

THIRTEEN OUTLAWS LLC

HOPE PHYSICAL THERAPY-PARKING LOT

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 23,
TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO

CONSTRUCTION DOCUMENTS

PROJECT CONTACTS

PROPERTY OWNER

THIRTEEN OUTLAWS, LLC
4850 AUSTIN BLUFFS PKWY
COLORADO SPRINGS, CO 80918
TELE: (719) 439-9263
ATTN: ADRIAN D. HOPE
EMAIL: ADRIAN@HOPEWELLNESS.COM

APPLICANT

THIRTEEN OUTLAWS, LLC
4850 AUSTIN BLUFFS PKWY
COLORADO SPRINGS, CO 80918
TELE: (719) 439-9263
ATTN: ADRIAN D. HOPE
EMAIL: ADRIAN@HOPEWELLNESS.COM

CIVIL ENGINEER

GALLOWAY & CO., INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
TELE: (719) 900-7220
ATTN: BRADY SHYROCK, P.E.
EMAIL: BRADYSHYROCK@GALLOWAYUS.COM

GEOTECHNICAL ENGINEER

ROCKY MOUNTAIN GEOTECHNICAL, INC
555 E. PINE'S PEAK AVE., SUITE 107
COLORADO SPRINGS, CO 80903
TELE: (303) 634-1999
ATTN: TONY MUNGER, P.E.

TRAFFIC ENGINEER

GALLOWAY & CO., INC.
5500 GREENWOOD PLAZA BLVD., SUITE 200
GREENWOOD VILLAGE, CO 80111
TELE: (303) 770-8884
ATTN: BRIAN HORAN, P.E.
EMAIL: BRIANHORAN@GALLOWAYUS.COM

SURVEYOR

GALLOWAY & CO., INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
TELE: (719) 337-1262
ATTN: BRIAN DENNIS
EMAIL: BRIANDENNIS@GALLOWAYUS.COM

LIST OF ABBREVIATIONS

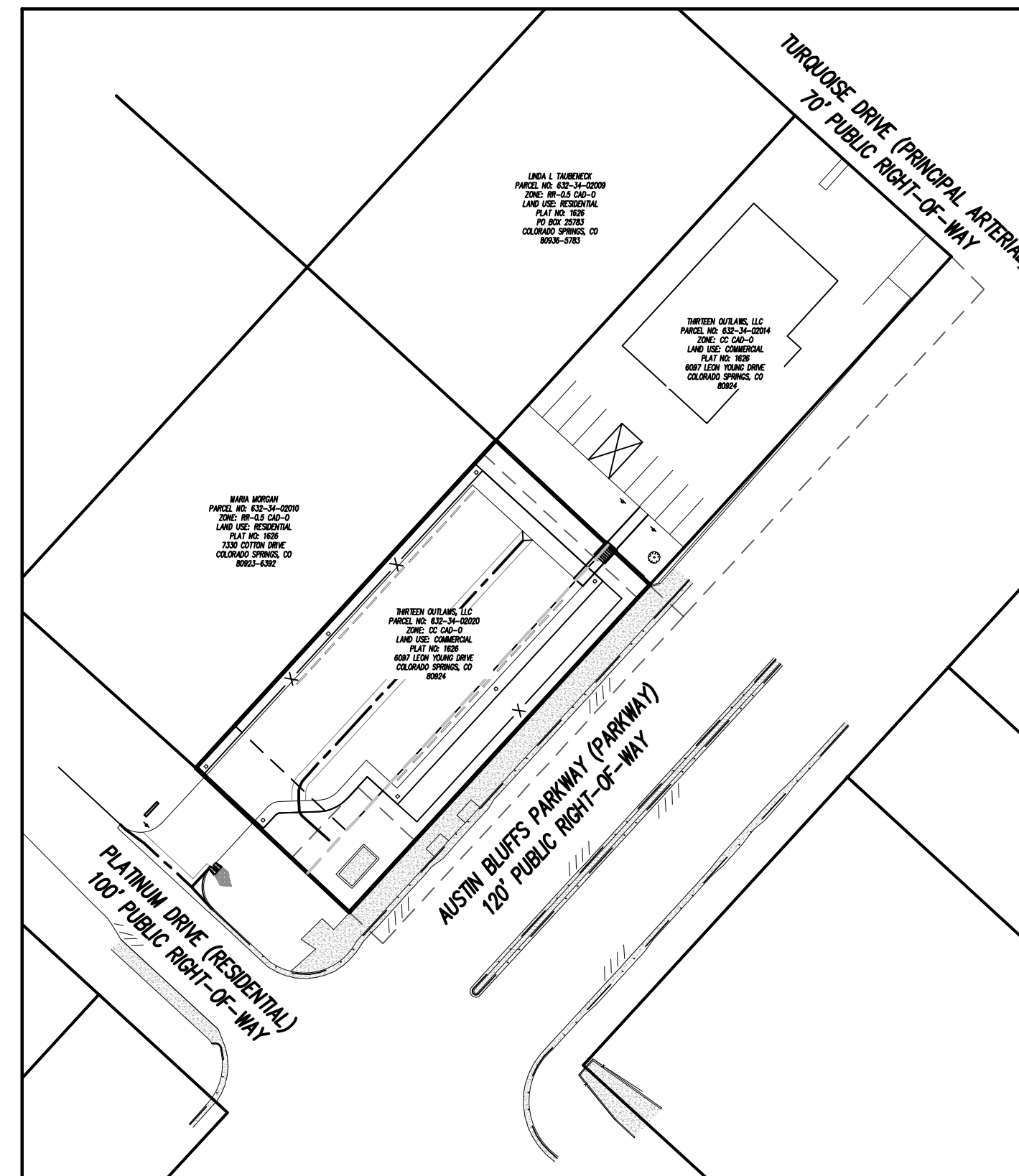
SH - SHEET
A - DEFLECTION ANGLE
L - LENGTH
R - RADIUS
CB - CHORD BEARING
C - CHORD LENGTH
N - NORTH/NORTHING
W - WEST
E - EAST/EASTING
S - SOUTH
DET - DETAIL
EX - EXISTING
W/ - WITH
PC - POINT OF CURVATURE/PORTLAND CEMENT
WVF - WELDED WIRE FABRIC
VERT - VERTICAL
OC - ON CENTER
FDC - FIRE DEPARTMENT CONNECTION
CT - COURT
DR - DRIVE
TYP - TYPICAL
REC - RECEPTION NUMBER
Ø, DIA - DIAMETER
PT - POINT OF TANGENCY
MIN - MINIMUM
MAX - MAXIMUM
HOPE - HIGH DENSITY POLYETHYLENE

SITE PLAN	
GENERAL DEVELOPMENT DATA	
SITE ADDRESS	4815 PLATINUM DRIVE, COLORADO SPRINGS, CO 80918
JURISDICTION	EL PASO COUNTY, COLORADO
TAX SCHEDULE NUMBER	6323402020
COUNTY FILE NUMBER	PPR-23-235
SITE AREA/TOTAL ACREAGE	17,737 SF / 0.407 ACRES
DEVELOPMENT SCHEDULE	SUMMER 2023
AUSTIN BLUFFS PARKWAY	REQUIRED SETBACK: 25' BUILDING SETBACK - 25' LANDSCAPE SETBACK PROPOSED SETBACK: 25' BUILDING SETBACK - 25' LANDSCAPE SETBACK
PLATINUM DRIVE	REQUIRED SETBACK: 25' BUILDING SETBACK - 0' LANDSCAPE SETBACK PROPOSED SETBACK: 25' BUILDING SETBACK - 0' LANDSCAPE SETBACK
OPEN SPACE, LANDSCAPING, AND IMPERMEABLE SURFACE PERCENTAGES	OPEN SPACE: 5,943 SQ. FT. / 29.56% ± LANDSCAPING: 2,378 SQ. FT. / 13.41% ± IMPERMEABLE SURFACE: 10,116 SQ. FT. / 57.03% ±
LOCATION OF NO-BUILD AREAS	NO GRADING OR IMPROVEMENTS WILL BE OCCURRING IN ANY FLOOD PLAINS OR DRAINAGE AREAS.
EXISTING DEVELOPMENT DATA	
ZONING DISTRICT	CC-CAD 0
PROPOSED DEVELOPMENT DATA	
PROPOSED LAND USE	PARKING LOT

PARKING TABLE				
USE	PARKING RATIO	BUILDING INFO	PARKING REQUIRED	PARKING PROVIDED
REQUIRED	1 / 250 SQ FT	3,099 SF ±	13	25
ADA (INCLUDED IN TOTAL COUNT) - ADA PARKING PROVIDED AT EXISTING BUILDING			1	2



VICINITY MAP
0 50 100 200
SCALE: 1"=200'



SITE MAP
0 10 30 60
SCALE: 1"=60'

SHEET INDEX		
SHEET NUMBER	SHEET TITLE	SHEET DESCRIPTION
1	COVER SHEET	C0.0
2	HORIZONTAL CONTROL	C1.0
3	DETAIL GRADING	C2.0
4	SIGNAGE & STRIPING	C3.0
5	SITE DETAILS	C4.0
6	LANDSCAPE DETAILS	C5.0
7	LANDSCAPE PLANS	C5.1
8	PHOTOMETRIC PLAN AND DETAILS	C6.0

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE SOUTHEASTERLY LINES OF LOTS 14 & 15, BLOCK 15, VISTA PEAK ESTATES ADDITION, AND A PART OF THE NORTHWESTERLY R.O.W. OF AUSTIN BLUFFS PARKWAY, MONUMENTED ON THE SOUTHERLY END WITH A NO. 5 REBAR WITH 1.5" ALUMINUM CAP, PLS 34977, AND ON THE NORTHERLY END WITH A NAIL AND 1.5" WASHER, PLS 34977, AND IS ASSIGNED TO BEAR N4224141"E A MEASURED DISTANCE OF 457.20 FEET.

BENCHMARK

ELEVATIONS ARE BASED ON SITE BENCHMARK AS NOTED WITH A COMPUTED OPUS SOLUTION USING GEOID18 (ELEVATION = 6,557.77' NAVD88)

ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

BRADY A. SHYROCK, COLORADO P.E. NO. 39164 DATE

OWNER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENT SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

ADRIAN D. HOPE
THIRTEEN OUTLAWS, LLC DATE

EL PASO COUNTY

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT, FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

COUNTY ENGINEER / ECM ADMINISTRATOR DATE

PCD FILING NO.

PPR-23-024

GENERAL NOTES:

- ALL SITE LIGHTING OR EXTERIOR LIGHTING FIXTURES SHALL BE FULL OUT-OFF OR SHIELDED TO PREVENT LIGHT SPILLAGE ONTO ADJACENT PROPERTIES AND ROADWAYS.
- ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MINIMUM STANDARDS, CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.
- SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982 TO BEGON A SIGN PERMIT APPLICATION.
- THE ADJACENT PROPERTY OWNER HAS A SEPARATE INTEREST IN A SEPARATE MINERAL ESTATE OWNER(S) IDENTIFIED AND NO FURTHER ACTION WAS TAKEN.
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER EL PASO COUNTY'S STANDARD DRAWINGS AND SPECIFICATIONS. EL PASO COUNTY'S INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.

PROJECT DESCRIPTION:

THE PROPOSED PARKING LOT WILL PROVIDE ADDITIONAL PARKING TO CLIENTS OF THE HOPE PHYSICAL THERAPY BUILDING ADJACENT TO THE SUBJECT PROPERTY IN COLORADO SPRINGS AND EL PASO COUNTY. THE PARKING LOT WILL HAVE 24 PARKING SPACES, TWO OF WHICH ARE ADA ACCESSIBLE PARKING SPACES.

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below. Call before you dig.

Galloway

6162 S. Willow Drive, Suite 320
Greenwood Village, CO 80111
303.770.8884
GallowayUS.com

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

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SITE DEVELOPMENT PLAN
HOPE PHYSICAL THERAPY-PARKING LOT

THIRTEEN OUTLAWS, LLC

4850 AUSTIN BLUFFS PKWY
COLORADO SPRINGS, CO 80918

#	Date	Issue / Description	Init.

Project No: HPT01
Drawn By: ASA/MRK
Checked By: CRD
Date: AUGUST 2023

COVER SHEET

C0.0
Sheet 1 of 8

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

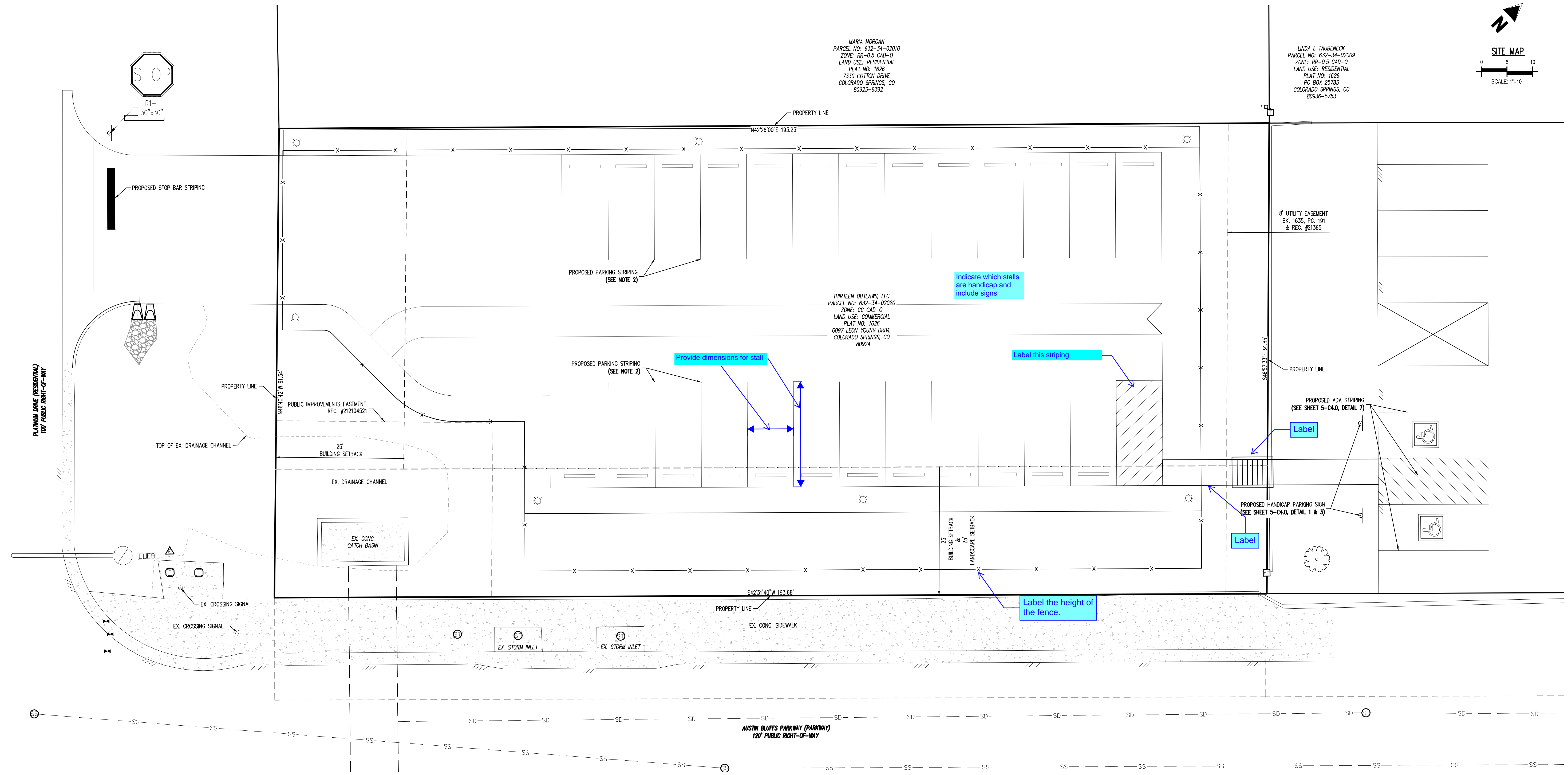
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HOPE PHYSICAL THERAPY-PARKING LOT
THIRTEEN OUTLAWS, LLC
4850 AUSTIN BLUFFS PKWY
COLORADO SPRINGS, CO 80918



SITE MAP
SCALE: 1"=10'



6.1.3. Americans with Disabilities Act (ADA) Site Accessibility

(A) Compliance. Compliance with the ADA and other Federal and State accessibility laws is the sole responsibility of the property owner. Therefore, compliance with this Code does not assure compliance with ADA or any other Federal or State accessibility laws or any other regulations or guidelines enacted or promulgated under or with respect to such laws. El Paso County is not responsible for enforcement of the ADA or any other Federal or State accessibility laws.

(B) Notes on Site Development Plan or Non-Residential Site Plan. The following note should be added to all site development plans or non-residential site plans, as applicable, prior to PCD approval:
 The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

(C) Illustrated on Site Development Plan or Non-Residential Site Plan. Each site development plan or non-residential site plan submitted to El Paso County shall clearly illustrate and identify the provision of ADA accessible exterior routes in accordance with the applicable ADA design standards and guidelines as published by the United States Department of Justice.

LEGEND

	EXISTING PROPERTY LINE		EXISTING SIGN
	EXISTING EASEMENT		EXISTING TELEPHONE BOX
	EXISTING LANDSCAPE BUFFER		EXISTING ELECTRIC BOX
	EXISTING ASPHALT		EXISTING ELECTRIC METER
	EXISTING WALL		EXISTING POWER POLE
	EXISTING CONCRETE		EXISTING TELEPHONE PEDESTAL
	EXISTING STORM DRAIN LINE		EXISTING FIBER OPTIC PEDESTAL
	EXISTING SANITARY SEWER LINE		EXISTING WATER METER
	EXISTING MINOR CONTOUR		EXISTING TRAFFIC CONTROL SIGNAL
	EXISTING MINOR CONTOUR		EXISTING STORM CULVERT
	EXISTING MINOR CONTOUR		EXISTING SANITARY SEWER MANHOLE
	EXISTING MINOR CONTOUR		EXISTING STORM DRAIN MANHOLE
	PROPOSED CURB AND GUTTER		PROPOSED SIGN
	PROPOSED ASPHALT		PROPOSED LIGHT POLE
	PROPOSED CONCRETE		PROPOSED PARKING SPACE COUNT
	PROPOSED SIDEWALK		PROPOSED ADA STRIPING
	PROPOSED STRIPING		EXISTING GRADE ELEVATION
	PROPOSED FENCE		PROPOSED GRADE ELEVATION
	PROPOSED STORM DRAIN LINE		EXISTING FLOW ARROW
	PROPOSED ADA STRIPING		PROPOSED FLOW ARROW

NOTES

1. REFER TO COLORADO SPRINGS FIRE DEPARTMENT (CSFD) "TIRE APPARATUS ACCESS ROAD MARKINGS" FOR SPECIFIC FIRE LANE SIGNING AND STRIPING DETAILS.
2. ALL PARKING STRIPING SHALL BE 4" WIDE SOLID WHITE 15 MIL THICKNESS EPOXY PAINT.
3. REFER TO CDOT STANDARD PLAN NO. S-627-1 FOR CROSSWALK AND STOP LINE STRIPING DETAILS.
4. PUBLIC STREET SIGNS SHALL BE GREEN AND PRIVATE STREET SIGNS SHALL BE BROWN.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE SOUTHEASTERLY LINES OF LOTS 14 & 15, BLOCK 15, VISTA PEAK ESTATES ADDITION, AND A PART OF THE NORTHWESTERLY R.O.W. OF AUSTIN BLUFFS PARKWAY, MONUMENTED ON THE SOUTHERLY END WITH A NO. 5 REBAR WITH 1.5" ALUMINUM CAP, PLS 34977, AND ON THE NORTHERLY END WITH A NAIL AND 1.5" WASHER, PLS 34977, AND IS ASSUMED TO BEAR N424414"E A MEASURED DISTANCE OF 457.20 FEET.

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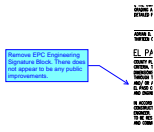
#	Date	Issue / Description	Init.

Project No: HPT01
 Drawn By: ASA/MRK
 Checked By: CRD
 Date: AUGUST 2023

SIGNAGE & STRIPING

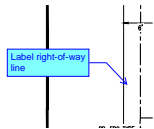
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Callout (23)



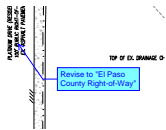
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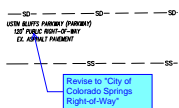
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Label right-of-way line



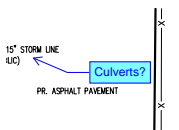
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Revise to "El Paso County Right-of-Way"



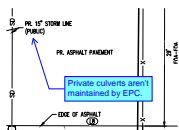
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Revise to "City of Colorado Springs Right-of-Way"



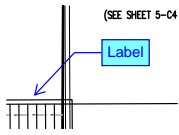
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Culverts?



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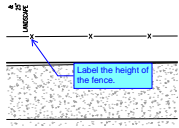
Private culverts aren't maintained by EPC.



(SEE SHEET 5-C4)

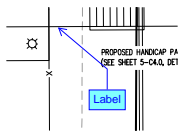
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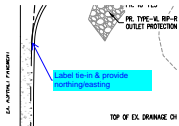
Label the height of the fence.



PROPOSED HANDICAP PA
(SEE SHEET 5-C4.0, DET)

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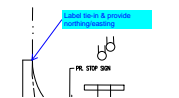
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TOP OF EX. DRAINAGE CH

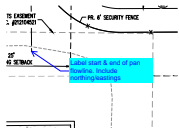
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Label tie-in & provide northing/easting



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Label tie-in & provide northing/easting



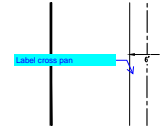
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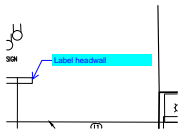
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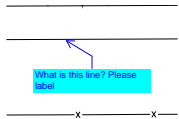
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Label cross pan



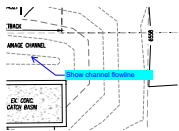
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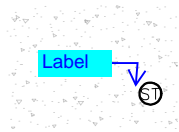
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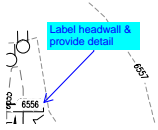
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Space:

Show channel flowline



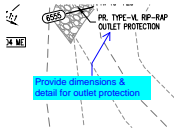
Subject: Callout
Page Label: [2] 2 HORIZONTAL CONTROL
Author: CDurham
Date: 10/3/2023 2:55:57 PM
Status:
Color: ■
Layer:
Space:

Label



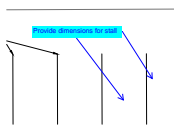
Subject: Callout
Page Label: [3] 3 DETAIL GRADING
Author: CDurham
Date: 10/3/2023 2:57:31 PM
Status:
Color: ■
Layer:
Space:

Label headwall & provide detail



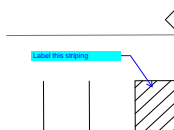
Subject: Callout
Page Label: [3] 3 DETAIL GRADING
Author: CDurham
Date: 10/3/2023 2:57:20 PM
Status:
Color: ■
Layer:
Space:

Provide dimensions & detail for outlet protection



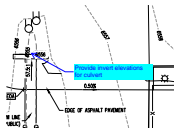
Subject: Callout
Page Label: [4] 4 SIGNAGE & STRIPING
Author: CDurham
Date: 10/3/2023 3:00:24 PM
Status:
Color: ■
Layer:
Space:

Provide dimensions for stall



Subject: Callout
Page Label: [4] 4 SIGNAGE & STRIPING
Author: CDurham
Date: 10/3/2023 3:00:40 PM
Status:
Color: ■
Layer:
Space:

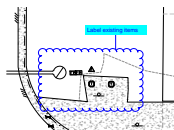
Label this striping



Subject: Callout
Page Label: [3] 3 DETAIL GRADING
Author: dotdurham
Date: 10/3/2023 3:06:34 PM
Status:
Color: ■
Layer:
Space:

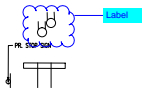
Provide invert elevations for culvert

Cloud+ (2)



Subject: Cloud+
Page Label: [2] 2 HORIZONTAL CONTROL
Author: CDurham
Date: 10/3/2023 2:53:09 PM
Status:
Color: ■
Layer:
Space:

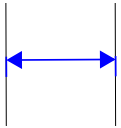
Label existing items



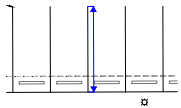
Subject: Cloud+
Page Label: [2] 2 HORIZONTAL CONTROL
Author: CDurham
Date: 10/3/2023 2:56:29 PM
Status:
Color: ■
Layer:
Space:

Label

Dimension (2)



Subject: Dimension
Page Label: [4] 4 SIGNAGE & STRIPING
Author: CDurham
Date: 10/3/2023 2:59:25 PM
Status:
Color: ■
Layer:
Space:



Subject: Dimension
Page Label: [4] 4 SIGNAGE & STRIPING
Author: CDurham
Date: 10/3/2023 2:59:46 PM
Status:
Color: ■
Layer:
Space:

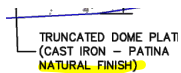
Highlight (3)

PR. 15" ST
(DUPLICATE)

Subject: Highlight
Page Label: [2] 2 HORIZONTAL CONTROL
Author: CDurham
Date: 10/3/2023 2:53:50 PM
Status:
Color: ■
Layer:
Space:

PR. 18" FES

Subject: Highlight
Page Label: [2] 2 HORIZONTAL CONTROL
Author: CDurham
Date: 10/3/2023 2:53:52 PM
Status:
Color: ■
Layer:
Space:



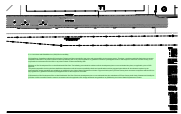
D FOR AS CONCRETE CURB F

Subject: Highlight
Page Label: [5] 5 SITE DETAILS
Author: CDurham
Date: 10/3/2023 3:04:23 PM
Status:
Color: ■
Layer:
Space:



Subject: Planner
Page Label: [1] 1 COVER SHEET
Author: JoeLetke
Date: 9/25/2023 11:09:09 AM
Status:
Color: ■
Layer:
Space:

PPR235



Subject: Planner
Page Label: [4] 4 SIGNAGE & STRIPING
Author: JoeLetke
Date: 9/26/2023 3:07:19 PM
Status:
Color: ■
Layer:
Space:

6.1.3. Americans with Disabilities Act (ADA) Site Accessibility

(A)Compliance. Compliance with the ADA and other Federal and State accessibility laws is the sole responsibility of the property owner. Therefore, compliance with this Code does not assure compliance with ADA or any other Federal or State accessibility laws or any other regulations or guidelines enacted or promulgated under or with respect to such laws. El Paso County is not responsible for enforcement of the ADA or any other Federal or State accessibility laws.

(B)Notes on Site Development Plan or Non-Residential Site Plan. The following note should be added to all site development plans or non-residential site plans, as applicable, prior to PCD approval:
The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

(C)Illustrated on Site Development Plan or Non-Residential Site Plan. Each site development plan or non-residential site plan submitted to El Paso County shall clearly illustrate and identify the provision of ADA accessible exterior routes in accordance with the applicable ADA design standards and guidelines as published by the United States Department of Justice.



Subject: Planner
Page Label: [1] 1 COVER SHEET
Author: JoeLetke
Date: 10/3/2023 8:24:04 AM
Status:
Color: ■
Layer:
Space:

This is a city related item. Please remove.

Text Box (6)



Subject: Text Box
Page Label: [3] 3 DETAIL GRADING
Author: CDurham
Date: 10/3/2023 2:58:04 PM
Status:
Color: ■
Layer:
Space:

Label ROW

Label ROW

Subject: Text Box
Page Label: [2] 2 HORIZONTAL CONTROL
Author: CDurham
Date: 10/3/2023 2:58:15 PM
Status:
Color: ■
Layer:
Space:

Label ROW

Indicate which stalls are handicap and include signs

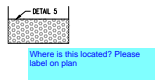
Subject: Text Box
Page Label: [4] 4 SIGNAGE & STRIPING
Author: CDurham
Date: 10/3/2023 3:01:06 PM
Status:
Color: ■
Layer:
Space:

Indicate which stalls are handicap and include signs

Include detail for handrail

Subject: Text Box
Page Label: [5] 5 SITE DETAILS
Author: CDurham
Date: 10/3/2023 3:02:50 PM
Status:
Color: ■
Layer:
Space:

Include detail for handrail



Subject: Text Box
Page Label: [5] 5 SITE DETAILS
Author: CDurham
Date: 10/3/2023 3:03:22 PM
Status:
Color: ■
Layer:
Space:

Where is this located? Please label on plan

Where are ped ramps being installed? Please show and label on plans

Subject: Text Box
Page Label: [5] 5 SITE DETAILS
Author: CDurham
Date: 10/3/2023 3:03:59 PM
Status:
Color: ■
Layer:
Space:

Where are ped ramps being installed? Please show and label on plans