZED ALUMINUM STOREFRONT SYSTEM. SEE FINISH LEGEND.
- 01.14 SITE CAST TILT-UP CONCRETE PANEL, PAINTED WITH MEDIUM TEXTURED PAINT. SEE EXTERIOR FINISH LEGEND FOR SPECIFIC COLORS.
- 01.40 PREFINISHED METAL CAP FLASHING, TYP @ ALL CONCRETE PANELS.



2 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

EXTERIOR FINISH LEGEND

KEY	DESCRIPTION	IMAGE	MANUFACTURER	REMARKS / COMMENTS
(P1)	EXTERIOR PAINT		GLIDDEN #50YR 18/223 "SOFT COPPER"	MEDIUM TEXTURE @ CONC. PANEL
(F1)	CONCRETE TILT UP ACCENT		US FORMLINER	2/156 STEINWALD ROCK PATTERN
(P2)	EXTERIOR PAINT		GLIDDEN #10YY 41/175 "HIGHLAND PLAINS"	MEDIUM TEXTURE @ CONC. PANEL
(P3)	EXTERIOR PAINT		GLIDDEN #20YY 33/145 "DEACON'S BENCH"	MEDIUM TEXTURE @ CONC. PANEL
(P4)	EXTERIOR PAINT		GLIDDEN #20YY 51/098 "LEGEND TAN"	MEDIUM TEXTURE @ CONC. PANEL
(P5)	EXTERIOR PAINT		GLIDDEN #30YY 46/036 "ZEPPELIN"	MEDIUM TEXTURE @ CONC. PANEL
(F2)	CONCRETE TILT UP ACCENT		US FORMLINER	2/75 KOCHER - HORIZONTAL
(P6)	EXTERIOR PAINT		GLIDDEN #30YY 33/047 "OLD MONTEREY"	MEDIUM TEXTURE @ CONC. PANEL
(P7)	EXTERIOR PAINT		GLIDDEN #30YY 20/029 "MANSARD STONE"	MEDIUM TEXTURE @ CONC. PANEL
(P8)	EXTERIOR PAINT		GLIDDEN #30YY 10/038 "FOREST BLACK"	MEDIUM TEXTURE @ CONC. PANEL
(P9)	EXTERIOR PAINT		GLIDDEN #30YY 05/044 "THE DARK SIDE"	MEDIUM TEXTURE @ CONC. PANEL
(G1)	GLAZING		VITRO GLASS - SOLARGRAY	
(AL)	STOREFRONT FRAME		DARK BRONZE	

PCD FILE NO: PPR2329

SITE DEVELOPMENT PLAN THE ROCK COMMERCE CENTER

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO



① NORTH END CAP PERSPECTIVE
SCALE: 12" = 1'-0"

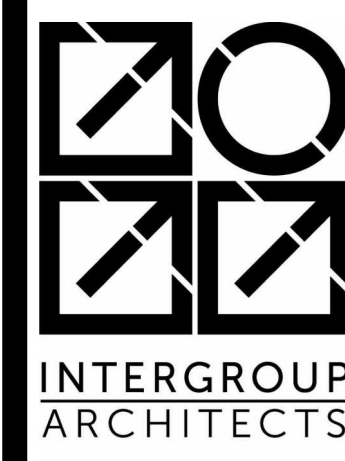


② SOUTH TENANT PERSPECTIVE
SCALE: 12" = 1'-0"

REVISIONS	DESCRIPTION
DATE	RESUBMITTAL
10/20/2023	RESUBMITTAL
11/16/2023	RESUBMITTAL
BY	

DRAWN	CBW
CHECKED	BS
DESIGNED	KS
FILENAME	BS11530

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER
EXTERIOR PERSPECTIVES

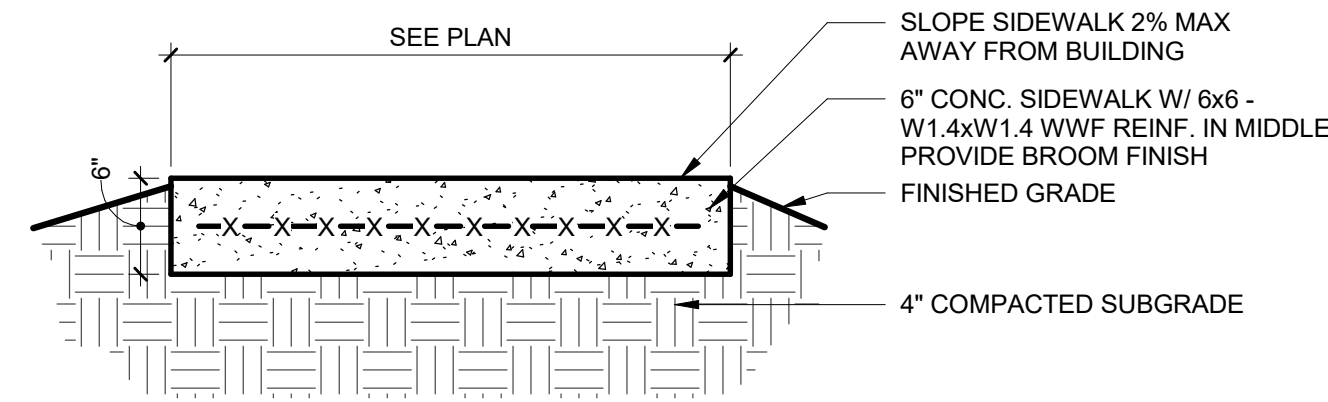


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SCALE	AS SHOWN
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SHEETS	SHEET
20	17

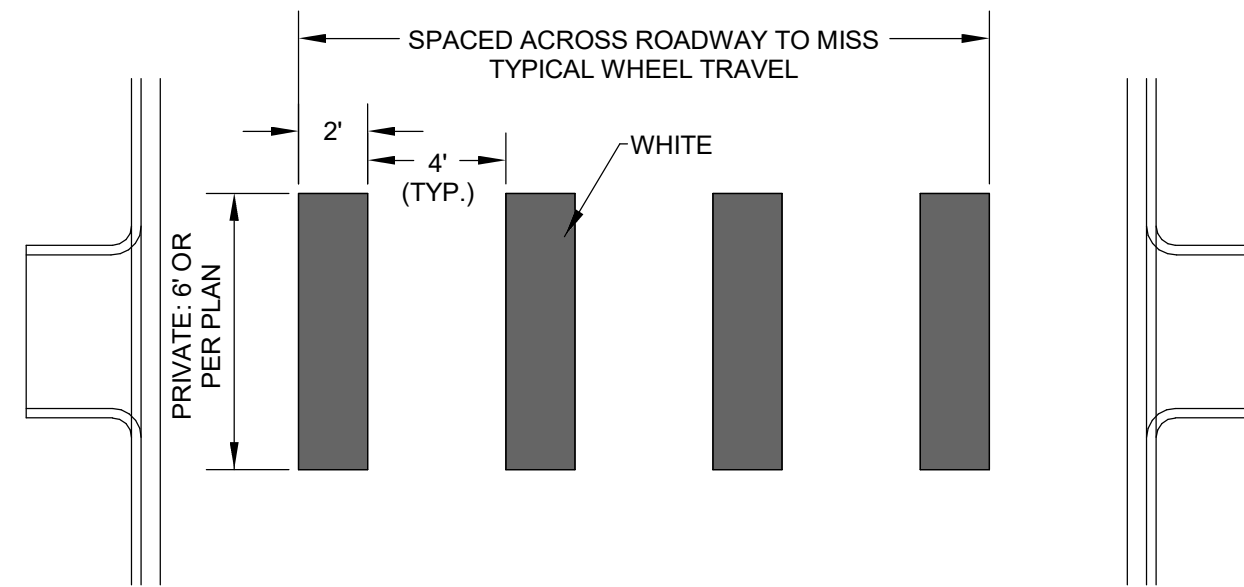
SITE DEVELOPMENT PLAN THE ROCK COMMERCE CENTER

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11,
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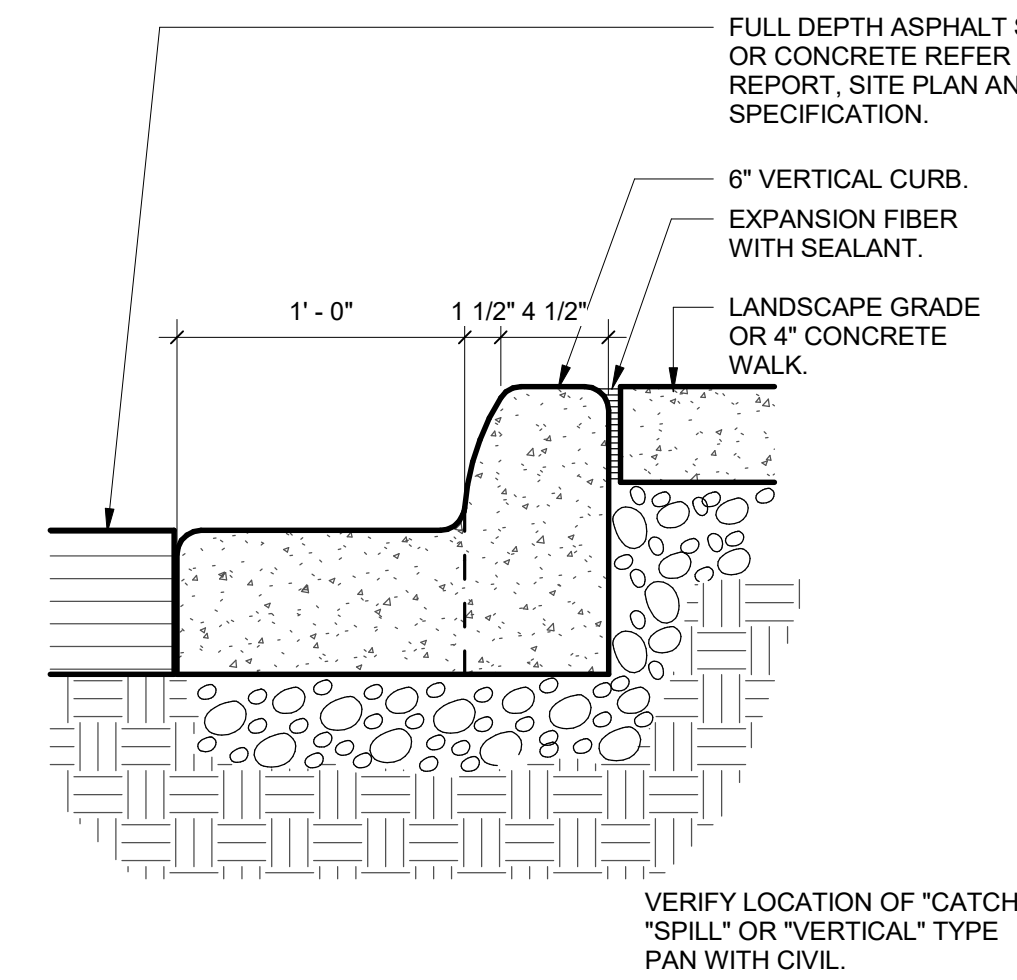


NOTE: PROVIDE HAND TOOLED TRANSVERSE & LONGITUDINAL CONTRACTION JOINTS @ 5'-0" O.C. MAX., 3/8" EXPANSION JOINTS @ 25'-0" O.C. MAX.

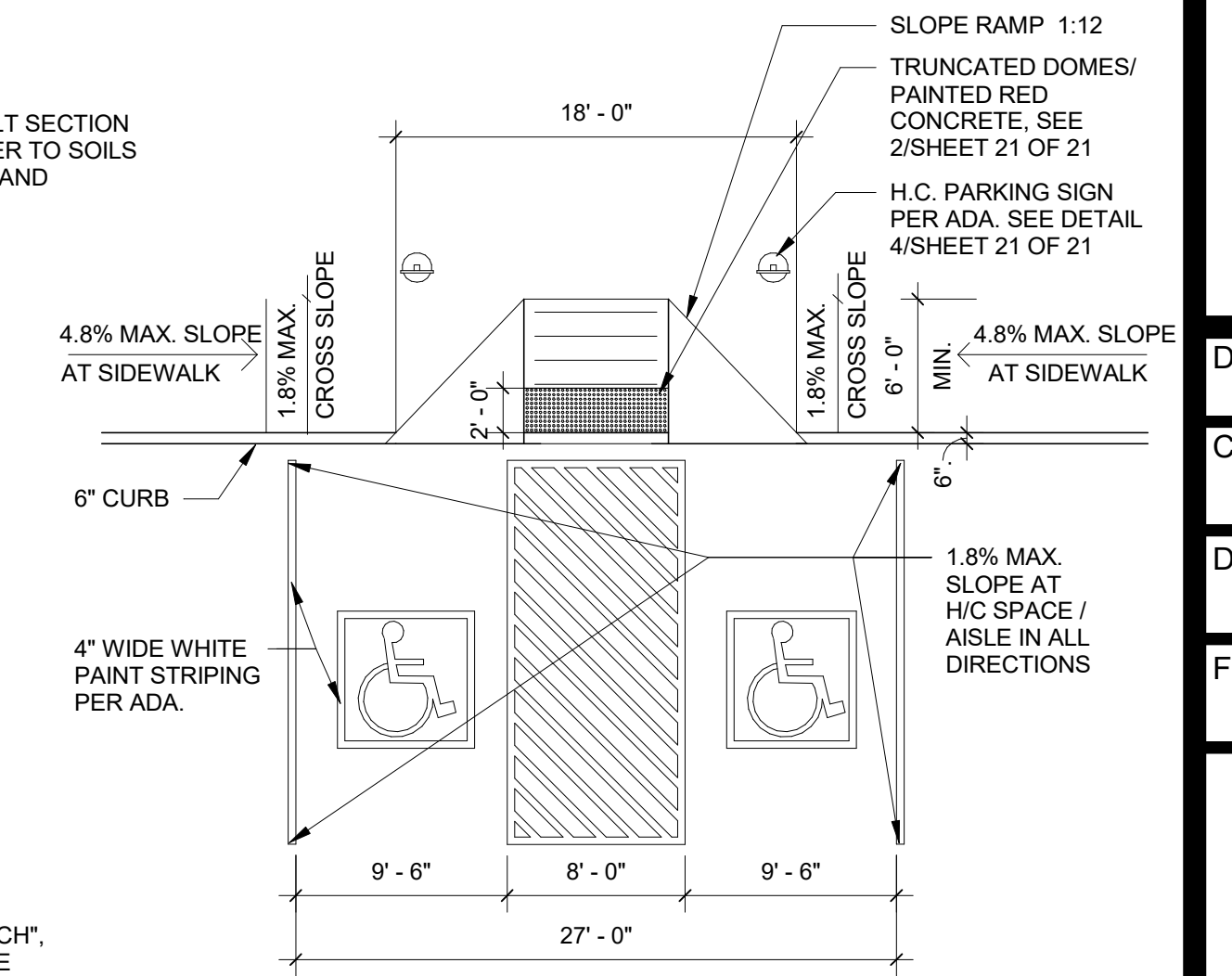
12 EXTERIOR CONC. SIDEWALK
SCALE: 1" = 1'-0"



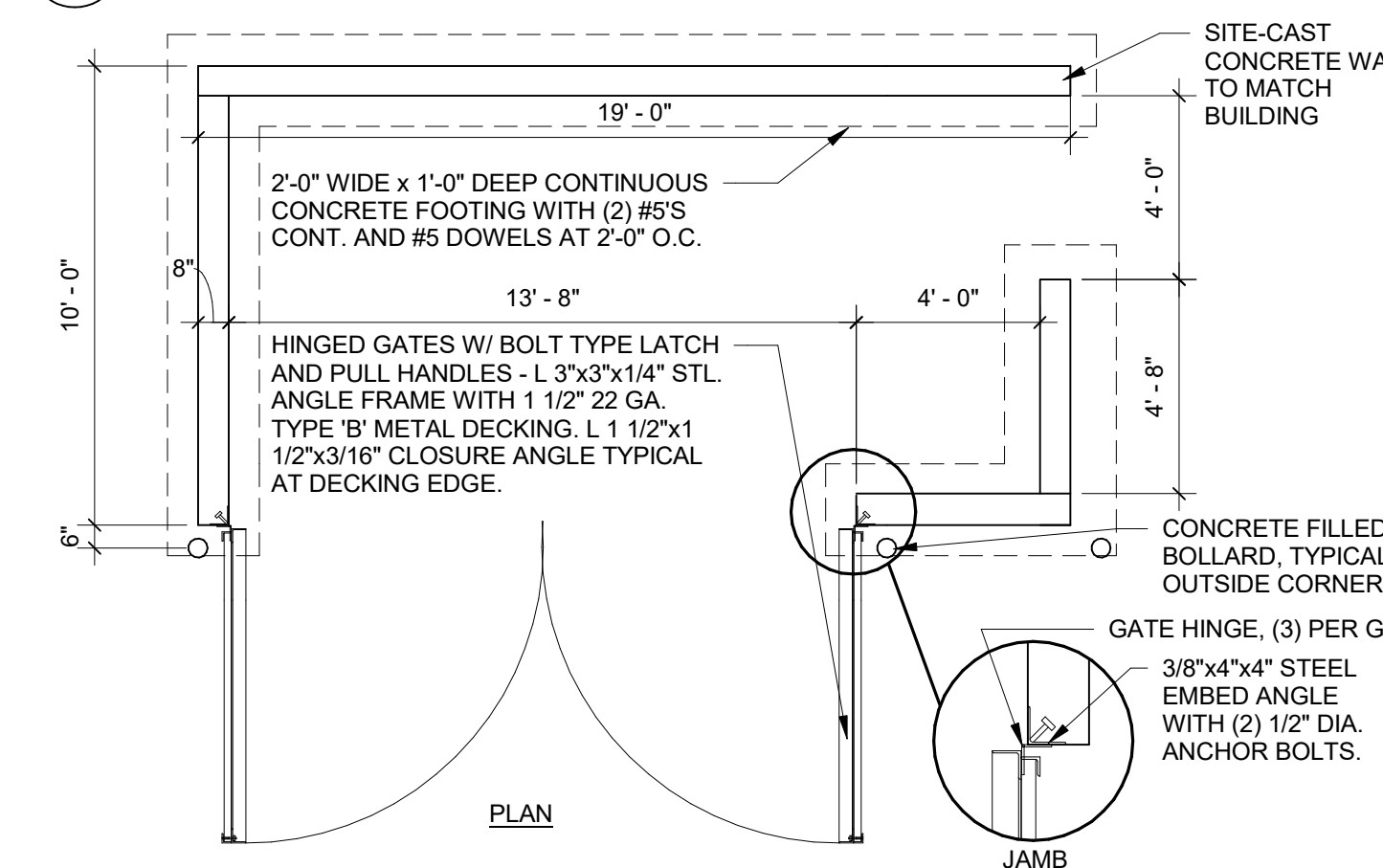
9 CROSS WALK STRIPING DETAIL
SCALE: 12" = 1'-0"



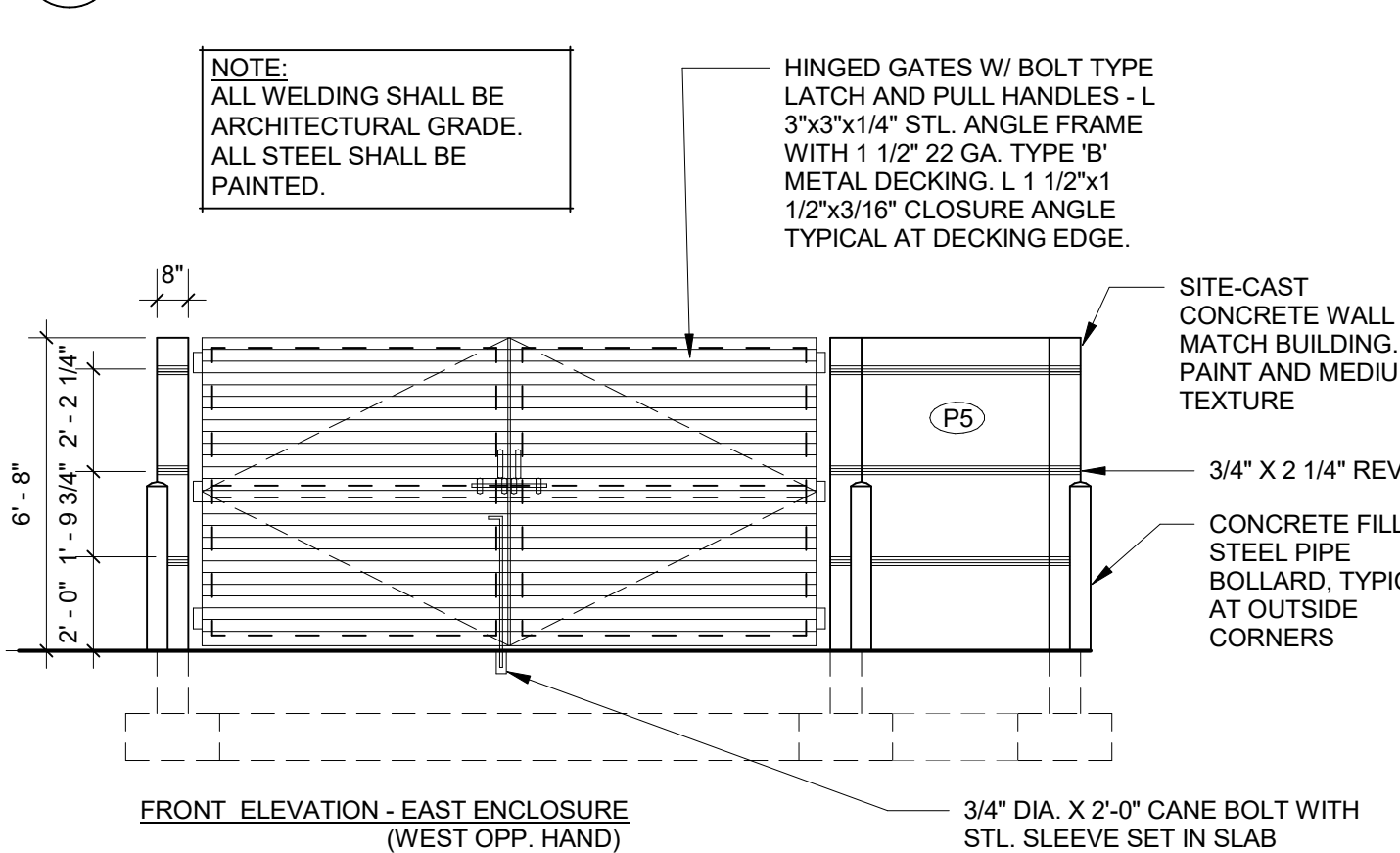
6 CURB DETAIL
SCALE: 1 1/2" = 1'-0"



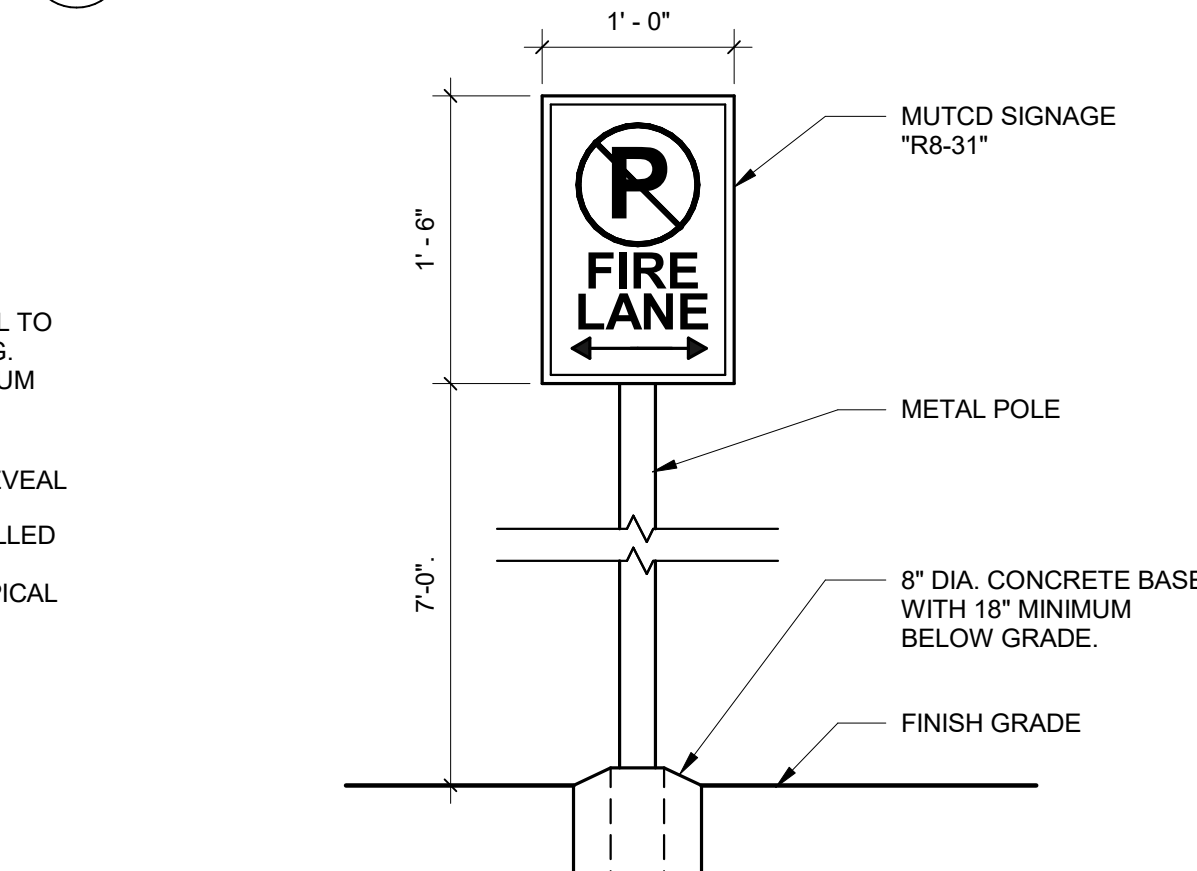
3 ACCESSIBLE PARKING ENLARGED PLAN
SCALE: 1/8" = 1'-0"



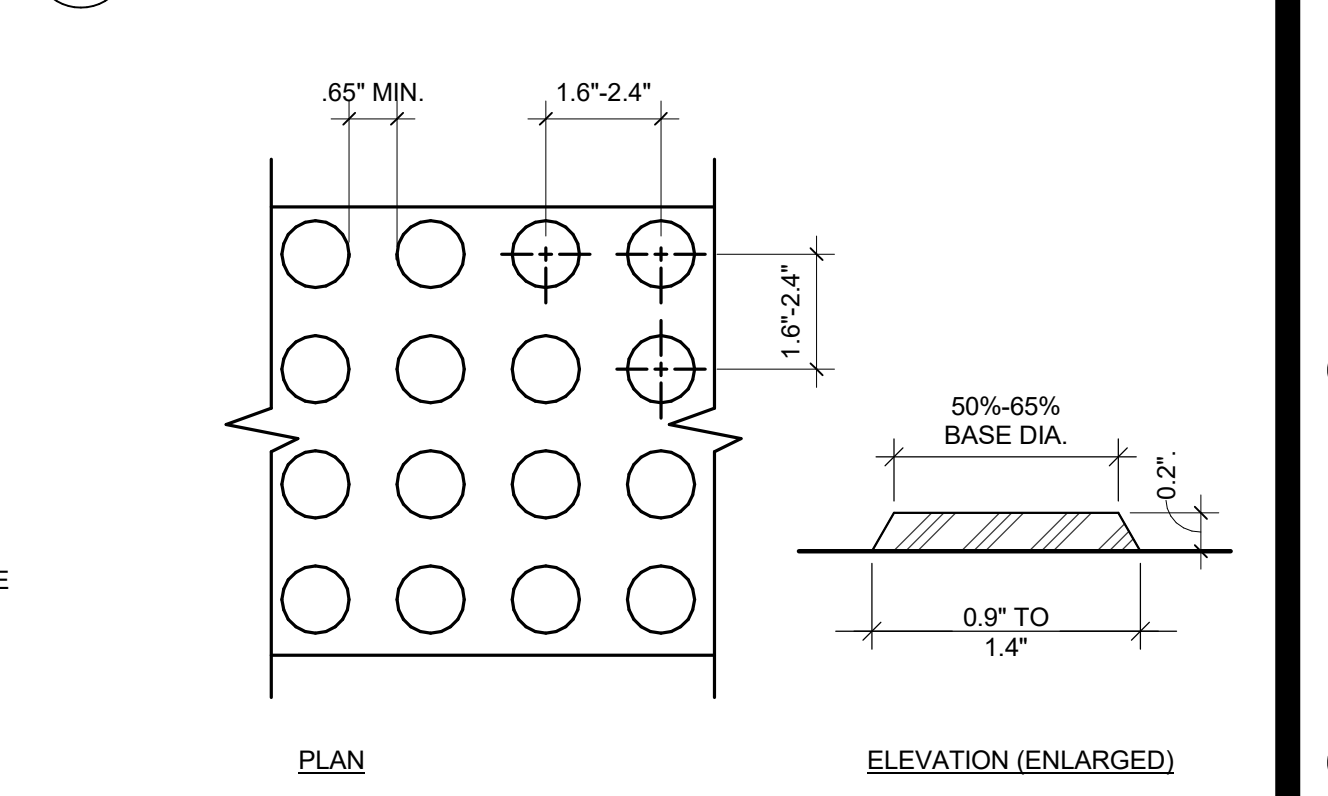
11 TRASH ENCLOSURE DETAIL
SCALE: 1/4" = 1'-0"



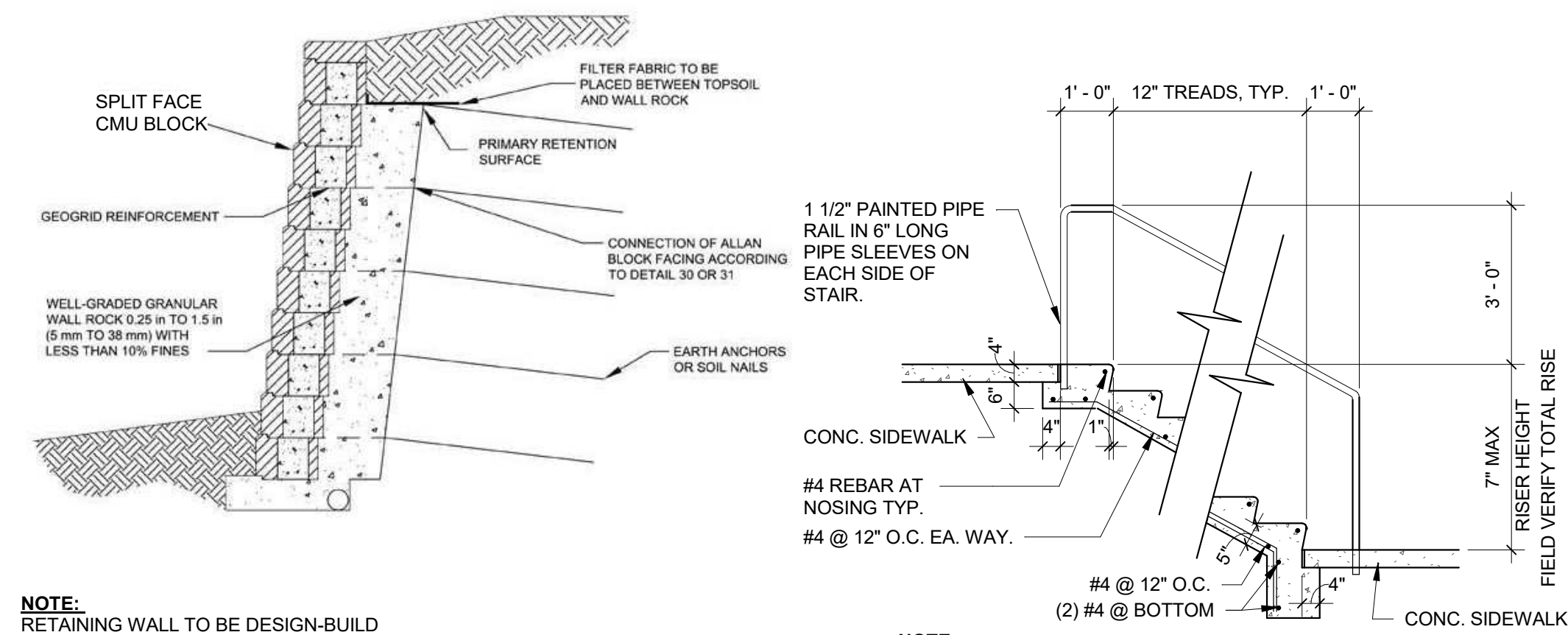
FRONT ELEVATION - EAST ENCLOSURE (WEST OPP. HAND)



5 FIRE LANE SIGN DETAIL
SCALE: 1" = 1'-0"

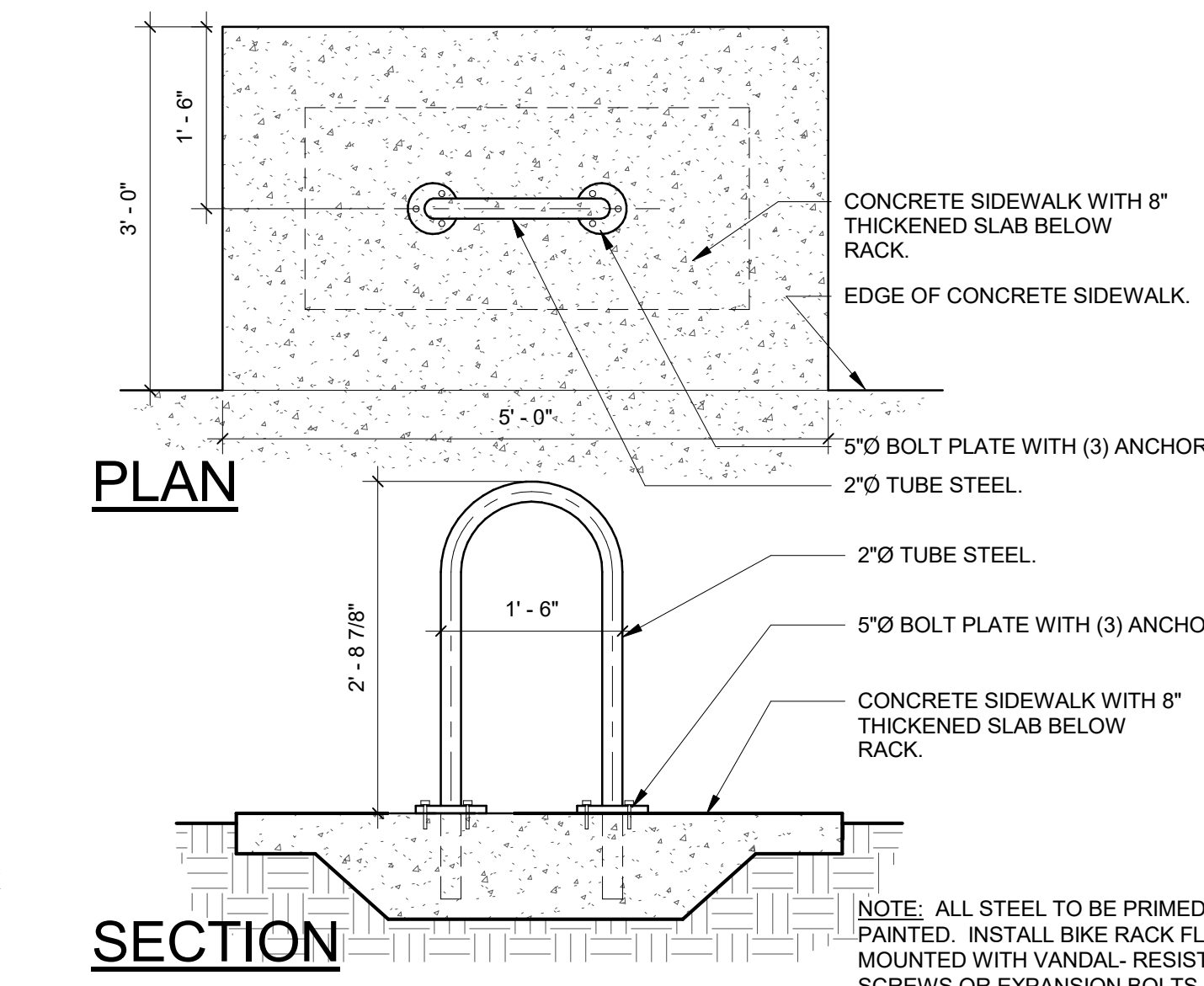


2 TRUNCATED DOME SIZING & SPACING
SCALE: 3" = 1'-0"

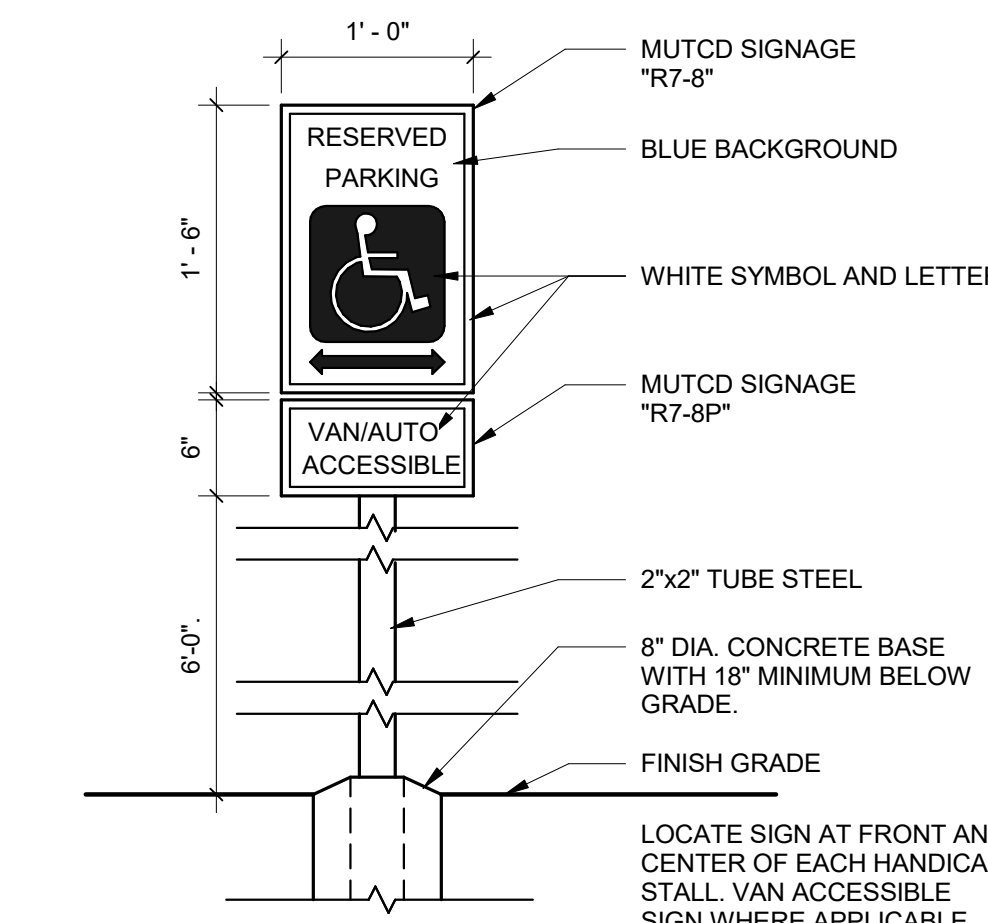


13 SEGMENTED BLOCK RETAINING WALL
SCALE: 3/4" = 1'-0"

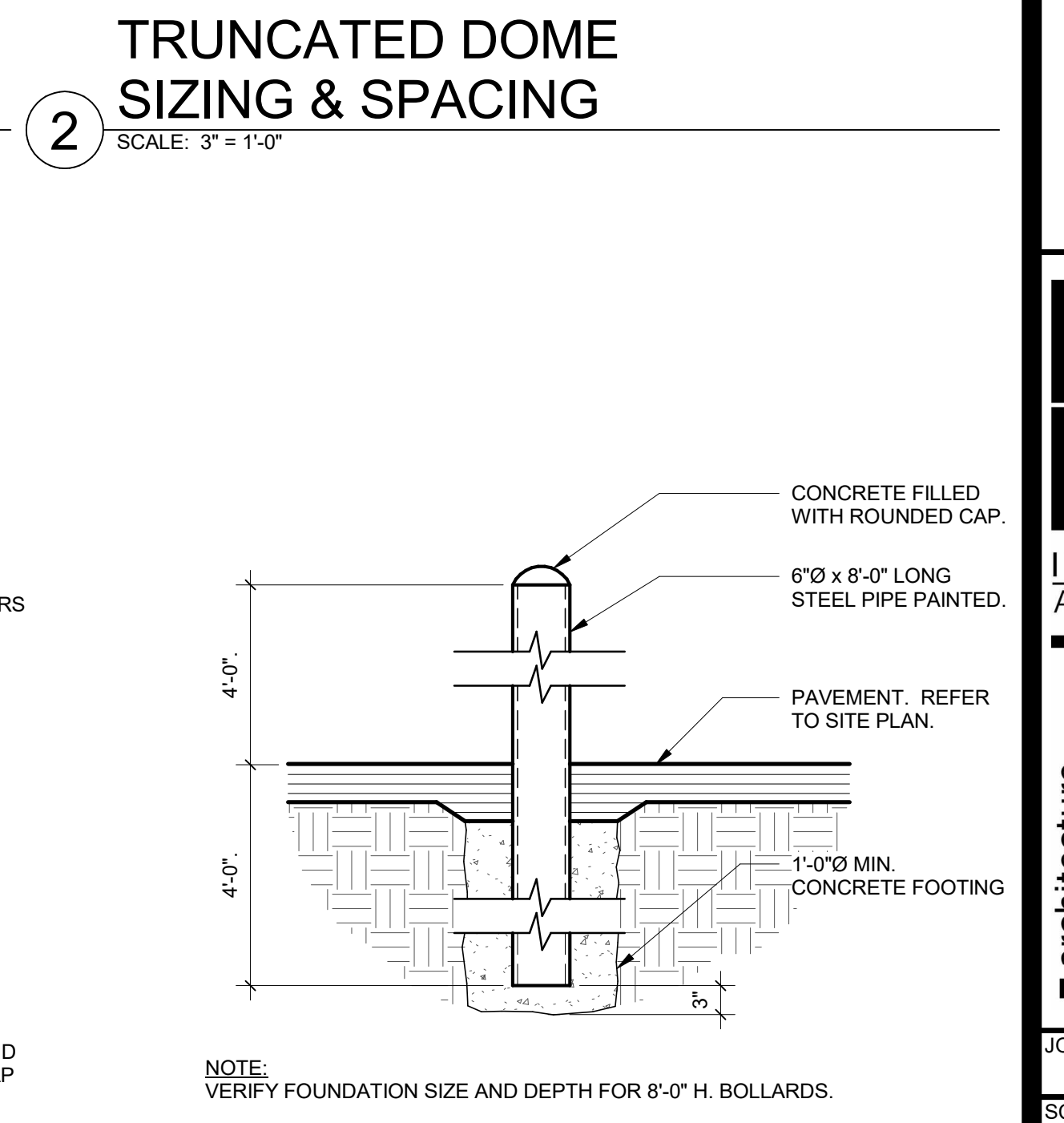
10 LANDSCAPE STAIR DETAIL
SCALE: 3/8" = 1'-0"



7 BIKE RACK DETAIL
SCALE: 3/4" = 1'-0"



4 HC PARKING SIGN
SCALE: 1" = 1'-0"



1 BOLLARD DETAIL
SCALE: 3/4" = 1'-0"

REVISIONS	DESCRIPTION
DATE	RESUBMITTAL
10/20/2023	RESUBMITTAL
11/16/2023	RESUBMITTAL
BY	

DRAWN	CBW
CHECKED	BS
DESIGNED	KS
FILENAME	BS11530

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER
SITE DETAILS



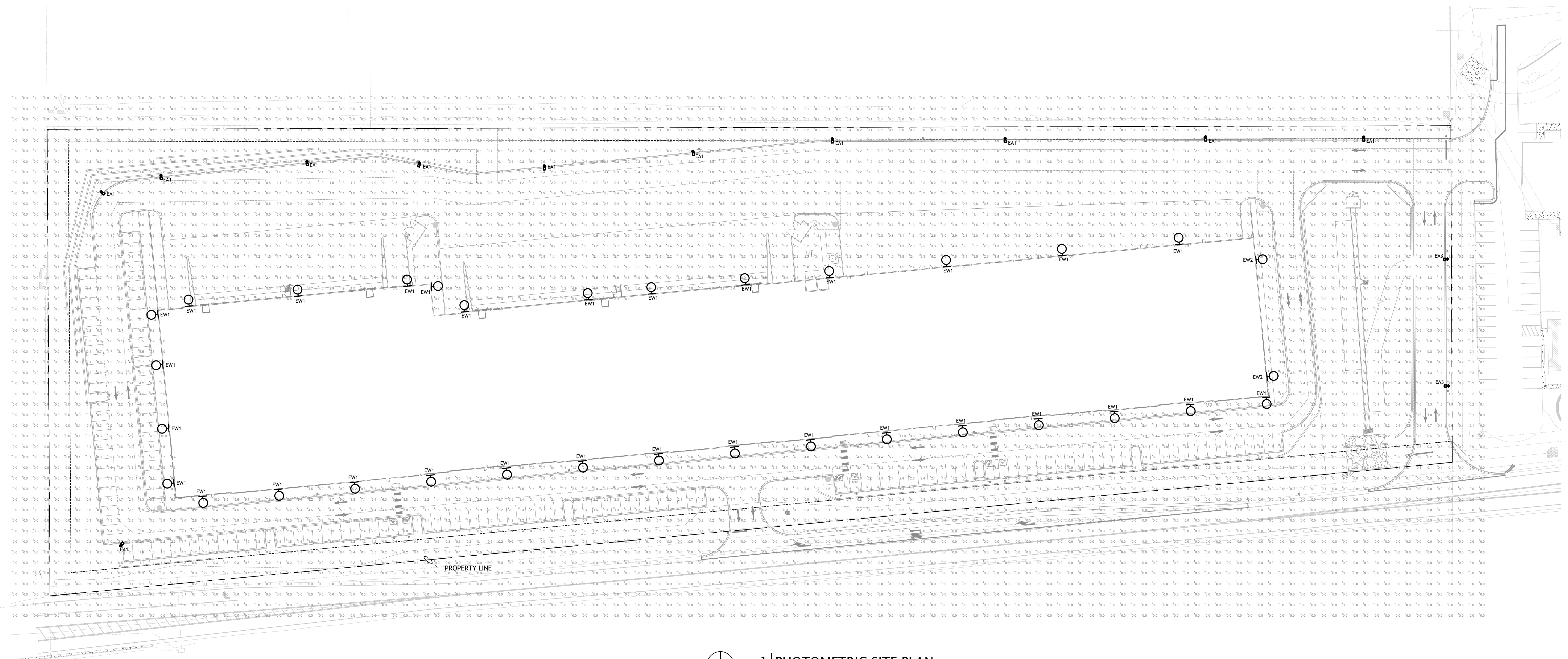
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SHEETS	SHEET
20	18

PCD FILE NO: PPR2329

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1 | PHOTOMETRIC SITE PLAN
25 | SCALE: 1" = 50'

REVISIONS	DATE	DESCRIPTION
	10/20/23	2ND SUBMITTAL
	11/17/23	3RD SUBMITTAL

DRAWN: HJ, HK

CHECKED: EDR

DESIGNED: HJ, HK

FILENAME: PPR2329

SITE DEVELOPMENT PLAN
THE ROCK COMMERCE CENTER
PHOTOMETRIC SITE PLAN



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JOB NO: 6411.00

SCALE: AS SHOWN

DATE: 07/28/2023

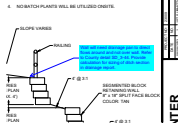
SHEETS: 20 SHEET: 19



PCD FILE NO: PPR2329

V3_Site Development Plan Comments.pdf Markup Summary

CDurham (1)



Subject: Callout
Page Label: [5] 5 OF 20 GRADING PLAN
Author: CDurham
Date: 12/5/2023 7:54:47 AM
Color: ■

Wall will need drainage pan to direct flows around and not over wall. Refer to County detail SD_3-44. Provide calculation for sizing of ditch section in drainage report.