

THIRTEEN OUTLAWS LLC

# HOPE PHYSICAL THERAPY-PARKING LOT

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 23,  
TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
COUNTY OF EL PASO, STATE OF COLORADO

## CONSTRUCTION DOCUMENTS

### PROJECT CONTACTS

#### PROPERTY OWNER

THIRTEEN OUTLAWS, LLC  
4850 AUSTIN BLUFFS PKWY  
COLORADO SPRINGS, CO 80918  
TELE: (719) 439-9263  
ATTN: ADRIAN D. HOPE  
EMAIL: ADRIAN@HOPEWELLNESS.COM

#### APPLICANT

THIRTEEN OUTLAWS, LLC  
4850 AUSTIN BLUFFS PKWY  
COLORADO SPRINGS, CO 80918  
TELE: (719) 439-9263  
ATTN: ADRIAN D. HOPE  
EMAIL: ADRIAN@HOPEWELLNESS.COM

#### CIVIL ENGINEER

GALLOWAY & CO., INC.  
1155 KELLY JOHNSON BLVD., SUITE 305  
COLORADO SPRINGS, CO 80920  
TELE: (719) 900-7220  
ATTN: BRADY SHYROCK, P.E.  
EMAIL: BRADYSHYROCK@GALLOWAYUS.COM

#### GEOTECHNICAL ENGINEER

ROCKY MOUNTAIN GEOTECHNICAL, INC  
555 E. PINEK PEAK AVE, SUITE 107  
COLORADO SPRINGS, CO 80903  
TELE: (303) 634-1999  
ATTN: TONY MUNGER, P.E.

#### TRAFFIC ENGINEER

GALLOWAY & CO., INC.  
5500 GREENWOOD PLAZA BLVD, SUITE 200  
GREENWOOD VILLAGE, CO 80111  
TELE: (303) 770-8884  
ATTN: BRIAN HORAN, P.E.  
EMAIL: BRIANHORAN@GALLOWAYUS.COM

#### SURVEYOR

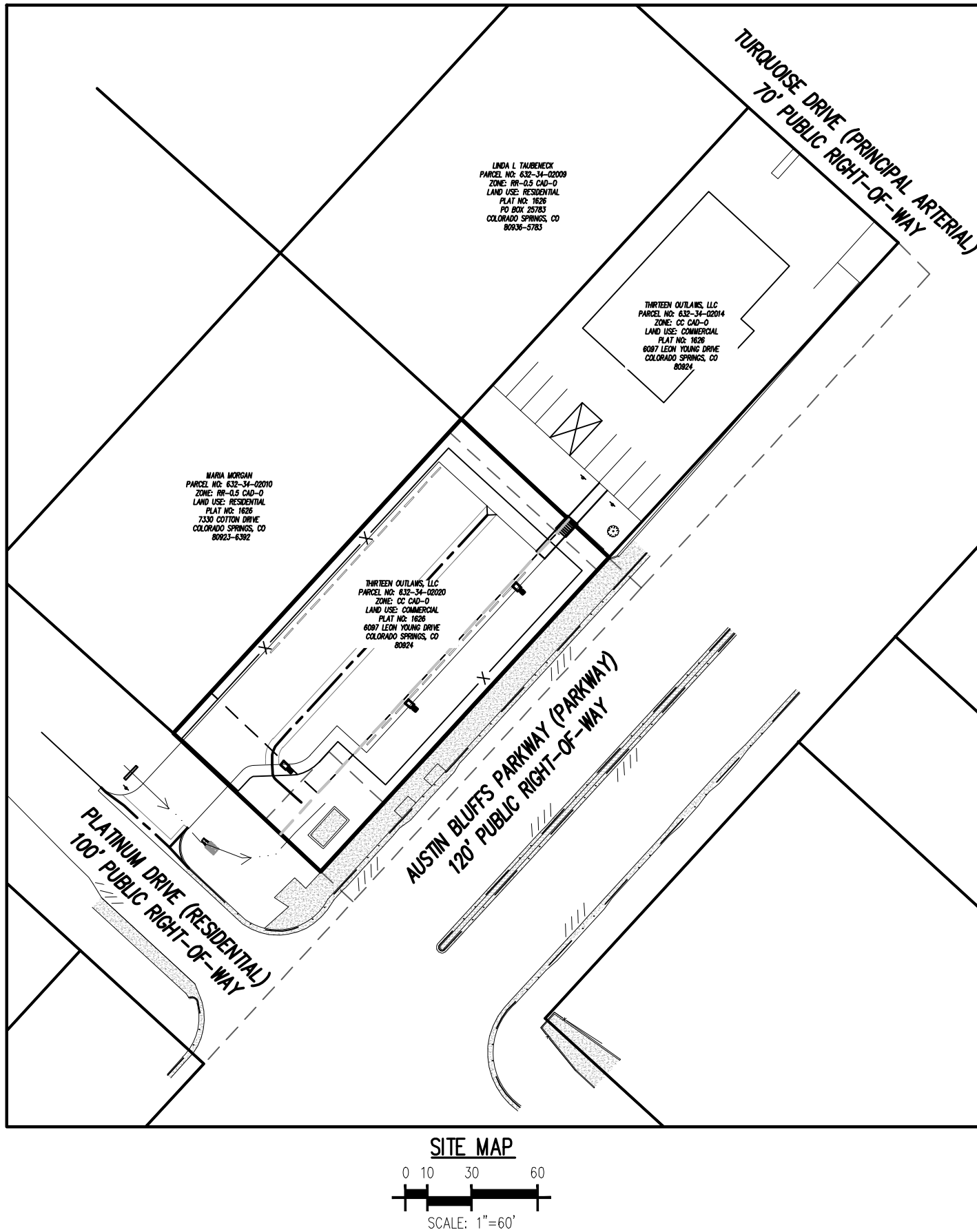
GALLOWAY & CO., INC.  
1155 KELLY JOHNSON BLVD., SUITE 305  
COLORADO SPRINGS, CO 80920  
TELE: (719) 337-1282  
ATTN: BRIAN DENNIS  
EMAIL: BRIANDENNIS@GALLOWAYUS.COM

### LIST OF ABBREVIATIONS

SHT - SHEET  
Δ - DEFLECTION ANGLE  
L - LENGTH  
R - RADIUS  
CB - CHORD BEARING  
C - CHORD LENGTH  
N - NORTH/NORTHING  
W - WEST  
E - EAST/EASTING  
S - SOUTH  
DET - DETAIL  
EX - EXISTING  
W/ - WITH  
PC - POINT OF CURVATURE/PORTLAND CEMENT  
WVF - WELDED WIRE FABRIC  
VERT - VERTICAL  
OC - ON CENTER  
FDC - FIRE DEPARTMENT CONNECTION  
CT - COURT  
DR - DRIVE  
TYP - TYPICAL  
REC - RECEPTION NUMBER  
Ø, DIA - DIAMETER  
PT - POINT OF TANGENCY  
MIN - MINIMUM  
MAX - MAXIMUM  
HOPE - HIGH DENSITY POLYETHYLENE

SITE PLAN	
GENERAL DEVELOPMENT DATA	
SITE ADDRESS	4815 PLATINUM DRIVE, COLORADO SPRINGS, CO 80918
JURISDICTION	EL PASO COUNTY, COLORADO
TAX SCHEDULE NUMBER	6323402020
COUNTY FILE NUMBER	PPR-23-235
SITE AREA/TOTAL ACREAGE	17,737 SF / 0.407 ACRES
DEVELOPMENT SCHEDULE	SUMMER 2023
AUSTIN BLUFFS PARKWAY	REQUIRED SETBACK: 25' BUILDING SETBACK - 25' LANDSCAPE SETBACK PROPOSED SETBACK: 25' BUILDING SETBACK - 25' LANDSCAPE SETBACK
PLATINUM DRIVE	REQUIRED SETBACK: 25' BUILDING SETBACK - 0' LANDSCAPE SETBACK PROPOSED SETBACK: 25' BUILDING SETBACK - 0' LANDSCAPE SETBACK
OPEN SPACE, LANDSCAPING, AND IMPERMEABLE SURFACE PERCENTAGES	OPEN SPACE: 5,243 SQ. FT. / 29.56% ± LANDSCAPING: 2,378 SQ. FT. / 13.41% ± IMPERMEABLE SURFACE: 10,116 SQ. FT. / 57.03% ±
LOCATION OF NO-BUILD AREAS	NO GRADING OR IMPROVEMENTS WILL BE OCCURRING IN ANY FLOOD PLAINS OR DRAINAGE AREAS.
EXISTING DEVELOPMENT DATA	
ZONING DISTRICT	CC-CAD 0
PROPOSED DEVELOPMENT DATA	
PROPOSED LAND USE	PARKING LOT

PARKING TABLE				
USE	PARKING RATIO	BUILDING INFO	PARKING REQUIRED	PARKING PROVIDED
REQUIRED	1 / 250 SQ FT	3,099 SF ±	13	25
ADA (INCLUDED IN TOTAL COUNT) - ADA PARKING PROVIDED AT EXISTING BUILDING			1	2



### BASIS OF BEARINGS

BEARINGS ARE BASED ON THE SOUTHEASTERLY LINES OF LOTS 14 & 15, BLOCK 15, VISTA PEAK ESTATES ADDITION, AND A PART OF THE NORTHWESTERLY R.O.W. OF AUSTIN BLUFFS PARKWAY, MONUMENTED ON THE SOUTHERLY END WITH A NO. 5 REBAR WITH 1.5" ALUMINUM CAP, PLUS 34977, AND ON THE NORTHERLY END WITH A NAIL AND 1.5" WASHER, PLUS 34977, AND IS ASSUMED TO BEAR N42°44'14"E A MEASURED DISTANCE OF 457.20 FEET.

### BENCHMARK

ELEVATIONS ARE BASED ON SITE BENCHMARK AS NOTED WITH A COMPUTED OPUS SOLUTION USING GEOID18 (ELEVATION = 6,557.77' NAVD88)

### ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

BRADY A. SHYROCK, COLORADO P.E. NO. 38164

DATE

### OWNER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENT SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

ADRIAN D. HOPE  
THIRTEEN OUTLAWS, LLC

DATE

### PCD FILING NO.

PPR-235

### GENERAL NOTES:

- ALL SITE LIGHTING OR EXTERIOR LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR SHIELD TO PREVENT LIGHT SPILLAGE ONTO ADJACENT PROPERTIES AND ROADWAYS.
- ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTRACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.
- THE APPLICANT (OR PROPERTY OWNER) HAS ATTESTED THERE ARE NO SEPARATE MINERAL ESTATE OWNER(S) IDENTIFIED AND NO FURTHER ACTION WAS TAKEN.
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER EL PASO COUNTY'S STANDARD DRAWINGS AND SPECIFICATIONS. EL PASO COUNTY'S INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.

### PROJECT DESCRIPTION:

THE PROPOSED PARKING LOT WILL PROVIDE ADDITIONAL PARKING TO CLIENTS OF THE HOPE PHYSICAL THERAPY BUILDING ADJACENT TO THE SUBJECT PROPERTY IN COLORADO SPRINGS AND EL PASO COUNTY. THE PARKING LOT WILL HAVE 24 PARKING SPACES, TWO OF WHICH ARE ADA ACCESSIBLE PARKING SPACES.

### CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Galloway

6162 S. Willow Drive, Suite 320  
Greenwood Village, CO 80111  
303.770.8884  
GallowayUS.com

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SITE DEVELOPMENT PLAN  
HOPE PHYSICAL THERAPY-PARKING LOT

THIRTEEN OUTLAWS, LLC

4850 AUSTIN BLUFFS PKWY  
COLORADO SPRINGS, CO 80918

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Project No: HPT01  
Drawn By: ASA/MRK  
Checked By: CRD  
Date: AUGUST 2023

COVER SHEET

C0.0

Sheet 1 of 8



CURVE TABLE					
CURVE TAG #	RADIUS (FT)	DISTANCE (FT)	DELTA	CHORD BEARING	CHORD LENGTH (FT)
C4	13.00	20.41	89°36'39"	S2°06'21"E	18.38
C1	12.50	19.77	90°36'41"	N88°13'40"E	17.77
C2	12.50	9.90	45°23'39"	S65°13'30"W	9.65
C3	7.50	5.89	45°00'00"	S65°25'19"W	5.74

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	EXISTING PROPERTY LINE		EXISTING SIGN
	EXISTING EASEMENT		EXISTING TELEPHONE BOX
	EXISTING LANDSCAPE BUFFER		EXISTING ELECTRIC BOX
	EXISTING ASPHALT		EXISTING ELECTRIC METER
	EXISTING WALL		EXISTING POWER POLE
	EXISTING CONCRETE		EXISTING TELEPHONE PEDESTAL
	EXISTING STORM DRAIN LINE		EXISTING FIBER OPTIC PEDESTAL
	EXISTING SANITARY SEWER LINE		EXISTING WATER METER
	EXISTING MINOR CONTOUR		EXISTING TRAFFIC CONTROL SIGNAL
	EXISTING MINOR CONTOUR		EXISTING STORM CULVERT
	EXISTING MINOR CONTOUR		EXISTING SANITARY SEWER MANHOLE
	EXISTING MINOR CONTOUR		EXISTING STORM DRAIN MANHOLE
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	PROPOSED ASPHALT		PROPOSED LIGHT POLE
	PROPOSED CONCRETE		PROPOSED PARKING SPACE COUNT
	PROPOSED SIDEWALK		PROPOSED ADA STRIPING
	PROPOSED STRIPING		EXISTING GRADE ELEVATION
	PROPOSED FENCE		PROPOSED GRADE ELEVATION
	PROPOSED STORM DRAIN LINE		EXISTING FLOW ARROW
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1. THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE DEPTH OF COVER DISCUSSED IN THE PREVIOUS PARAGRAPH SHALL BE APPROVED PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE OR PROTECT UTILITIES, OR PROVIDE INTERIOR ACCESS, IS AT THE EXPENSE OF THE PLAN APPLICANT.
2. ALL CURB, CUTTER, DRIVEWAYS, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARDS ALONG THE CITY'S PUBLIC RIGHT-OF-WAY (ROW) ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (CO). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEPARTMENT REVIEW DIVISION (EDRD) INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE EDRD INSPECTOR CAN BE REACHED AT 719-385-5977.

BEARINGS ARE BASED ON THE SOUTHEASTERLY LINES OF LOTS 14 & 15, BLOCK 15, VISTA PEAK ESTATES ADDITION, AND A PART OF THE NORTHWESTERLY R.O.W. OF AUSTIN BLUFFS PARKWAY, MONUMENTED ON THE SOUTHERLY END WITH A NO. 5 REBAR WITH 1.5" ALUMINUM CAP, PLS 34977, AND ON THE NORTHERLY END WITH A NAIL AND 1.5" WASHER, PLS 34977, AND IS ASSUMED TO BEAR N42°44'14"E A MEASURED DISTANCE OF 457.20 FEET.

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Project No:	HPT01
Drawn By:	ASA/MRK
Checked By:	CRD
Date:	AUGUST 2023

C1.0  
Sheet 2 of 8



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**HOPE PHYSICAL THERAPY-PARKING LOT**

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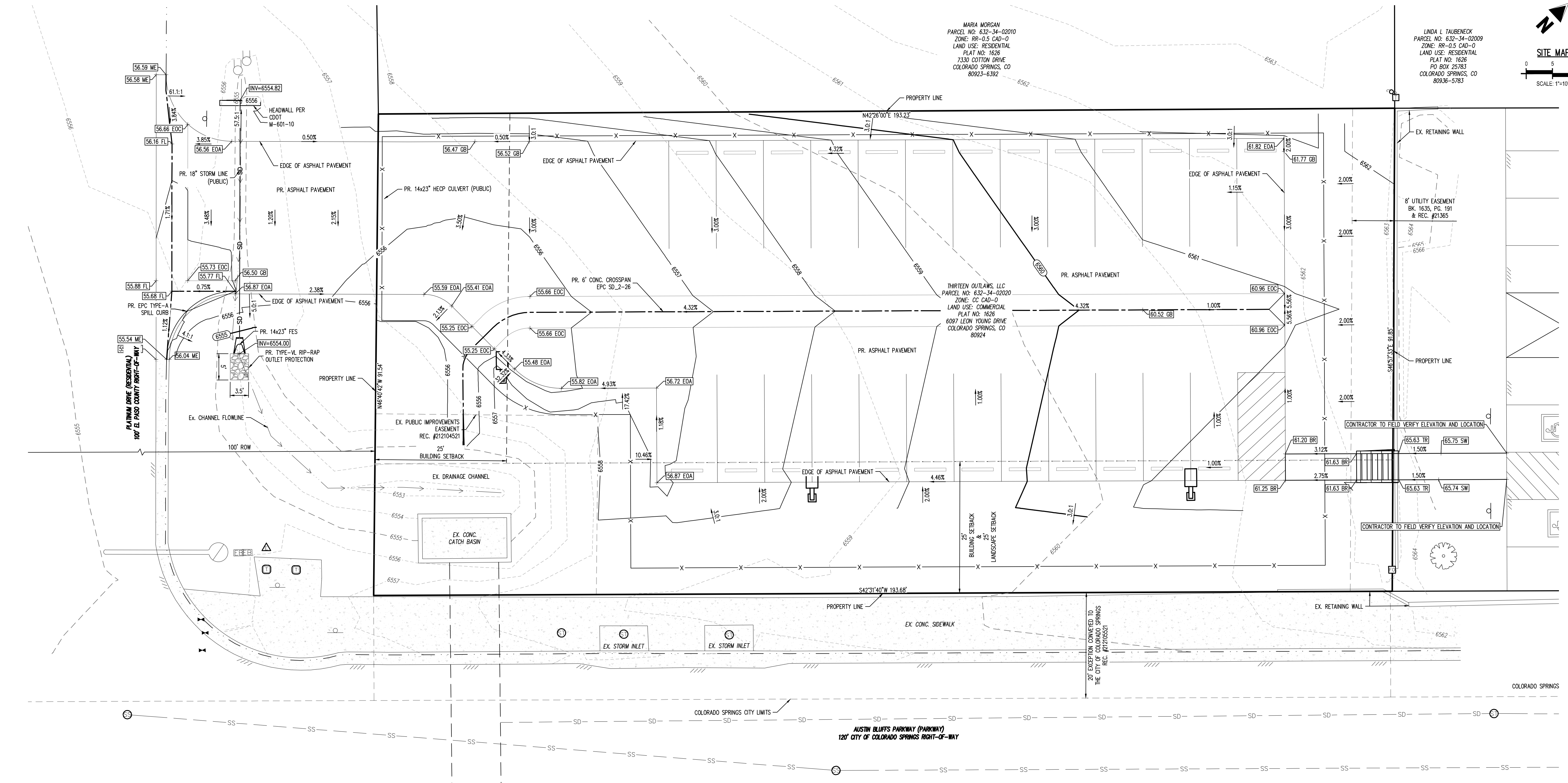
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Project No:	HPT01
Drawn By:	ASA/MRK
Checked By:	CRD
Date:	AUGUST 2023

## DETAIL GRADING

## C2.0

Sheet 3 of 8



### LEGEND

	EXISTING PROPERTY LINE		EXISTING SIGN
	EXISTING EASEMENT		EXISTING TELEPHONE BOX
	EXISTING LANDSCAPE BUFFER		EXISTING ELECTRIC BOX
	EXISTING ASPHALT		EXISTING ELECTRIC METER
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## BENCHMARK

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**CAUTION - NOTICE TO CONTRACTOR**

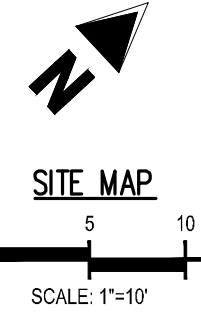
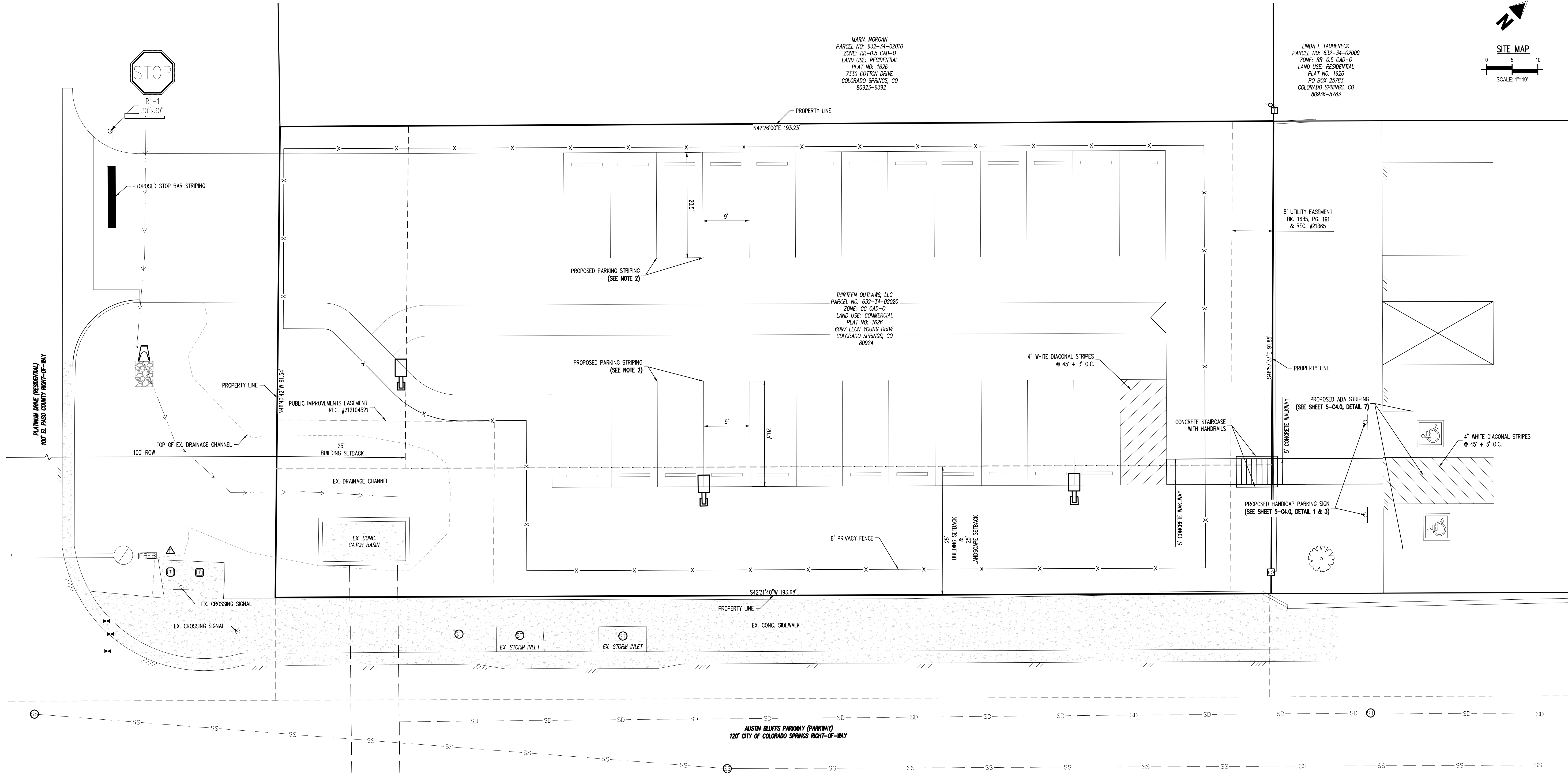
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-  Know what's below.  
Call before you dig.
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C:\Users\jgallaway\OneDrive\Documents\Galloway\Projects\2023\180111 Hope Physical Therapy-Parking Lot\180111 Hope Physical Therapy-Parking Lot.dwg, 2/2/2023, 1:17:00 PM



LEGEND			
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	EXISTING EASEMENT		EXISTING TELEPHONE BOX
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- NOTES**
- REFER TO COLORADO SPRINGS FIRE DEPARTMENT (CSFD) "TIRE APPARATUS ACCESS ROAD MARKINGS" FOR SPECIFIC FIRE LANE SIGNING AND STRIPING DETAILS.
  - ALL PARKING STRIPING SHALL BE 4" WIDE SOLID WHITE 15 MIL THICKNESS EPOXY PAINT.
  - REFER TO CDOT STANDARD PLAN NO. S-627-1 FOR CROSSWALK AND STOP LINE STRIPING DETAILS.
  - PUBLIC STREET SIGNS SHALL BE GREEN AND PRIVATE STREET SIGNS SHALL BE BROWN.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

**BASIS OF BEARINGS**

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**Galloway**

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**HOPE PHYSICAL THERAPY-PARKING LOT**  
**THIRTEEN OUTLAWS, LLC**  
**4850 AUSTIN BLUFFS PKWY**  
**COLORADO SPRINGS, CO 80918**

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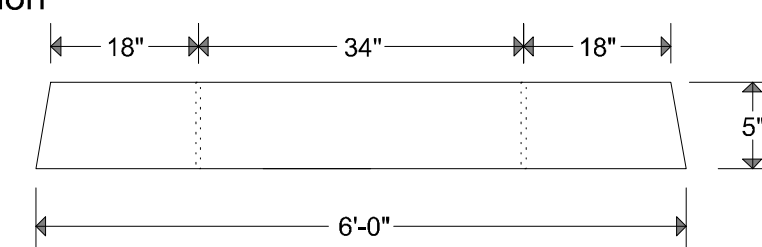
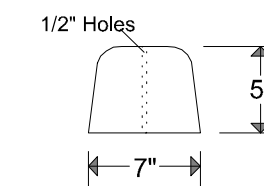
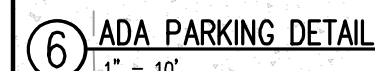
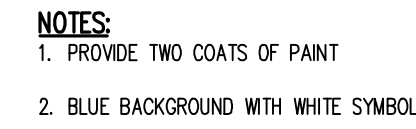
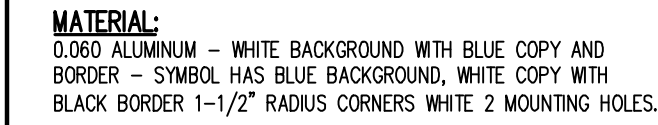
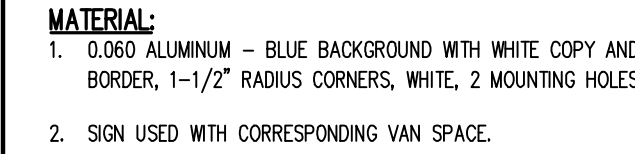
Project No: HPT01  
Drawn By: ASA/MLK  
Checked By: CRD  
Date: AUGUST 2023

**SIGNAGE & STRIPING**

**C3.0**

Sheet 4 of 8






Notes:  
Reinforced With 1 #4 Rebar Lengthwise.  
Weight: 200 lbs.  
5,000 P.S.I. Minimum Strength Envirocore Concrete.  
We Produce A Green And Environmentally Friendly Product.      Model #5800

Copeland Enterprises, Inc. 904 South Lipan Denver, CO 80223	Copeland Standard Wheel Stop  No Scale	Page 40
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1. W = WIDTH SHALL BE 6' FOR LOCAL, 8' FOR COLLECTORS, AND 10' FOR ARTERIAL ROADS.
2. T = SLOPE-OFF RETURN TO BE POURED MONOLITHICALLY, 8" PC FOR LOCAL ROADS, 9" FOR COLLECTORS WITH 6x6 = 4.4 W.W.F. OR # REINFORCING BAR @ 18" EACH WAY.
3.  = 3" MINIMUM ASPHALT DEPTH (2 LIFTS).
4. DESIGN TO SPECIFY ELEVATIONS AT PI AND PCR.

SCALE: NOT TO SCALE

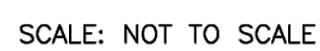
8/11/11

André P. Brackin  
DEPARTMENT OF TRANSPORTATION

Typical Cross Pan  
Layout Detail  
Standard Drawing

REVISION DATE:  
12/8/15

FILE NAME: SD\_2-26



6/23/20

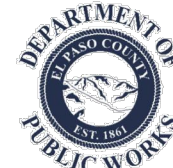
DATE APPROVED:

Typical Curb and Gutter  
Details  
Standard Drawing

REVISION DATE:  
6/23/20

FILE NAME: SD\_2-20

Jennifer E. Irvine  
DEPARTMENT OF PUBLIC WORKS



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SITE DEVELOPMENT PLAN  
HOPE PHYSICAL THERAPY-PARKING LOT  
THIRTEEN OUTLAWS, LLC  
4850 AUSTIN BLUFFS PKWY  
COLORADO SPRINGS, CO 80918

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Project No:	HPT01
Drawn By:	ASA/MRK
Checked By:	CRD
Date:	AUGUST 2023

## SITE DETAILS

## C4.0

Sheet 5 of 8



- GENERAL
1. ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
2. LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIALS AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS SPECIFIED.
3. CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
4. ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
5. THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN." ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
6. LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF ANY ADVERSE CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
7. ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
8. FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
9. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
10. WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
11. ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL, BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
12. LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.

13. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRASSES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
14. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PRODUCT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
15. THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
16. AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLAGE AFTER GRASS SEEDING. GRASS COVER & FERTILIZER BED AREAS SHALL BE AMENDED AT A RATE OF 3 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER AC. YD., ROTOTILLED TO A DEPTH OF 6". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.

17. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND; UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
18. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
19. ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES.
20. ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GRENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
21. ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
22. ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
23. ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
24. ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGING. STEEL EDGING IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.
25. THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPE AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
26. A 3-FEET CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
27. LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, I.E.; MULCH, EDGING, LANDSCAPE FABRIC, ETC.

28. AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD MOUTH.

29. ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.

30. INSTALL DOWNTOWN PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.

31. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.

32. ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DIRECTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER PLANTING HAS BEEN INSTALLED.

33. ALL PLANTING AREAS ON SLOPES OF 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #C1-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUIV.). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
3. ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SO/D/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PUMPED RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOIL, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.

2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER FERTILIZING AND WEEDING, REPLACEMENT OF WEEDS, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE TO PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.

3. DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO PREVENT PONDING. DURING THE MAINTENANCE PERIOD, IN THE EVENT OF ANY CONDUCT AND/OR DISORDERANCES BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE CONTRACTOR AND THE OWNER.

4. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER AND/OR THEIR ASSIGNS.

1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
2. THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
3. THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HEREIN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NOTED THE OWNER NOR THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION OF ANY UTILITIES. THE CONTRACTORS' OBLIGATION IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.



## PROPERTY OWNER

THIRTEEN OUTLAWS, LLC  
4850 AUSTIN BLUFFS PKWY  
COLORADO SPRINGS, CO 80918  
TELE: (719)-439-9263  
ATTN: ADRIAN D. HOPE  
EMAIL: ADRIANDHOPE4WELLNESS.COM

## APPLICANT

THIRTEEN OUTLAWS, LLC  
4850 AUSTIN BLUFFS PKWY  
COLORADO SPRINGS, CO 80918  
TELE: (719)-439-9263  
ATTN: ADRIAN D. HOPE  
EMAIL: ADRIAN@HOPE4WELLNESS.COM

## CIVIL ENGINEER

GALLOWAY & CO., INC.  
1155 KELLY JOHNSON BLVD., SUITE 305  
COLORADO SPRINGS, CO 80920  
TELE: (719) 900-7220  
ATTN: BRADY SHYROCK, P.E.  
EMAIL: BRADYSHYROCK@GALLOWAYUS.COM

## GEOTECHNICAL ENGINEER

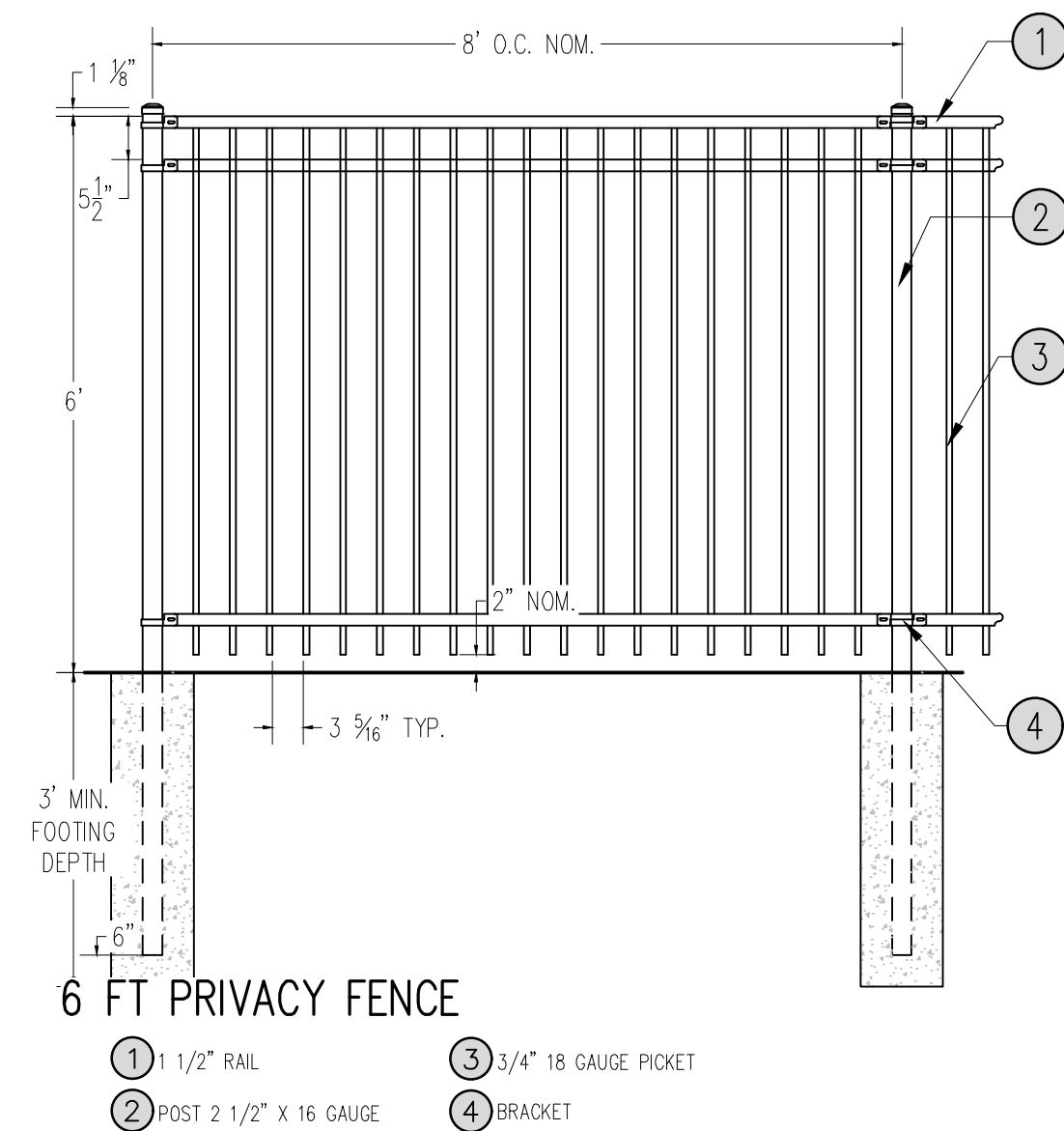
ROCKY MOUNTAIN GEOTECHNICAL, INC  
555 E. PIKES PEAK AVE, SUITE 107  
COLORADO SPRINGS, CO 80903  
TELE: (303) 634-1999  
ATTN: TONY MUNGER, P.E.

## TRAFFIC ENGINEER

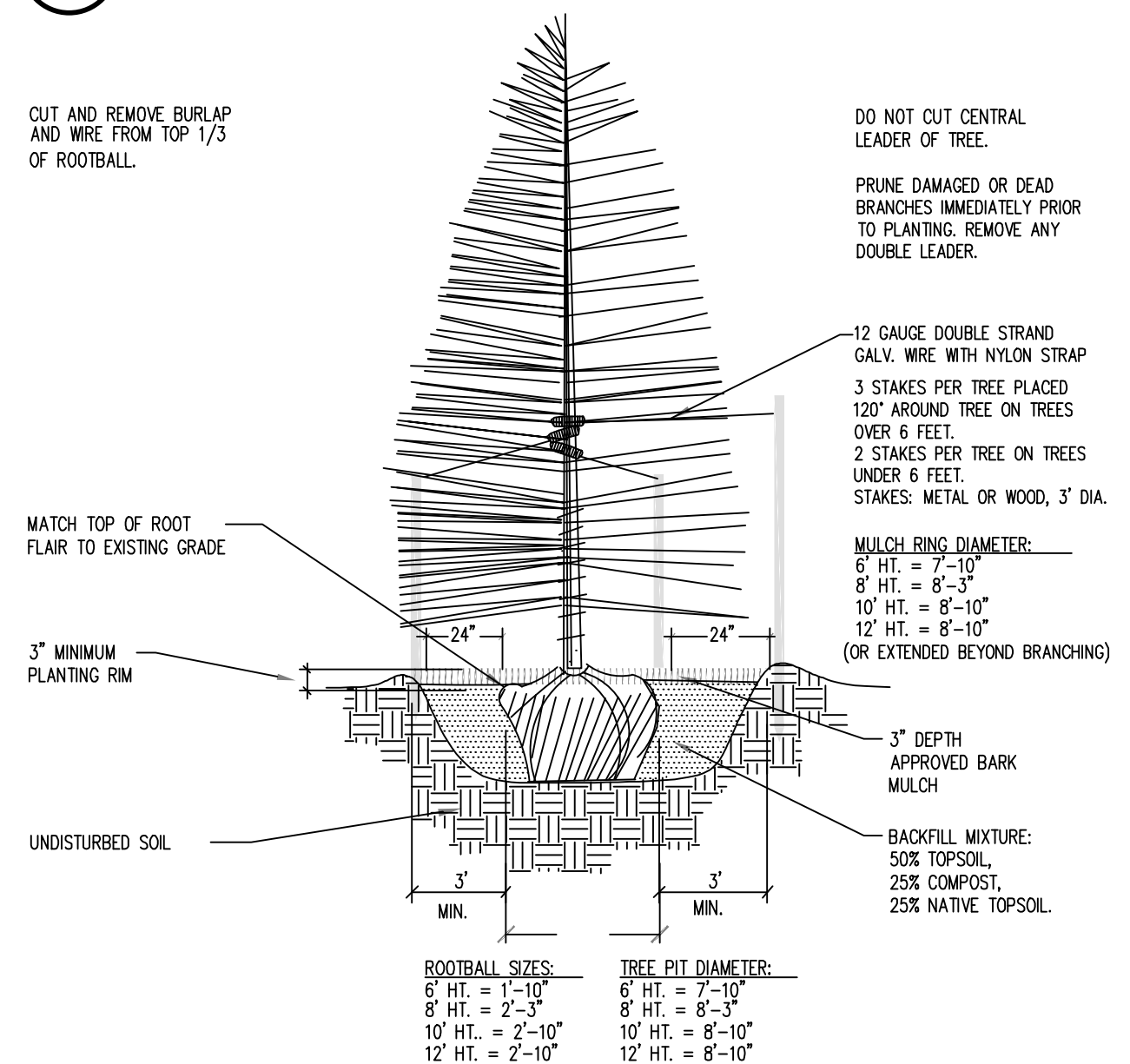
GALLOWAY & CO., INC.  
5500 GREENWOOD PLAZA BLVD, SUITE 200  
GREENWOOD VILLAGE, CO 80111  
TELE: (303) 770-8884  
ATTN: BRIAN HORAN, P.E.  
EMAIL: BRIANHORAN@GALLOWAYUS.COM

SURVEYOR

GALLOWAY & CO., INC.  
1155 KELLY JOHNSON BLVD., SUITE 300  
COLORADO SPRINGS, CO 80920  
TELE: (719) 337-1262  
ATTN: BRIAN DENNIS  
EMAIL: BRIANDENNIS@GALLOWAYUS.COM



1.4 ORNAMENTAL FENCE  
NT.S.



1.3 CONIFEROUS TREE PLANTING  
N.T.S.

CODE SECTION	CATEGORY	FORMULA	CALCULATION	REQUIRED	PROVIDED	ABBREVIATION DENOTED ON PLAN
6.2.2.B TABLE 6.1	LANDSCAPE SETBACK	AUSTIN BLUFFS PKWY/ PRINCIPLE ARTERIAL) 25 FT SETBACK & 1 TREE/ 25 LF	180 LF SETBACK @ 1 TREE / 20 LF	25 FT SETBACK & 10 TREES	25 FT SETBACK & 10 TREES	(A6)
6.2.2.D	LANDSCAPE BUFFER	NON-RESIDENTIAL ADJACENT TO RESIDENTIAL (ZONING) 15 FT BUFFER & 1 TREE/ 25 LF	150 LF BUFFER @ 1 TREE / 25 LF	15 FT BUFFER & 3 TREES	5 FT BUFFER & 8+ TREES	(N6)
6.2.2.E	INTERNAL LANDSCAPE	NON RESIDENTIAL - 5%	TOTAL AREA 17,736 SF X 0.05	887 SF	7,264 SF (40%)	N/A
6.2.2.F	INTERNAL LANDSCAPE	1 TREE / 500 SF	887 SF / 500	2 TREES	2 TREES	(N)
6.2.2.C	MOTOR VEHICLE	1 TREE / 15 PARKING SPACES	25 PARKING SPACES / 15	2 TREES	2 TREES	(M)
6.2.2.C	VEHICLE LOT SCREENING	20' LENGTH OF NORTH BOUNDARY	TOTAL NORTH BOUNDARY FRONTAGE 117 LF X 0.69	78 LF SCREENED	78 LF SCREENED	
6.2.2.C	VEHICLE LOT SCREENING	23' LENGTH OF AUSTIN BLUFFS PKWY	TOTAL AUSTIN BLUFFS PKWY FRONTAGE 117 LF X 0.69	78 LF SCREENED	78 LF SCREENED	N/A

6162 S. Willow Drive, Suite 320  
Greenwood Village, CO 80111  
303.770.8884  
[GallowayUS.com](http://GallowayUS.com)

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SITE DEVELOPMENT PLAN  
HOPE PHYSICAL THERAPY-PARKING LOT  
  
THIRTEEN OUTLAWS, LLC  
  
4850 AUSTIN BLUFFS PKWY  
COLORADO SPRINGS, CO 80918

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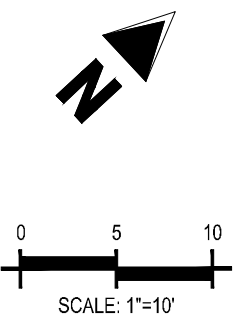
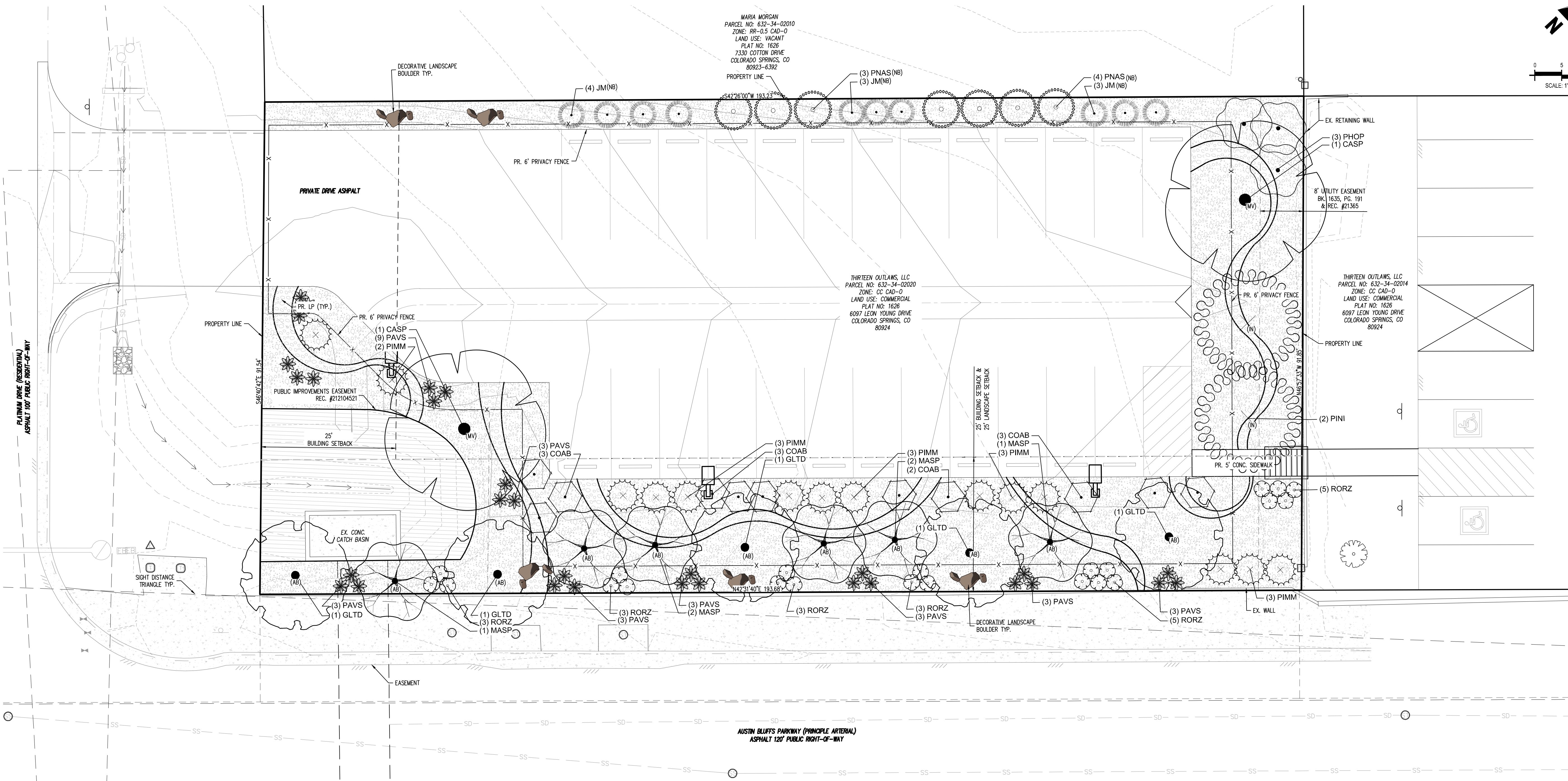
Project No:	HPT01
Drawn By:	ASA/MRK
Checked By:	CRD
Date:	AUGUST 2023

LANDSCAPE DETAILS

# C5.0

Sheet 6 of 8





PLANT SCHEDULE

DECIDUOUS TREES								EVERGREEN TREES							
	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL. / SIZE	HT. X SPD.		CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	
	CASP	2	NORTHERN CATALPA	CATALPA SPECIOSA	B&B	2" CAL	50' X30'		JM	10	MOONGLOW JUNIPER	JUNIPERUS SCOPULORUM 'MOONGLOW'	B&B	6' HT	20' X5'
	GLTD	5	STREET KEEPER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES' TM	B&B	2" CAL	45' X20'		PINI	2	AUSTRIAN PINE	PINUS NIGRA	B&B	6' HT	50' X20'
EVERGREEN TREES															
	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL. / SIZE	HT. X SPD.		CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	
	PNAS	7	ARNOLD SENTINEL AUSTRIAN PINE	PINUS NIGRA 'ARNOLD SENTINEL'	B&B	6' HT	25' X7'		GLTD	5	STREET KEEPER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES' TM	B&B	2" CAL	45' X20'
	MASP	6	SPRING SNOW CRABAPPLE	MALUS X 'SPRING SNOW'	B&B	1.5" CAL	20' X15'		GLTD	5	STREET KEEPER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES' TM	B&B	2" CAL	45' X20'
ORNAMENTAL TREES															
	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL. / SIZE	HT. X SPD.		CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	
	MASP	6	SPRING SNOW CRABAPPLE	MALUS X 'SPRING SNOW'	B&B	1.5" CAL	20' X15'		GLTD	5	STREET KEEPER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES' TM	B&B	2" CAL	45' X20'
	GLTD	5	STREET KEEPER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES' TM	B&B	2" CAL	45' X20'		GLTD	5	STREET KEEPER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES' TM	B&B	2" CAL	45' X20'
DECIDUOUS SHRUBS															
	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.									
	COAB	11	IVORY HALO DOGWOOD	CORNUS ALBA 'BAILHALO' TM	#5 CONT.	6' X6'			GLTD	5	STREET KEEPER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES' TM	B&B	2" CAL	45' X20'
	PHOP	3	COPPERTINA NINEBARK	PHYSCARPUS OPULIFOLIUS 'MINDIA' TM	#5 CONT.	10' X10'			GLTD	5	STREET KEEPER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES' TM	B&B	2" CAL	45' X20'
	RORZ	22	KNOCK OUT SHRUB ROSE	ROSA X 'RADRAZZ' TM	#5 CONT.	3' X3'			GLTD	5	STREET KEEPER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES' TM	B&B	2" CAL	45' X20'
	GLTD	5	STREET KEEPER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES' TM	B&B	2" CAL	45' X20'		GLTD	5	STREET KEEPER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES' TM	B&B	2" CAL	45' X20'

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SITE DEVELOPMENT PLAN  
HOPE PHYSICAL THERAPY-PARKING LOT

THIRTEEN OUTLAWS, LLC

4850 AUSTIN BLUFFS PKWY  
COLORADO SPRINGS, CO 80918

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Project No: HPT01

Drawn By: ASA/MRK

Checked By: CRD

Date: AUGUST 2023

ALTERNATIVE LANDSCAPE PLAN

C5.1

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SITE DEVELOPMENT PLAN  
HOPE PHYSICAL THERAPY-PARKING LOT  
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Project No: HPT01  
Drawn By: ASA/MRK  
Checked By: CRD  
Date: AUGUST 2023

PHOTOMETRIC PLAN AND  
DETAILS

C6.0

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