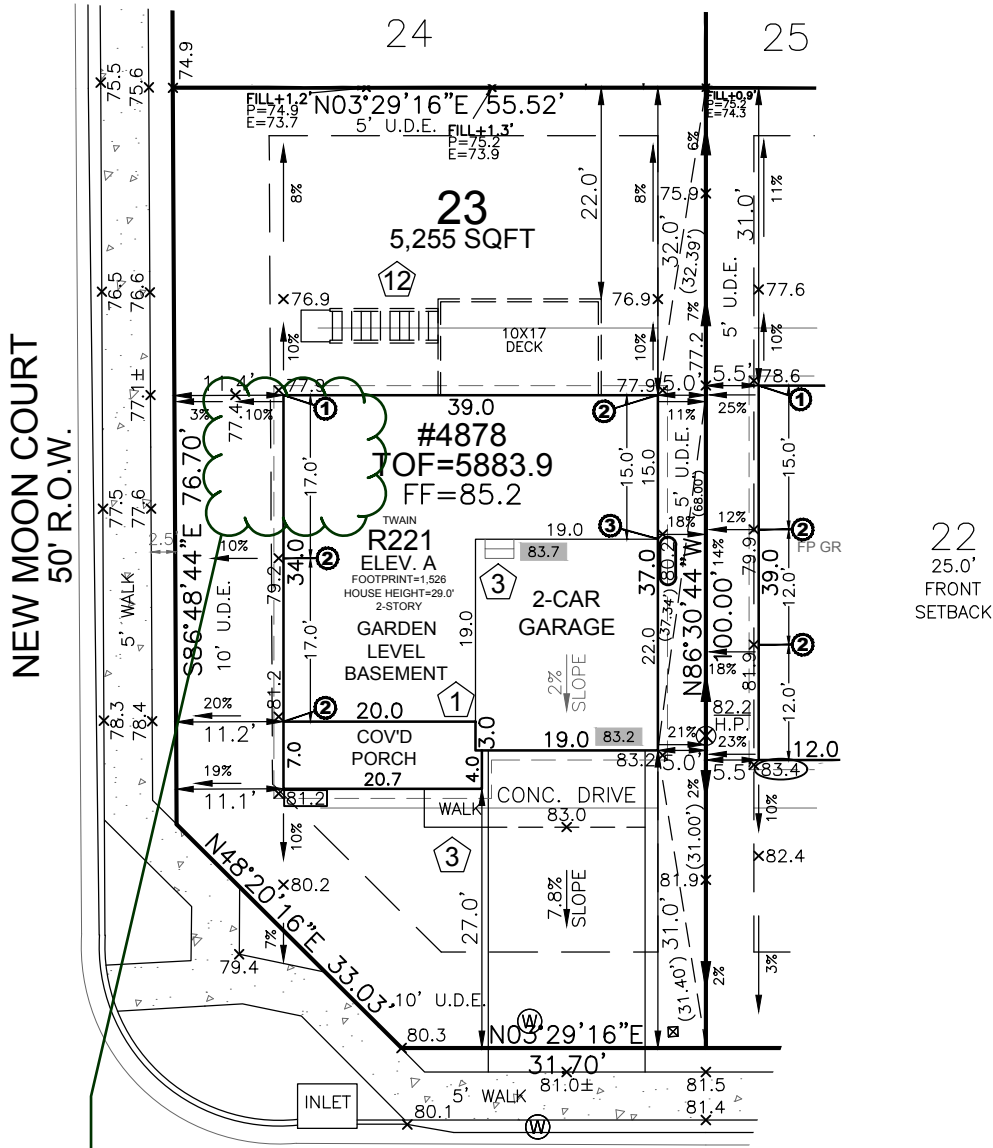


RICHMOND AMERICAN HOMES JOB#28520046

PLOT PLAN LOT 23

SCHEDULE NUMBER 5507206060



FRONT SETBACK DRIVE COVERAGE
FRONT SETBACK = 1,105SF
DRIVE COVERAGE IN
FRONT SETBACK = 408SF
COVERAGE = 36.9 %

LEGEND

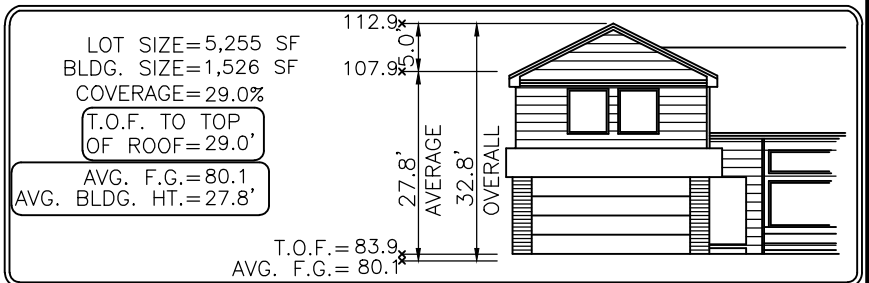
LOWERED FINISH GRADE:	
(XX.X)	HOUSE
(XX.X)	PORCH
(XX.X)	GARAGE/CRAWL SPACE
(XX.X)	FOUNDATION STEP
(XX)	CONCRETE
(X)	RISER COUNT
(6)	NAIL STRIPS
(XX.XX)	CONCRETE ELEVATION
[XX.X]	GRADING PLAN ELEVATION
---	OVEREX LIMITS
---	EROSION CONTROL

Proposed setback is not within **WOLF MOON DRIVE** 50' R.O.W. 20% of required setback of 15 feet to qualify for Admin. Relief. The required setback on the second front yard on a corner lot is 1/2 of the required front yard or 15 feet, whichever is greater. 15 feet is greater than 12.5 feet, or half of the front yard required. Therefore, the reduction can only be requested up to 12 feet (80% of the 15 feet required)

WATER METER IS IN DRIVEWAY; WILL NEED TO BE RELOCATED.

SITE SPECIFIC PLOT PLAN NOTES:

- TOF = 83.9
- GARAGE SLAB = 83.2
- GRADE BEAM = 12"
(83.9 - 83.2 = 00.7 * 12 = 8" + 4" = 12")
- *FROST DEPTH MUST BE MAINTAINED
- LOWERED FINISH GRADE AT PORCH 32"
- POUR TALLER WALL IN GARAGE TO MAINTAIN FROST PROTECTION
- CUT/FILL AT LOCATIONS SHOWN FOR ADEQUATE DRAINAGE
- STEP FOUNDATION AT LOCATIONS INDICATED
- STEPS SHOWN MEET GRADING REQUIREMENTS ONLY
- NOT A STRUCTURALLY ENGINEERED DESIGN



Elevation view of building is an illustrative tool only to indicate the calculation for the average building height.

MODEL OPTIONS: R221-A/2-CAR/GARDEN LEVEL/9' BSMT

SUBDIVISION: SPRINGS AT WATERVIEW FILING NO.1

COUNTY: EL PASO

ADDRESS: 4878 WOLF MOON DRIVE

MINIMUM SETBACKS:

FRONT: 25' SEP.: 10'
REAR: 25'
CORNER: 15'
SIDE: 5'

DRAWN BY: DV

DATE: 09-01-20



6841 South Yosemite Street #100
Centennial, CO 80112 USA
Phone: (303) 850-0559
Fax: (303) 850-0711
E-mail: info@bjsurveying.net

GENERAL NOTES:

- PLOT PLAN NOT TO BE USED FOR EXCAVATION PLAN OR FOUNDATION PLAN LAYOUT.
- PLOT PLAN SUBJECT TO APPROVAL BY ZONING/BUILDING AUTHORITY PRIOR TO STAKEOUT.
- EASEMENTS DISPLAYED ON THIS PLOT ARE FROM THE RECORDED PLAT AND MAY NOT INCLUDE ALL EASEMENTS OF RECORD.
- PLOT PLAN MUST BE APPROVED BY BUILDER PRIOR TO ORDERING STAKEOUT.
- LOT CORNER ELEVATION CHECK: 06-01-20

Site Plan Drawing_V1.pdf Markup Summary

Cloud+ (1)



Subject: Cloud+
Page Label: [1] 23
Author: John Green
Date: 10/15/2020 1:09:52 PM
Status:
Color: ■
Layer:
Space:

Proposed setback is not within 20% of required setback of 15 feet to qualify for Admin. Relief. The required setback on the second front yard on a corner lot is 1/2 of the required front yard or 15 feet, whichever is greater. 15 feet is greater than 12.5 feet, or half of the front yard required. Therefore, the reduction can only be requested up to 12 feet (80% of the 15 feet required)