PROJECT CONTACTS

PROPERTY OWNER

THIRTEEN OUTLAWS, LLC 4850 AUSTIN BLUFFS PKWY COLORADO SPRINGS, CO 80918 TELE: (719)-439-9263 ATTN: ADRIAN D. HOPE EMAIL: ADRIAN@HOPE4WELLNESS.COM

APPLICANT

THIRTEEN OUTLAWS, LLC 4850 AUSTIN BLUFFS PKWY COLORADO SPRINGS, CO 80918 TELE: (719)-439-9263 ATTN: ÀDRÍAN D. HOPE EMAIL: ADRIAN@HOPE4WELLNESS.COM

CIVIL ENGINEER

GALLOWAY & CO., INC. 1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, CO 80920 TELE: (719) 900–7220 ATTN: BRADY SHYROCK, P.E. EMAIL: BRADYSHYROCK@GALLOWAYUS.COM

GEOTECHNICAL ENGINEER ROCKY MOUNTAIN GEOTECHNICAL, INC 555 E. PIKES PEAK AVE, SUITE 107 COLORADO SPRINGS, CO 80903 TELE: (303) 634–1999 ATTN: TONY MUNGER, P.E.

TRAFFIC ENGINEER GALLOWAY & CO., INC. 5500 GREENWOOD PLAZA BLVD, SUITE 200

GREENWOOD VILLAGE, CO 80111 TELE: (303) 770-8884 ATTN: BRIAN HORAN, P.E. EMAIL: BRIANHORAN@GALLOWAYUS.COM

SURVEYOR

GALLOWAY & CO., INC. 1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, CO 80920 TELE: (719) 337–1262 ATTN: BRIAN DENNIS EMAIL: BRIANDENNIS@GALLOWAYUS.COM

SIT	E PLAN			
GENERAL DEVELOPMENT DATA				
SITE ADDRESS	4815 PLATINUM DRIVE, COLORADO SPRINGS, CO 80918			
JURISDICTION	EL PASO COUNTY, COLORADO			
TAX SCHEDULE NUMBER	6323402020			
COUNTY FILE NUMBER	PPR-23-235			
SITE AREA/TOTAL ACREAGE	17,737 SF / 0.407 ACRES			
DEVELOPMENT SCHEDULE	SUMMER 2023			
AUSTIN BLUFFS PARKWAY	REQUIRED SETBACK: 25' BUILDING SETBACK – 25' LANDSCAPE SETBA PROPOSED SETBACK: 25' BUILDING SETBACK – 25' LANDSCAPE SETBA			
PLATINUM DRIVE	REQUIRED SETBACK: 25' BUILDING SETBACK – 0' LANDSCAPE SETBAC PROPOSED SETBACK: 25' BUILDING SETBACK – 0' LANDSCAPE SETBA			
OPEN SPACE, LANDSCAPING, AND IMPERMEABLE SURFACE PERCENTAGES	OPEN SPACE: 5,243 SQ. FT. / 29.56% \pm LANDSCAPING: 2,378 SQ. FT. / 13.41% \pm IMPERMEABLE SURFACE: 10,116 SQ. FT. / 57.03% \pm			
LOCATION OF NO-BUILD AREAS	NO GRADING OR IMPROVEMENTS WILL BE OCCURRING IN ANY FLOOD PLAINS OR DRAINAGE AREAS.			
EXISTING DEVELOPMENT DATA				
ZONING DISTRICT	CC-CAD O			
PROPOSED DEVELOPMENT DATA				
PROPOSED LAND USE	PARKING LOT			

LIST OF ABBREVIATIONS
SHT – SHEET Δ – DEFLECTION ANGLE
L – LENGTH R – RADIUS
CB – CHORD BEARING C – CHORD LENGTH
N – NORTH/NORTHING W – WEST
E – EAST/EASTING S – SOUTH
DET – DETAIL EX – EXISTING
W/ - WTH PC - POINT OF CURVATURE/PORTLAND CEMENT
WWF - WELDED WIRE FABRIC VERT - VERTICAL
OC – ON CENTER FDC – FIRE DEPARTMENT CONNECTION
CT – COURT DR – DRIVE
TYP - TYPICAL REC - RECEPTION NUMBER
ø, dia – diameter PT – point of tangency
MIN – MINIMUM MAX – MAXIMUM
HDPE – HIGH DENSITY POLYETHYLENE

PARKING TABLE PARKING RATIO BUILDING INFO PARKING REQUIRED PARKING PROVIDED REQUIRED 1 / 250 SQ FT 3,099 SF ± 13 25 ADA (INCLUDED IN TOTAL COUNT) – ADA PARKING PROVIDED AT EXISTING BUILDING 1 2

THIRTEEN OUTLAWS LLC HOPE PHYSICAL THERAPY-PARKING LOT

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

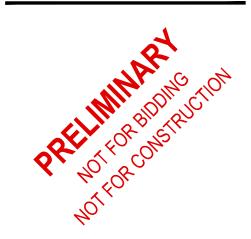
CONSTRUCTION DOCUMENTS



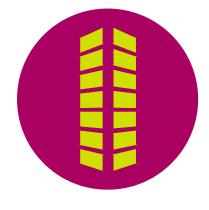
<u>SITE MAP</u>



303.770.8884 GallowayUS.com

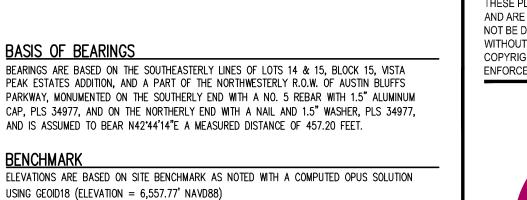


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SITE DEVELOPMENT PLAN HOPE PHYSICAL THERAPY-PARKING LOT	THIRTEEN OUTLAWS, LLC	4850 AUSTIN BLUFFS PKWY COLORADO SPRINGS, CO 80918
# Date	Issue / Description	Init.
- - - - - - - - -		
Project No:		HPT01
Drawn By:		ASA/MRK
Drawn By: Checked By:		ASA/MRK CRD

Checked By:	C
Date:	AUGUST 2
COVER SHEET	



BENCHMARK ELEVATIONS ARE BASED ON SITE BENCHMARK AS NOTED WITH A COMPUTED OPUS SOLUTION USING GEOID18 (ELEVATION = 6,557.77' NAVD88)

BASIS OF BEARINGS

ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS

A. SHYROCK, COLORADO P.E. NO. 38164	D/
ER'S STATEMENT	

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENT SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

ADRIAN D. HOPE THIRTEEN OUTLAWS, LLC

EL PASO COUNTY

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/ OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/ OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS. THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

DATE

DUNTY ENGINEER / ECM ADMINISTRATOR	
CD_EILING NO.	
R-23-024	

GENERAL NOTES:

- 1. ALL SITE LIGHTING OR EXTERIOR LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR SHIELD TO PREVENT LIGHT SPILLAGE ONTO ADJACENT PROPERTIES AND ROADWAYS.
- ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTRACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982 TO BEGIN A SIGN

PERMIT APPLICATION. ~4.~ THE APPLICANT TOR PROPERTY OWNER) HAS ATTESTED THERE ARE NO SEPARATE MINERAL ESTATE OWNER(S) IDENTIFIED AND NO FURTHER ACTION WAS TAKEN.

5. ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER EL PASO COUNTY'S STANDARD DRAWINGS AND SPECIFICATIONS. EL PASO COUNTY'S INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.

PROJECT DESCRIPTION:

THE PROPOSED PARKING LOT WILL PROVIDE ADDITIONAL PARKING TO CLIENTS OF THE HOPE PHYSICAL THERAPY BUILDING ADJACENT TO THE SUBJECT PROPERTY IN COLORADO SPRINGS AND EL PASO COUNTY. THE PARKING LOT WILL HAVE 24 PARKING SPACES, TWO OF WHICH ARE ADA ACCESSIBLE PARKING SPACES.

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below.



ENGINEER PRIOR TO CONSTRUCTION. Call before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

Sheet 1 of 8

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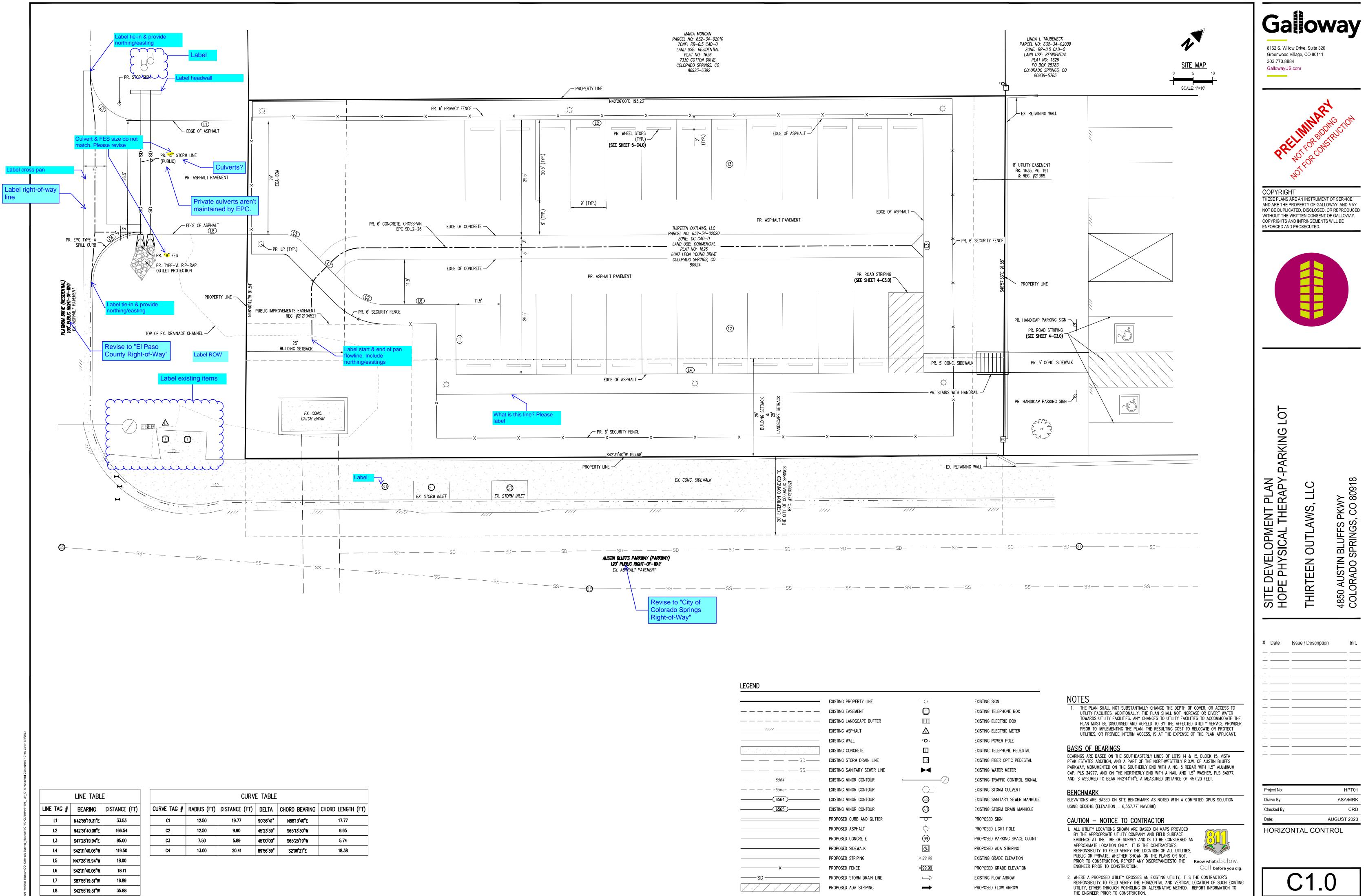
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Sheet 2 of 8

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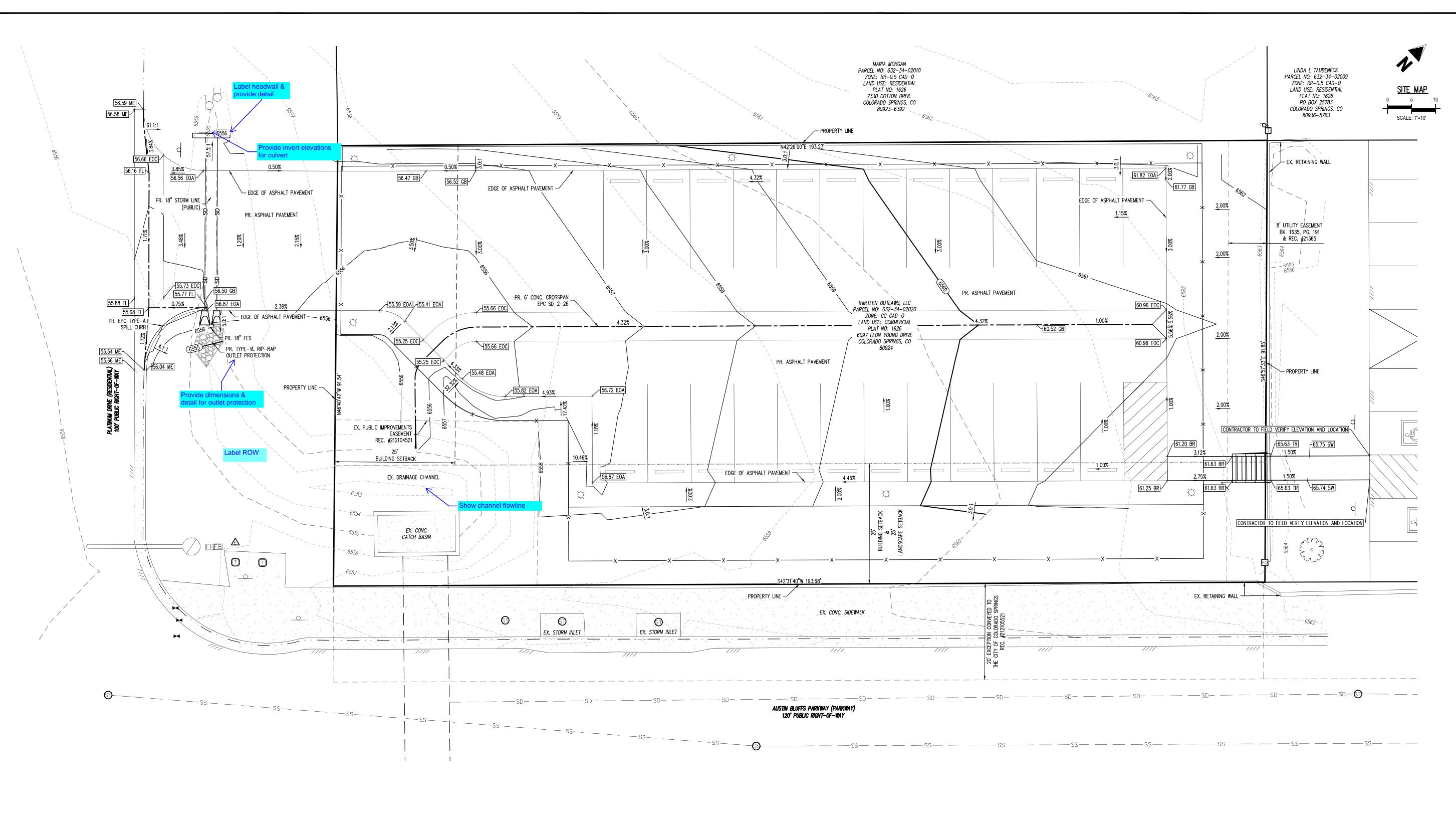
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EXISTING PROPERTY LINE
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EXISTING ASPHALT
EXISTING WALL
EXISTING CONCRETE
EXISTING STORM DRAIN LINE
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PROPOSED CURB AND GUTTER
PROPOSED ASPHALT
PROPOSED CONCRETE
PROPOSED SIDEWALK
PROPOSED STRIPING
PROPOSED FENCE
PROPOSED STORM DRAIN LINE
PROPOSED ADA STRIPING

€

EXISTING SIGN EXISTING TELEPHONE BOX EXISTING ELECTRIC BOX EXISTING ELECTRIC METER EXISTING POWER POLE EXISTING TELEPHONE PEDESTAL EXISTING FIBER OPTIC PEDESTAL EXISTING WATER METER EXISTING TRAFFIC CONTROL SIGNAL EXISTING STORM CULVERT EXISTING SANITARY SEWER MANHOLE EXISTING STORM DRAIN MANHOLE PROPOSED SIGN PROPOSED LIGHT POLE PROPOSED PARKING SPACE COUNT PROPOSED ADA STRIPING EXISTING GRADE ELEVATION PROPOSED GRADE ELEVATION EXISTING FLOW ARROW PROPOSED FLOW ARROW

LEGEND



LOT ARKING PLAN RAPY. ∞ \mathbf{O} 60 _____ $\succ \bar{\infty}$ ENT F AWS, Δ FS SITE DEVELOPME HOPE PHYSICAL OUTL BLUFI) AUSTIN ORADO S THIRTEEN 4850 COLC # Date Issue / Description Init. _____ _ ____ _____ _ ____ _ ____ _ _ _____ _ ____ _ ____

Galloway

MINARY

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Greenwood Village, CO 80111

303.770.8884

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BASIS OF BEARINGS

BEARINGS ARE BASED ON THE SOUTHEASTERLY LINES OF LOTS 14 & 15, BLOCK 15, VISTA PEAK ESTATES ADDITION, AND A PART OF THE NORTHWESTERLY R.O.W. OF AUSTIN BLUFFS PARKWAY, MONUMENTED ON THE SOUTHERLY END WITH A NO. 5 REBAR WITH 1.5" ALUMINUM CAP, PLS 34977, AND ON THE NORTHERLY END WITH A NAIL AND 1.5" WASHER, PLS 34977, AND IS ASSUMED TO BEAR N42°44'14"E A MEASURED DISTANCE OF 457.20 FEET.

BENCHMARK

ELEVATIONS ARE BASED ON SITE BENCHMARK AS NOTED WITH A COMPUTED OPUS SOLUTION USING GEOID18 (ELEVATION = 6,557.77' NAVD88)

CAUTION - NOTICE TO CONTRACTOR

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Call before you dig.



HPT01

CRD

ASA/MRK

AUGUST 2023

Project No:

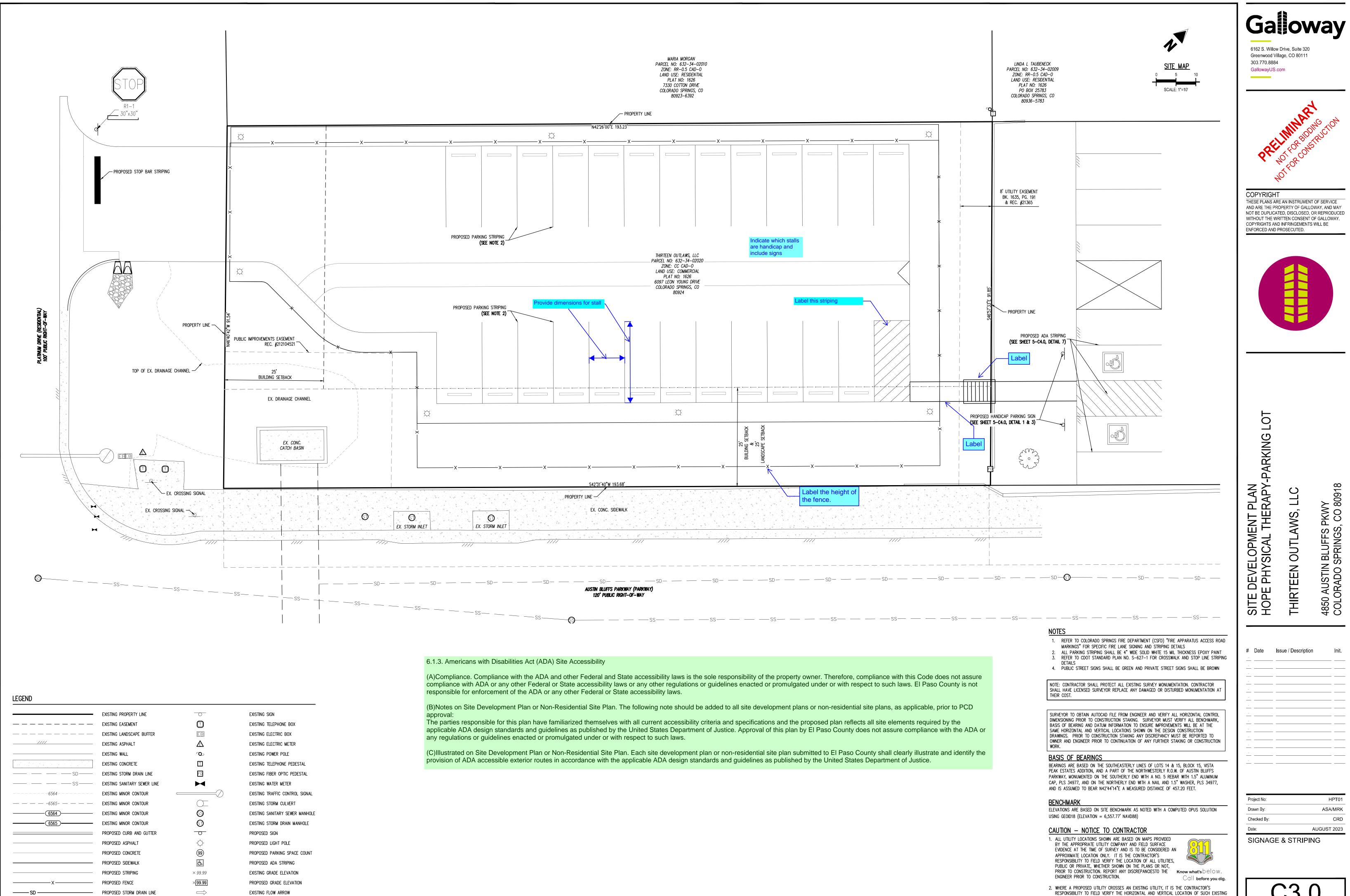
Drawn By:

Checked By:

DETAIL GRADING

Date:

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



PROPOSED ADA STRIPING

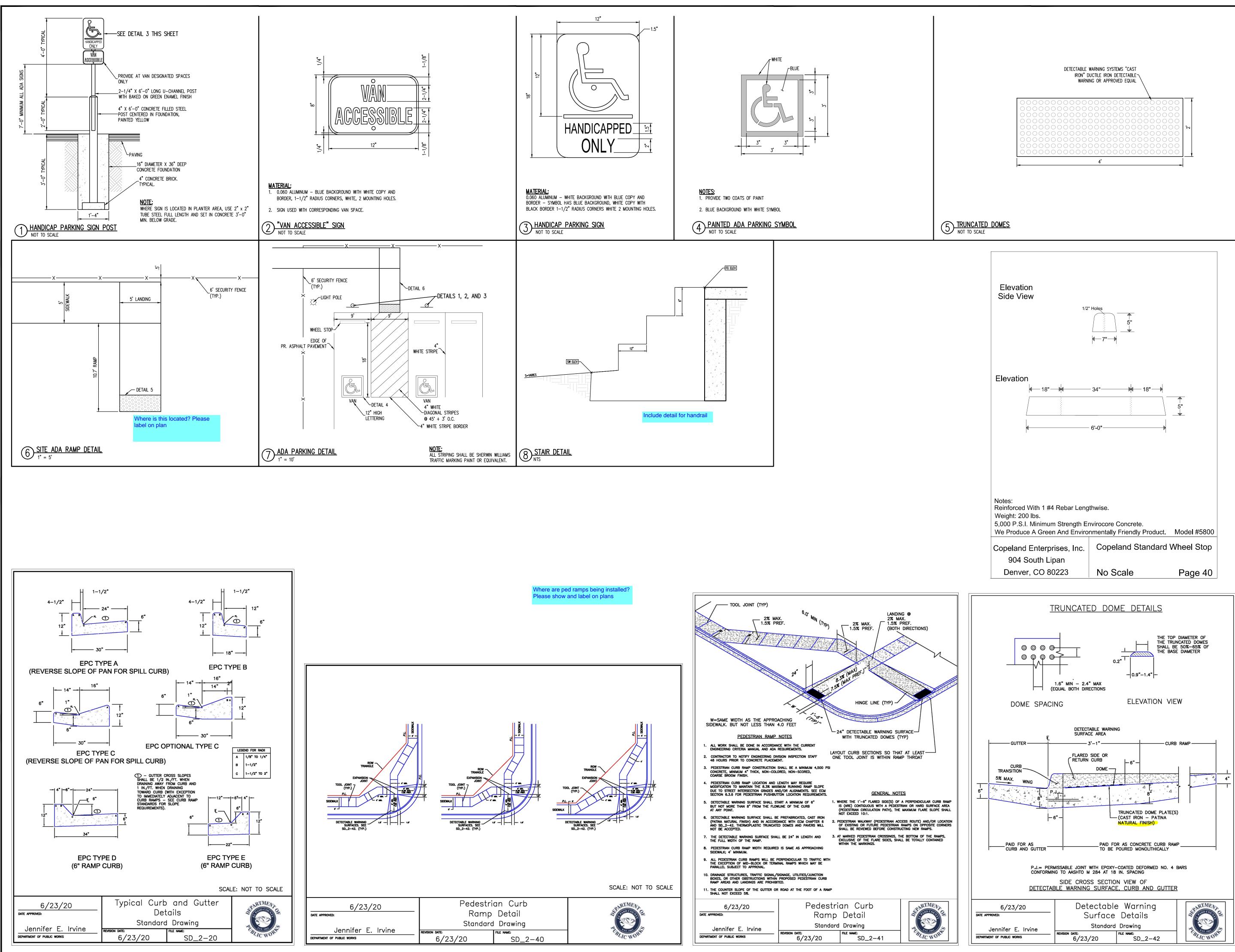
PROPOSED FLOW ARROW

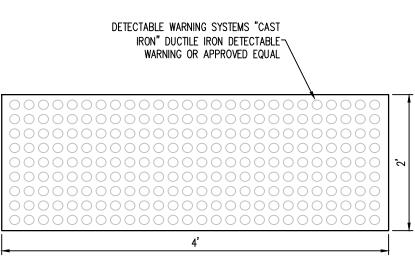
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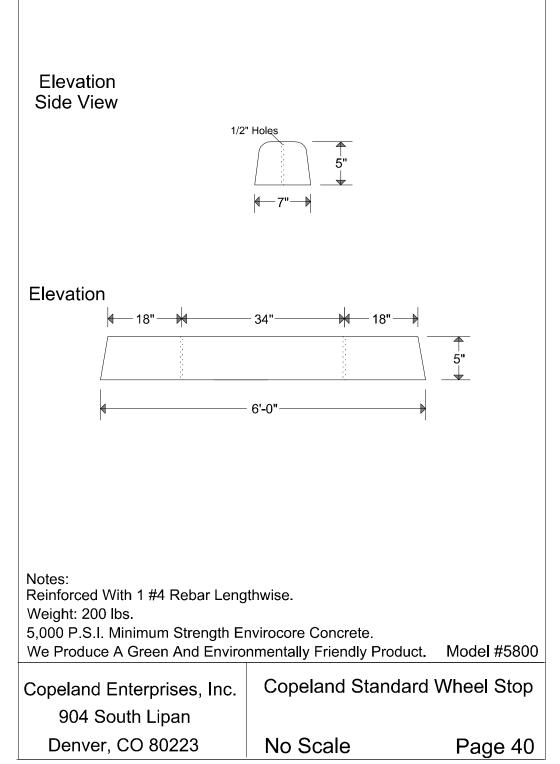


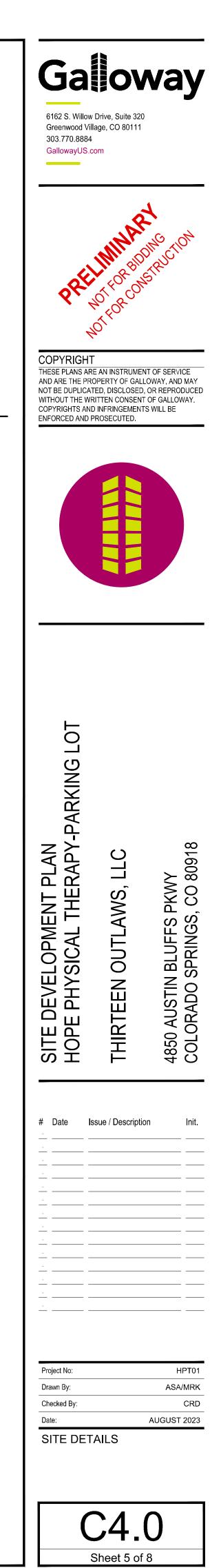
UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

Sheet 4 of 8









	LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A	
	DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.	
	CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS. ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.	and an all and a second
	THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).	Straw
	LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.	
8.	ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF. FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.	
10.	WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED. ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL, BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK	O ZASA
	PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.	A CAR
13.	RADING AND SOIL PREPARATION CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.	
	AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.	
16.	THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION. AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.	PROJECT CONTACTS
18.	ALL DECIDUOUS TREES SHALL HAVE FULL, WELL—SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND; UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.	PROPERTY OWNER THIRTEEN OUTLAWS, LLC 4850 AUSTIN BLUFFS PKWY COLORADO SPRINGS, CO 80918 TELE: (719)-439-9263 ATTN: ADRIAN D. HOPE EMAIL: ADRIAN@HOPE4WELLNESS.COM
19.	ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO 'T-STAKES' SHALL BE USED FOR TREES.	APPLICANT THIRTEEN OUTLAWS, LLC 4850 AUSTIN BLUFFS PKWY
	ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES. ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.	COLORADO SPRINGS, CO 80918 TELE: (719)-439-9263 ATTN: ADRIAN D. HOPE EMAIL: ADRIAN@HOPE4WELLNESS.COM
22.	ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.	CIVIL ENGINEER GALLOWAY & CO., INC.
24.	ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL. ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6—INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.	ALLOWAT & CO., INC. 1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, CO 80920 TELE: (719) 900–7220 ATTN: BRADY SHYROCK, P.E. EMAIL: BRADYSHYROCK@GALLOWAYUS.COM
	THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.	GEOTECHNICAL ENGIN
27.	A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS. LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, IE.; MULCH, EDGER, LANDSCAPE FABRIC, ETC.	ROCKY MOUNTAIN GEOTECHNICAL, INC 555 E. PIKES PEAK AVE, SUITE 107 COLORADO SPRINGS, CO 80903 TELE: (303) 634–1999 ATTN: TONY MUNGER, P.E.
ULCHIN	G	TRAFFIC ENGINEER
	AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH. ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.	GALLOWAY & CO., INC. 5500 GREENWOOD PLAZA BLVD, SUITE 20 GREENWOOD VILLAGE, CO 80111 TELE: (303) 770–8884 ATTN: BRIAN HORAN, P.E.
	INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.	EMAIL: BRIANHORAN@GALLOWAYUS.COM
32.	ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.	GALLOWAY & CO., INC. 1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, CO 80920 TELE: (719) 337–1262 ATTN: BRIAN DENNIS
	ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #CT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.	EMAIL: BRIANDENNIS@GALLOWAYUS.COM
1. AN	ATION CONCEPT Automatic irrigation system shall be installed and operational by the time of final inspection. The entire irrigation system shall be installed by a qualified igation contractor.	
	e irrigation system will have appropriate backflow prevention devices installed to prevent contamination of the water source if applicable. Non-turf/seed planted areas will be drip irrigated. Turf sod/seed shall receive pop-up spray irrigation for head to head coverage.	
4. ALL Hyi	_ PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT DROZONE.	
Pri Fe/	E IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED ECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS ATURING SENSORY INPUT CAPABILITIES.	
1. T	SCAPE GUARANTEE AND MAINTENANCE He landscape contractor shall guarantee all trees, shrubs, perennials, sod, seeded areas, and irrigation systems for a period of <u>one year</u> from the Date of the owner's acceptance. The contractor shall replace, at his own expense, any plants which die in that time, or repair any portions of the	
IF 2. T P S	RRIGATION SYSTEM WHICH OPERATE IMPROPERLY. He Landscape contractor shall maintain the landscape in a neat, clean, and healthy condition for a period of <u>90 days.</u> This shall include proper Runing, Mowing and Aeration of Lawns, weeding, replacement of Mulch, Removal of Litter, and the appropriate watering of all plantings. Irrigation Hall be maintained in proper working order, with scheduling adjustments by season and to maximize water conservation. If site opens during winter,	
3. D T E R	O AVOID FREEZE DAMAGE ON PLANTINGS, THE <u>90 DAYS</u> SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK. URING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT HE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO LIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE	
4. L	irchitect and owner. Andscape improvements and maintenance shall be the responsibility of owner and/or their assigns. IY NOTES	
I. TH U1	IE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR ILITY LOCATION PRIOR TO ANY CONSTRUCTION.	
PL	IS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE ANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.	
PA UN	IE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE ART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE IDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE INDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND	



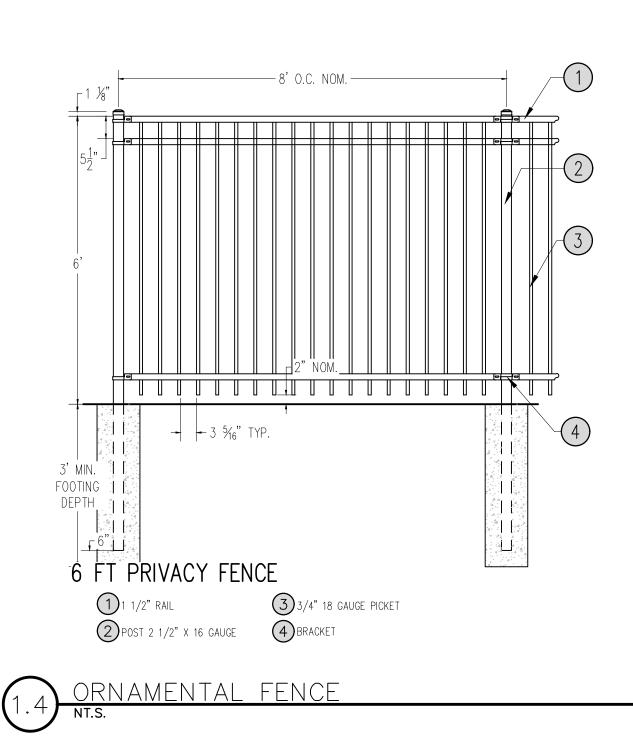
VICINITY MAP

TACTS

/NER

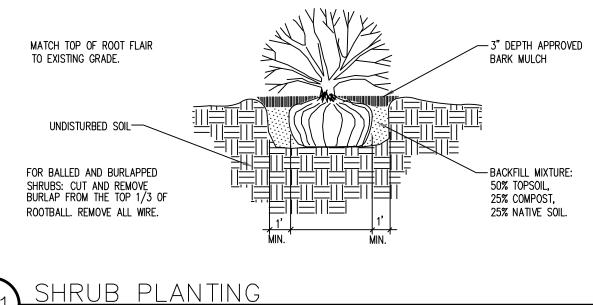
ENGINEER

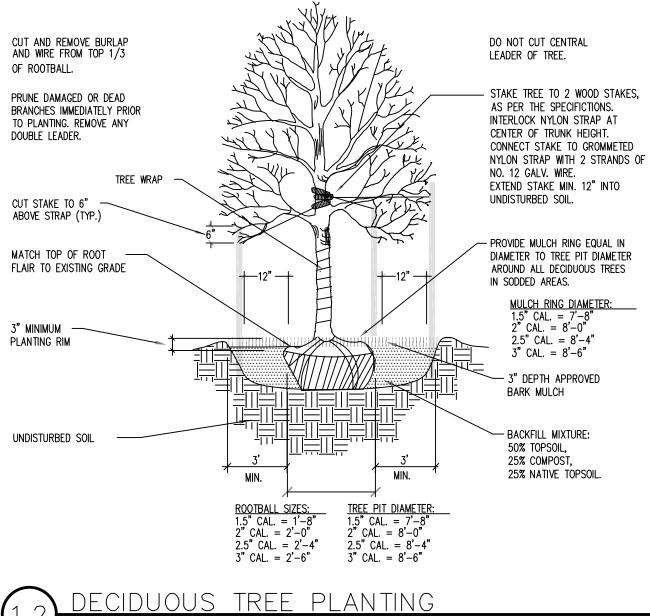
HNICAL, INC SUITE 107 0903

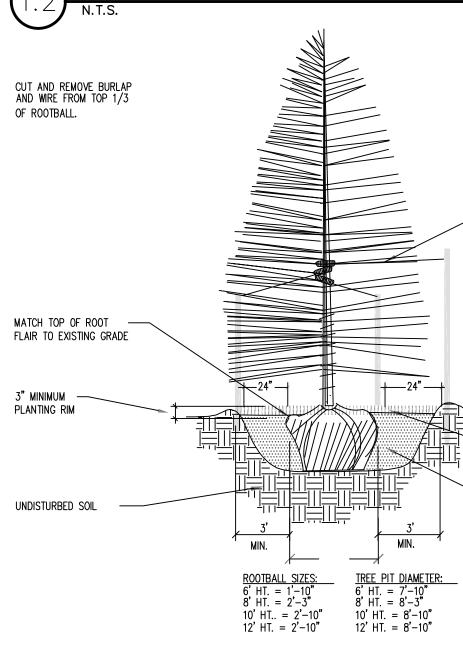


CODE SECTION	CATEGORY	FORMULA	CALCULATION	REQUIRED	PROVIDED	ABBREVIATION DENOTED ON PLAN
6.2.2.B TABLE 6-1	LANDSCAPE SETBACKS	AUSTIN BLUFFS PKWY (PRINCIPLE ARTERIAL) 25 FT SETBACK & 1 TREE/ 20 LF	193 LF SETBACK @ 1 TREE / 20 LF	25 FT SETBACK & 10 TREES	25 FT SETBACK & 10 TREES	(AB)
6.2.2.D	LANDSCAPE BUFFER	NON-RESIDENTIAL ADJACENT TO RESDIENTIAL (ZONING) 15 FT BUFFER & 1 TREE/ 25 LF	193 LF BUFFER @ 1 TREE / 25 LF	15 FT BUFFER & 8 TREES	5 FT BUFFER & 8+ TREES	(NB)
6.2.2.E 2	INTERNAL LANDSCAPE	NON RESIDENTIAL - 5%	TOTAL AREA 17,736 SF X 0.05	887 SF	7,264 SF (40%)	N/A
6.2.2.E 2	INTERNAL LANDSCAPE	1 TREE / 500 SF	887 SF / 500	2 TREES	2 TREES	(IN)
6.2.2.C	MOTOR VEHCILE	1 TREE / 15 PARKING SPACES	25 PARKING SPACES / 15	2 TREES	2 TREES	(MV)
6.2.2.C	VEHCILE LOT SCREENING	2/3 LENGTH OF NORTH BOUNDARY	TOTAL NORTH BOUNDARY FRONTAGE 117 LF X 0.66	78 LF SCREENED	78 LF SCREENED	N/A
6.2.2.C	VEHCILE LOT SCREENING	2/3 LENGTH OF AUSTIN BLUFFS PKWY	TOTAL AUSTIN BLUFFS PKWY FRONTAGE 117 LF X 0.66	78 LF SCREENED	78 LF SCREENED	N/A

N.T.S







CONIFEROUS TREE PLANTING . J N. T. S.

DOUBLE LEADER. -12 GAUGE DOUBLE STRAND GALV. WIRE WITH NYLON STRAP

UNDER 6 FEET. STAKES: METAL OR WOOD, 3' DIA. $\frac{MULCH RING DIAMETER:}{6' HT. = 7'-10''}$ 8' HT. = 8'-3''10' HT. = 8'-10''12' HT. = 8'-10''

(OR EXTENDED BEYOND BRANCHING)

— 3" DEPTH APPROVED BARK MULCH

BACKFILL MIXTURE:
50% TOPSOIL,
25% COMPOST,
25% NATIVE TOPSOIL.

BACKFILL MIXTURE:
50% TOPSOIL,
25% COMPOST,
25% NATIVE TOPSOIL.

MULCH RING DIAMETER:

 $\begin{array}{rrrr} 1.5" \ \text{CAL.} = 7'-8" \\ 2" \ \text{CAL.} = 8'-0" \\ 2.5" \ \text{CAL.} = 8'-4" \\ 3" \ \text{CAL.} = 8'-6" \end{array}$

— 3" DEPTH APPROVED BARK MULCH

DO NOT CUT CENTRAL LEADER OF TREE. PRUNE DAMAGED OR DEAD BRANCHES IMMEDIATELY PRIOR TO PLANTING. REMOVE ANY

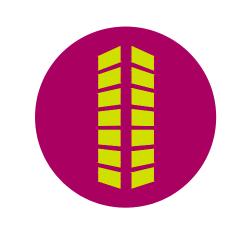
3 STAKES PER TREE PLACED 120° AROUND TREE ON TREES OVER 6 FEET. 2 STAKES PER TREE ON TREES UNDER 6 FEET.

Galloway 6162 S. Willow Drive, Suite 320 Greenwood Village, CO 80111 303.770.8884

GallowayUS.com _____

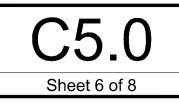


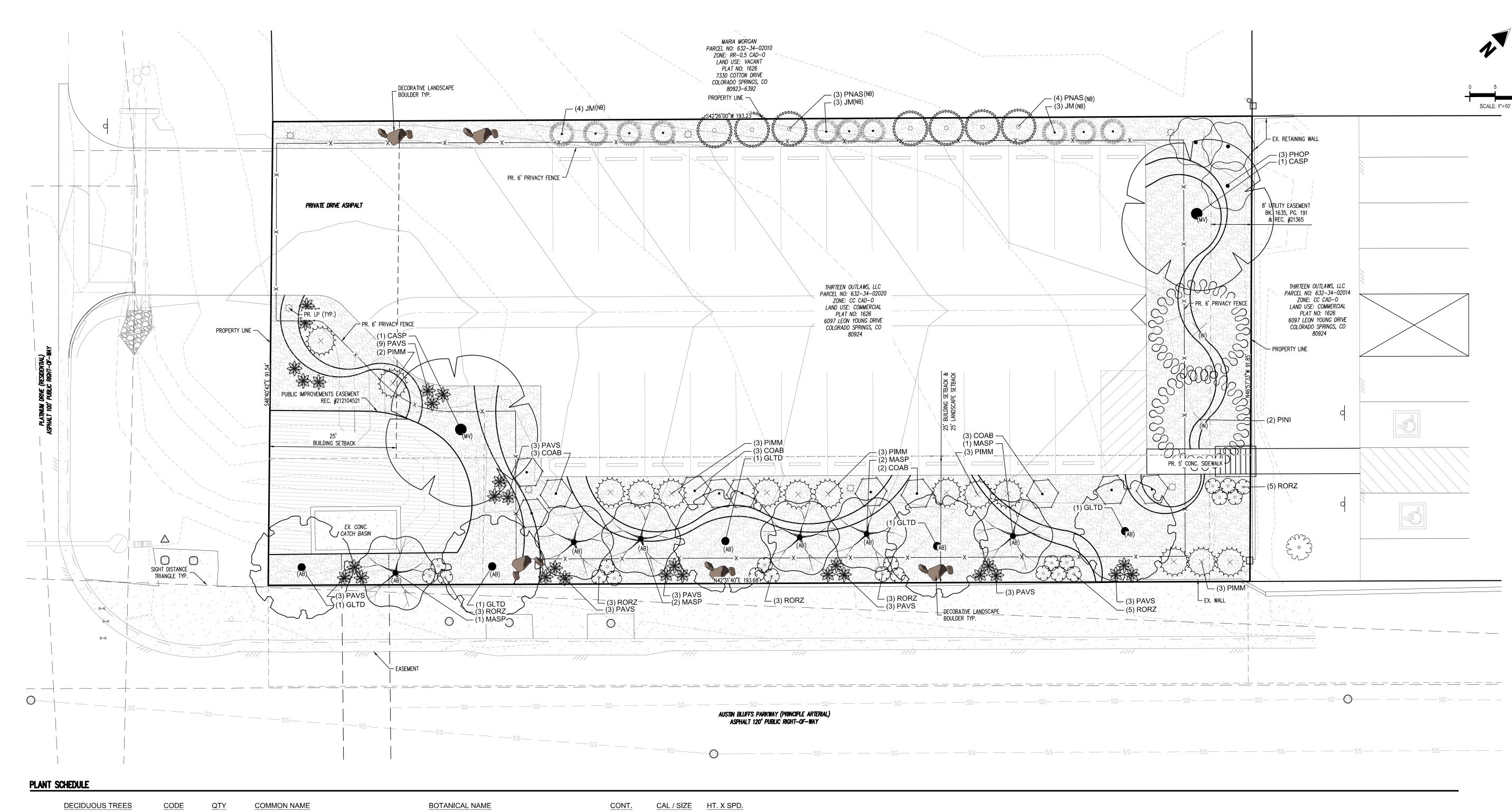
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SITE DEVELOPMENT PLAN HOPE PHYSICAL THERAPY-PARKING LOT	THIRTEEN OUTLAWS, LLC	4850 AUSTIN BLUFFS PKWY	COLORADO SPRINGS, CO 80918
# Date Iss 	ue / Descriptio	on	Init.
			·
- - -			
-			
Project No:		F	IPT01
Drawn By:		ASA	/MRK
Checked By: Date:		AUGUST	CRD

LANDSCAPE DETAILS

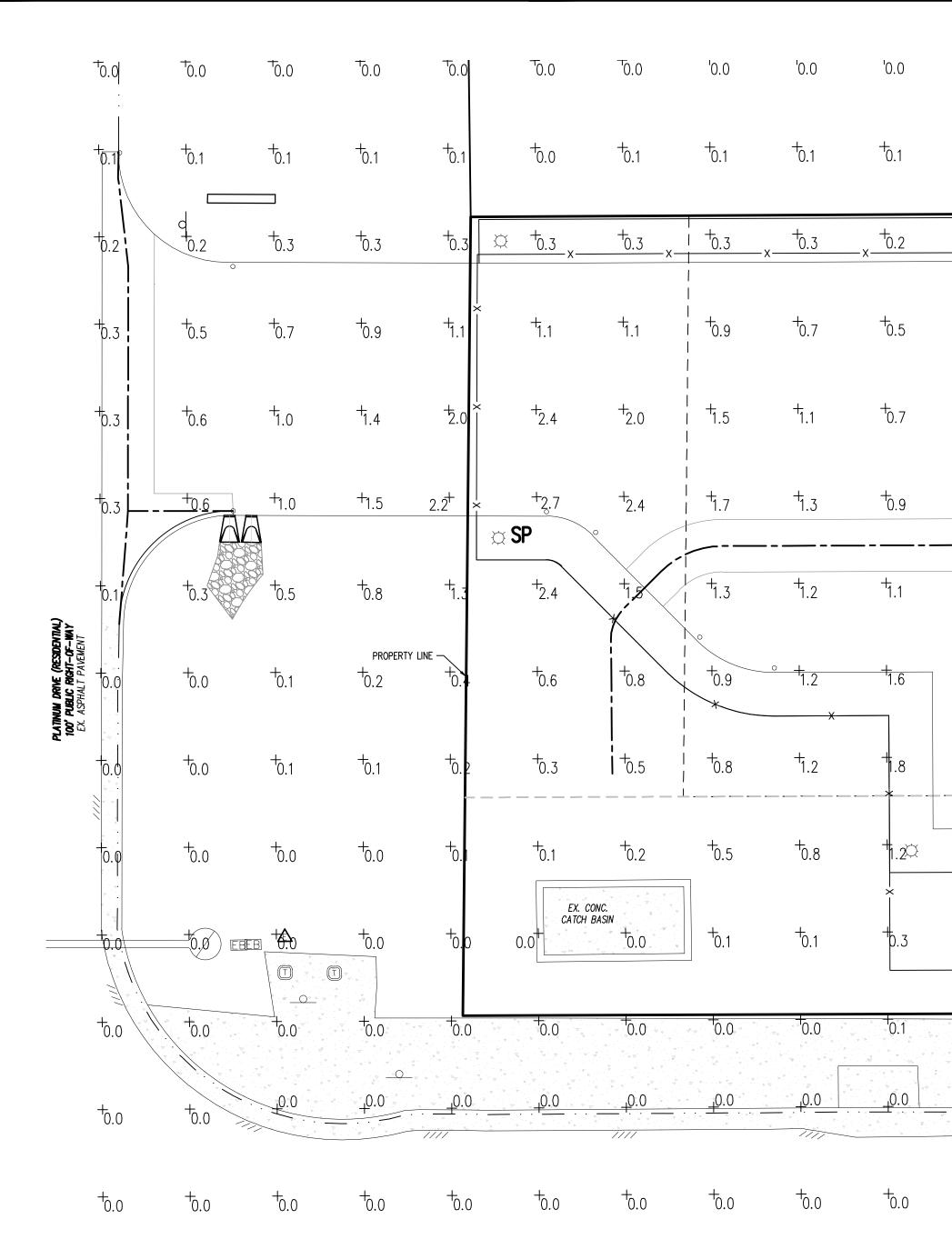




PLANT SCHEDULE							
DECIDUOUS TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	<u>CAL / SIZE</u>	HT. X SPD.
	CASP	2	NORTHERN CATALPA	CATALPA SPECIOSA	B&B	2" CAL	50`X30`
	GLTD	5	STREET KEEPER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES' TM	B&B	2" CAL	45`X20`
EVERGREEN TREES		QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.
	JM	10	MOONGLOW JUNIPER	JUNIPERUS SCOPULORUM 'MOONGLOW'	B&B	6` HT	20`X5`
	PINI	2	AUSTRIAN PINE	PINUS NIGRA	B&B	6` HT	50`X20`
600003 200000000	PNAS	7	ARNOLD SENTINEL AUSTRIAN PINE	PINUS NIGRA 'ARNOLD SENTINEL'	B&B	6` HT	25`X7`
ORNAMENTAL TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	<u>CAL / SIZE</u>	HT. X SPD.
	MASP	6	SPRING SNOW CRABAPPLE	MALUS X 'SPRING SNOW'	B&B	1.5" CAL	20`X15`
	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	
	COAB	11	IVORY HALO DOGWOOD	CORNUS ALBA 'BAILHALO' TM	#5 CONT.	6`X6`	
$\overbrace{\cdot}$	РНОР	3	COPPERTINA NINEBARK	PHYSOCARPUS OPULIFOLIUS 'MINDIA' TM	#5 CONT.	10`X10`	
$\bigcirc \bigcirc$	RORZ	22	KNOCK OUT SHRUB ROSE	ROSA X 'RADRAZZ' TM	#5 CONT.	3`X3`	

EVERGREEN SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.
	PIMM	14	MOPS MUGO PINE	PINUS MUGO 'MOPS'	#5 CONT.	5`X6`
ORNAMENTAL GRASSES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.
	PAVS	30	SHENANDOAH SWITCH GRASS	PANICUM VIRGATUM 'SHENANDOAH'	#1 CONT.	4`X3`
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	TYPE	
	ELTR	871 SF	EXISTING LANDSCAPE TO REMAIN	EXISTING LANDSCAPE TO REMAIN	OTHER	
MULCH	CODE	QTY	COMMON NAME	BOTANICAL NAME	TYPE	
	RMULCH	6,097 SF	SADDLEBACK SWIRL 3" DEPTH MINIMUM	1.5" ROCK COBBLE MULCH	MULCH	
	RMULCH2	623 SF	WHITE SPECKLED RIVER ROCK 4" MIN. DEPTH	2"-4" ROCK COBBLE	MULCH	

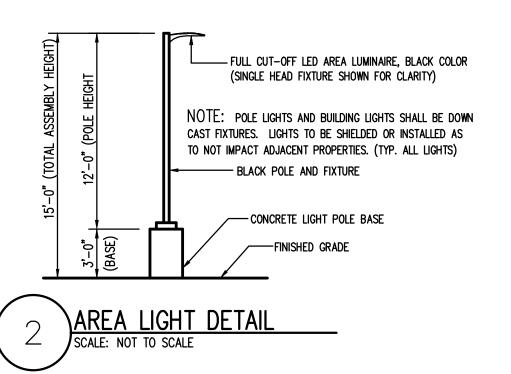




PHOTOMETRIC P SCALE: 1"=20'-0"

LUMIN	LUMINAIRE SCHEDULE								
SYMBOL	QTY	LABEL	Mounting height	COLOR	LLF	MODEL NUMBER	DESCRIPTION	WATTS	LUMENS
=	141	P1	25'-0" A.F.G.	BLACK	1.0	DSX0-LED-P2-30K-70CRI-T3M-MS9BLSSPA-DBLXD	HITHONIA HEHTING, B-SEBES, SIZE, OLEB, ABEA, LUMINAIBE, WITH-3, OUT-OEF, ZOODK, GGT, BLACK, GOLOB, B2, OBTIGS, TYBE TAM DISTRIBUTION.	496	152,,124700
] 8	P2	25'-0" A.F.G.	BLACK	1.0	(2) DSX0-LED-P5-40K-70CRI-T4M-MV0LT-SPA-DBLXD	LITHONIA LIGHTING, D-SERIES SIZE 0 LED AREA LUMINAIRE, FULL CUT-OFF, 4000K CCT, BLACK COLOR, P5 OPTICS, TYPE T4M DISTRIBUTION*	182	12,270
	10	WP1	15'0" A.F.G.	BLACK	1.0	WDGE2-LED-P4-40K-80CI-VF-MVOLT-SRM-DBLXD	LITHONIA LIGHTING, WDGE2 LED ARCHITECTURAL WALL SCONCE, P4 PACKAGE, 4000K CCT, VISUAL COMFORT FORWARD THROW, BLACK FINISH	35	4,413

* - FIXTURES A1, B1, & B2 MOUNTED ON 22'-0" POLES WITH 3'-0" CONCRETE BASE. TOTAL MOUNTING HEIGHT=25'-0"



'0.0	'0.0	'0.0	'0.0	'0.0	'0.0	'0.0	[.] 0.0	[.] 0.0	[.] U.U	⁻ 0.0	0.0	U.U	U.U	U.U	U.U	U.U	U.U	U.U
+0.1	+0.1	+0.1	+0.0	+0.0	+0.0 Ty line	+0.0	+0.0	+0.1	+0.1	+0.1	+0.0	+0.0	+0.0 ص	+o.o	+0.0	+0.0	+0.0	SCALE: 1"=10'
x ⁺ 0.2	+0.1	+0,1 ¤	+0.1 x	+0.0 x	+0.0x-	+0.0	x0.1	x	x ⁺ 0.1	+0.1	+0.1	Ċ <u>0.1</u>	+0.0	EX: RETAINING	WALL ⁺ 0.0	+0.0	+0.0	+0.0
+0.3	+0.2	+0.1	+0.1	+0.1	+0.0	+0.1	+0.1	+0.1	+0.2	+0.2	+0.2	+0.1x	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0
+0.4	+0.3	+0.2	+0.1	+0.1	+0.1	+0.1	0.1	+0.2	+0.3	+0.4	+0.4	+0.2 *	+0.1	+0.0	+0.0	+0.0	+0.0	+0.0
+0.6	+0.5	+0.5	+0.5	+0.4	+0.4	+0.4	+0.4	+0.5	+0.7	+0.8	+0.7	+0.4 *	+0.1	+0.1	+0.0	+0.0	+0.0	+0.0
+1.2	+1.2	+ 1.2	±1.3	+ 1.2	+1.2	⁺ 1.1	+1.1	±1.0	+ _{1.2}	+1.4	+ _{1.2}	+0.8 *	⁺ 0.2	+0.1 PROPERTY LINE	+0.0	+0.0	0.0	+0.0
+2.2	+2.3	+2.2	+2.1	+2.1	+2.2	+2.3	+2.1	1.7	+ _{1.8}	+2.0	⁺ 1.8	÷1.2	+0.3	+0.1	+0.0	÷0.0	+0.0	+0.0
+2.6	+2.8	+2.4	+2.2	+2.2	+2.6	+2.8	+ <u>-</u> 2.5	1.8	⁺ 1.9	+2.5	+2,5	+1.6	+0.5 	-0.1	۹ +0.0	+0.0	+0.0	+0.0
+2.1	SP +2.5	⁺ 1.5	⁺ 1.4		±1.7 ♀	₹ 2.6 ⁺	±1.7	÷1.3	 	+2.5	⁺ 2.8 S F	2.5 x	⁺ 0.5		+0.0 d		+ <u>0.0</u>	_ +0.0
+0.5 x	+0.5 x	+0.3 x	+0.2 	+0.2	+0.4	+0.5	+0.5 	+0.5 	+1.0 x	+1.9 x	+2.3 x	+1.6	+0.4	+0.1,~~~2	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	+0.0	+0.0	— ⁺ 0.0
- 0.1	+0.1	0.1	+0.1 PROPERTY LINE →	-+0.1	0.1	÷0.1	•••• <mark>0.1</mark>	0.3	0.8	*** ^{*†} 1.4 **	. 1.5	. 1.0	⁺ 0.2	+0.1	+0.0	+ 	+0.0	+ 0.0
<u> </u>		<u>0.0</u>	_0.0	<u>0.0</u>	<u> </u>	<u></u> <u>-</u> <u>0.0</u> -	<u>0.1</u>	0.2	<u> </u>	<u>+1.0</u>	<u>+1.0</u>	<u>0.6</u>	<u> </u>	<u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u></u>	+0.0	+0.0	+0.0	+0.0
+0.0	+0.0	+0.0	+0.0 Austin	+0.0 Bluffs parkway (p/	+0.0 Irkiway)	+0.0	+0.1	+0.2	+0.4	+0.6	+0.6	+0.4	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0
PLAN NARE, FULL CUT-OFF I SCONCE, P4 PACKAC	, 4000K CCT, BLACK		YBE T¥M ÐISTRIBUTI YPE T4M DISTRIBUTI	0 N∗ 96 0N* 182	LUMENS 12,2400 12,270 4,413			Joint Content of the service of the	25 Imation Color temperature? S (this section 70CRI only) 30K 3000K 400K 500K (this section 70CRI only) 30K 3000K 40K 30K 30K 30K 300K 40K 400K 30K 30K		tive front row widen widen widen widen H2 widen H2 H2 H2 H2 H2 H2 H2 H2 H2 H2	yer nouse events page to an all interactive dense duction nocdern styling of the D y refined aesthetic that ts environment. The D fits of the latest in LED n performance, high ef aire. whotometric performan excellent uniformity, gr power power density. D- pometry aids in reducing required in area lighti al energy savings of 70 te life of over 100,000 H T3M MVOLT SPA NLT. Voltage n MVOLT (120V-277V) ⁴ HVOLT (120V-277V) ⁴ HVOLT (277V-480V) ⁵⁶ XVOLT (277V-480V) ⁵⁶ XVOLT (277V-480V) ⁵⁶ XVOLT (277V-480V) ⁵⁶	D-Series features a t blends seamlessly -Series offers the t technology into fficacy, long-life nee results in sites reater pole spacing -Series outstanding g the number of ng applications, with % and expected nours.					
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	d*series					Introduct			
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	ing Informa	tion	EXA	MPLE: DSX0 LED I	P6 40K	70CRI T3M	MVOLT SPA	NLTAIR	2 PIRHN DE
DSX0 LED			Color Rendering						
Series	LEDs	Color temperature ²	Index ²	Distribution	1		Voltage	Mour	lting
DSX0 LED	Forward optics P1 P5 P2 P6 P3 P7 P4 Rotated optics P10 ¹ P12 ¹ P11 ¹ P13 ¹	(this section 70CRI only) 30K 3000K 40K 4000K 50K 5000K (this section 80CRI only, extended lead times apply) 27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K	70CRI 70CRI 70CRI 80CRI 80CRI 80CRI 80CRI 80CRI 80CRI	AFR Automotive front row T1S Type I short T2M Type II medium T3LG Type III nedium T3LG Type III low glare ³ T4M Type IV medium T4LG Type IV low glare ³ TFTM Forward throw medium	T5LG T T5W T BLC3 T BLC4 T C LCC0 L	ype V medium iype V low glare iype V wide iype IV backlight ontrol ³ ontrol ³ ontrol ³ eft corner cutoff ³ ight corner cutoff ³	MVOLT (120V-277V HVOLT (347V-480) XVOLT (277V-480)	/) 5,6 SPA	(#5 drilling. 3" m SQ pole) ⁹ 7 Round pole mou (#5 drilling, 3" m RND pole) ⁹ 8N Square narrow p mounting (#8 dr 3" min. SQ pole)
	_					_	_		_
Control opt	ions		l		Other optic	ons		Finish (requ	red)
Shipped in NLTAIR2 PIF	RHN nLight AIR gen 2 ei	nabled with bi–level motion / 40' mounting height, ambient 2fc. ^{11, 12, 18, 19}	FAO Field	–pin receptacle only (controls ed separate) ^{16, 19} adjustable output ^{15, 19} el switched dimming, 30% ^{16, 19}	L90 Left	useside shield (black fii t rotated optics ¹	nish standard) ²⁰	DDBXD DBLXD DNAXD	Dark Bronze Black Natural Aluminum
		ambient sensor, 8–40' mounting Isor enabled at 2fc ^{13, 18, 19}	BL50 Bi-lev	el switched dimming, 50% ^{16,19}	CCE Coa	ht rotated optics ¹ Istal Construction ²¹		DWHXD DDBTXD	White Textured dark bronze
PIR		eceptacle only (controls ordered	fixtur	r dimming wires pulled outside e (for use with an external control, ed separately) 17	HA 50° Shipped s	°C ambient operation ²² eparately		DBLBXD DNATXD	Textured black Textured natural alum
PIR PER	NEMA twist-lock re separate) ¹⁴			,		ernal Glare Shield (reve	with a field install		Tautomad cubits
	separate) 14	only (controls ordered separate) ^{14, 19}			req	uired, matches housing d Spikes (field install re	j finish)	DWINDAD	Textured white

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Galloway

MINARY

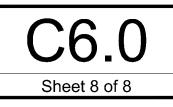
6162 S. Willow Drive, Suite 320 Greenwood Village, CO 80111

303.770.8884 GallowayUS.com

Project No:	HPT01
Drawn By:	ASA/MRK
Checked By:	CRD
Date:	AUGUST 2023
PHOTOMETRIC	PLAN AND

____ ____ ____

DETAILS



DSX0-LED Rev. 03/15/23 Page 1 of 9

DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum

V1_Site Development Plan 2.pdf Markup Summary

Callout (23)		
Region of Contraction of Contractio	Subject: Callout Page Label: [1] 1 COVER SHEET Author: Carlos Date: 9/26/2023 5:07:59 PM Status: Color: Layer: Space:	Remove EPC Engineering Signature Block. There does not appear to be any public improvements.
	Subject: Callout Page Label: [2] 2 HORIZONTAL CONTROL Author: Carlos Date: 9/26/2023 5:11:30 PM Status: Color: Layer: Space:	Label right-of-way line
P 9 6. succe of	Subject: Callout Page Label: [2] 2 HORIZONTAL CONTROL Author: Carlos Date: 9/26/2023 5:12:09 PM Status: Color: Layer: Space:	Revise to "El Paso County Right-of-Way"
	Subject: Callout Page Label: [2] 2 HORIZONTAL CONTROL Author: Carlos Date: 9/26/2023 5:12:31 PM Status: Color: Layer: Space:	Revise to "City of Colorado Springs Right-of-Way"
15' STOPM LIAE LUC) Culverts? PR. KSPHALT PARADOUT	Subject: Callout Page Label: [2] 2 HORIZONTAL CONTROL Author: Carlos Date: 9/26/2023 5:14:09 PM Status: Color: Layer: Space:	Culverts?
B In it som ar Place Place Place cubers and Place cubers and Place cubers and B In it som ar Place cu	Subject: Callout Page Label: [2] 2 HORIZONTAL CONTROL Author: Carlos Date: 9/26/2023 5:14:25 PM Status: Color: Layer: Space:	Private culverts aren't maintained by EPC.

(SEE SHET 5-C4	Subject: Callout Page Label: [4] 4 SIGNAGE & STRIPING Author: Carlos Date: 9/26/2023 5:19:16 PM Status: Color: Layer: Space:	Label
Libel the height of the ferror.	Subject: Callout Page Label: [4] 4 SIGNAGE & STRIPING Author: Carlos Date: 10/2/2023 4:57:40 PM Status: Color: Layer: Space:	Label the height of the fence.
REPORT INVOLUP PA	Subject: Callout Page Label: [4] 4 SIGNAGE & STRIPING Author: Carlos Date: 10/2/2023 4:57:49 PM Status: Color: Layer: Space:	Label
Render For A process Band Townson The of D. BORNEZ OF	Subject: Callout Page Label: [2] 2 HORIZONTAL CONTROL Author: CDurham Date: 10/3/2023 2:52:48 PM Status: Color: Layer: Space:	Label tie-in & provide northing/easting
R 199 SP	Subject: Callout Page Label: [2] 2 HORIZONTAL CONTROL Author: CDurham Date: 10/3/2023 2:52:44 PM Status: Color: Layer: Space:	Label tie-in & provide northing/easting
B comp B comp C comp	Subject: Callout Page Label: [2] 2 HORIZONTAL CONTROL Author: CDurham Date: 10/3/2023 2:53:40 PM Status: Color: Layer: Space:	Label start & end of pan flowline. Include northing/eastings

	Subject: Callout Page Label: [2] 2 HORIZONTAL CONTROL Author: CDurham Date: 10/3/2023 2:54:09 PM Status: Color: Layer: Space:	Culvert & FES size do not match. Please revise
	Subject: Callout Page Label: [2] 2 HORIZONTAL CONTROL Author: CDurham Date: 10/3/2023 2:54:20 PM Status: Color: Layer: Space:	Label cross pan
	Subject: Callout Page Label: [2] 2 HORIZONTAL CONTROL Author: CDurham Date: 10/3/2023 2:54:35 PM Status: Color: Layer: Space:	Label headwall
What is this line? Please label	Subject: Callout Page Label: [2] 2 HORIZONTAL CONTROL Author: CDurham Date: 10/3/2023 2:54:54 PM Status: Color: Layer: Space:	What is this line? Please label
	Subject: Callout Page Label: [3] 3 DETAIL GRADING Author: CDurham Date: 10/3/2023 2:55:40 PM Status: Color: Layer: Space:	Show channel flowline
Label Vo	Subject: Callout Page Label: [2] 2 HORIZONTAL CONTROL Author: CDurham Date: 10/3/2023 2:55:57 PM Status: Color: Layer: Space:	Label

Labol hoadvall & provide detail 8- 5556	Subject: Callout Page Label: [3] 3 DETAIL GRADING Author: CDurham Date: 10/3/2023 2:57:31 PM Status: Color: Layer: Space:	Label headwall & provide detail
Proved emensions & deal protection	Subject: Callout Page Label: [3] 3 DETAIL GRADING Author: CDurham Date: 10/3/2023 2:57:20 PM Status: Color: Layer: Space:	Provide dimensions & detail for outlet protection
	Subject: Callout Page Label: [4] 4 SIGNAGE & STRIPING Author: CDurham Date: 10/3/2023 3:00:24 PM Status: Color: Layer: Space:	Provide dimensions for stall
	Subject: Callout Page Label: [4] 4 SIGNAGE & STRIPING Author: CDurham Date: 10/3/2023 3:00:40 PM Status: Color: Layer: Space:	Label this striping
	Subject: Callout Page Label: [3] 3 DETAIL GRADING Author: dotdurham Date: 10/3/2023 3:06:34 PM Status: Color: Layer: Space:	Provide invert elevations for culvert

Cloud+ (2)



Subject: Cloud+ Page Label: [2] 2 HORIZONTAL CONTROL Author: CDurham Date: 10/3/2023 2:53:09 PM Status: Color: Layer: Space:

Label existing items

Label

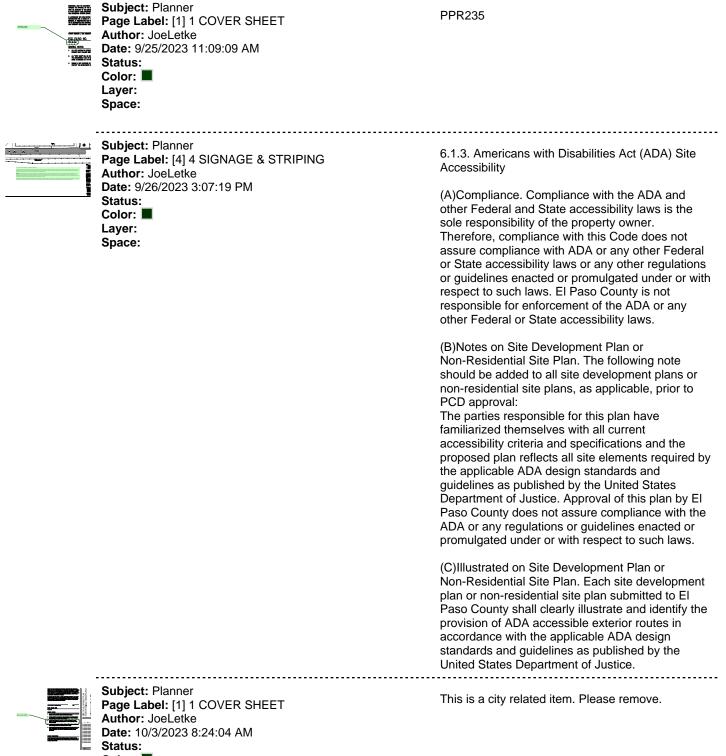


Dimension (2)

Subject: Cloud+ Page Label: [2] 2 HORIZONTAL CONTROL Author: CDurham Date: 10/3/2023 2:56:29 PM Status: Color: Layer: Space:

Subject: Dimension Page Label: [4] 4 SIGNAGE & STRIPING Author: CDurham Date: 10/3/2023 2:59:25 PM Status: Color: Layer: Space: Subject: Dimension Page Label: [4] 4 SIGNAGE & STRIPING Author: CDurham Date: 10/3/2023 2:59:46 PM Status: Color: Layer: Space: Highlight (3) Subject: Highlight Page Label: [2] 2 HORIZONTAL CONTROL Author: CDurham PR. 15" ST Date: 10/3/2023 2:53:50 PM Status: Color: Layer: Space: Subject: Highlight Page Label: [2] 2 HORIZONTAL CONTROL PR. 18" FE Author: CDurham Date: 10/3/2023 2:53:52 PM Status: Color: 📒 Layer: Space: Subject: Highlight TRUNCATED DOME PLATI (CAST IRON - PATINA NATURAL FINISH) Page Label: [5] 5 SITE DETAILS Author: CDurham Date: 10/3/2023 3:04:23 PM D FOR AS CONCRETE CURB F Status: Color: Layer: Space:

Planner (3)



Color: Laver: Space:

ext Box (6)		
Label ROW	Subject: Text Box Page Label: [3] 3 DETAIL GRADING Author: CDurham Date: 10/3/2023 2:58:04 PM Status: Color: Layer: Space:	Label ROW
Label ROW	Subject: Text Box Page Label: [2] 2 HORIZONTAL CONTROL Author: CDurham Date: 10/3/2023 2:58:15 PM Status: Color: Layer: Space:	Label ROW
I Indicate which stalls are handicap and include signs	Subject: Text Box Page Label: [4] 4 SIGNAGE & STRIPING Author: CDurham Date: 10/3/2023 3:01:06 PM Status: Color: Layer: Space:	Indicate which stalls are handicap and include signs
List of a second	Subject: Text Box Page Label: [5] 5 SITE DETAILS Author: CDurham Date: 10/3/2023 3:02:50 PM Status: Color: Layer: Space:	Include detail for handrail
Where is this located? Please able on pain	Subject: Text Box Page Label: [5] 5 SITE DETAILS Author: CDurham Date: 10/3/2023 3:03:22 PM Status: Color: Layer: Space:	Where is this located? Please label on plan
When an pol map bing include? Please alow and loter or plane	Subject: Text Box Page Label: [5] 5 SITE DETAILS Author: CDurham Date: 10/3/2023 3:03:59 PM Status: Color: Layer: Space:	Where are ped ramps being installed? Please show and label on plans