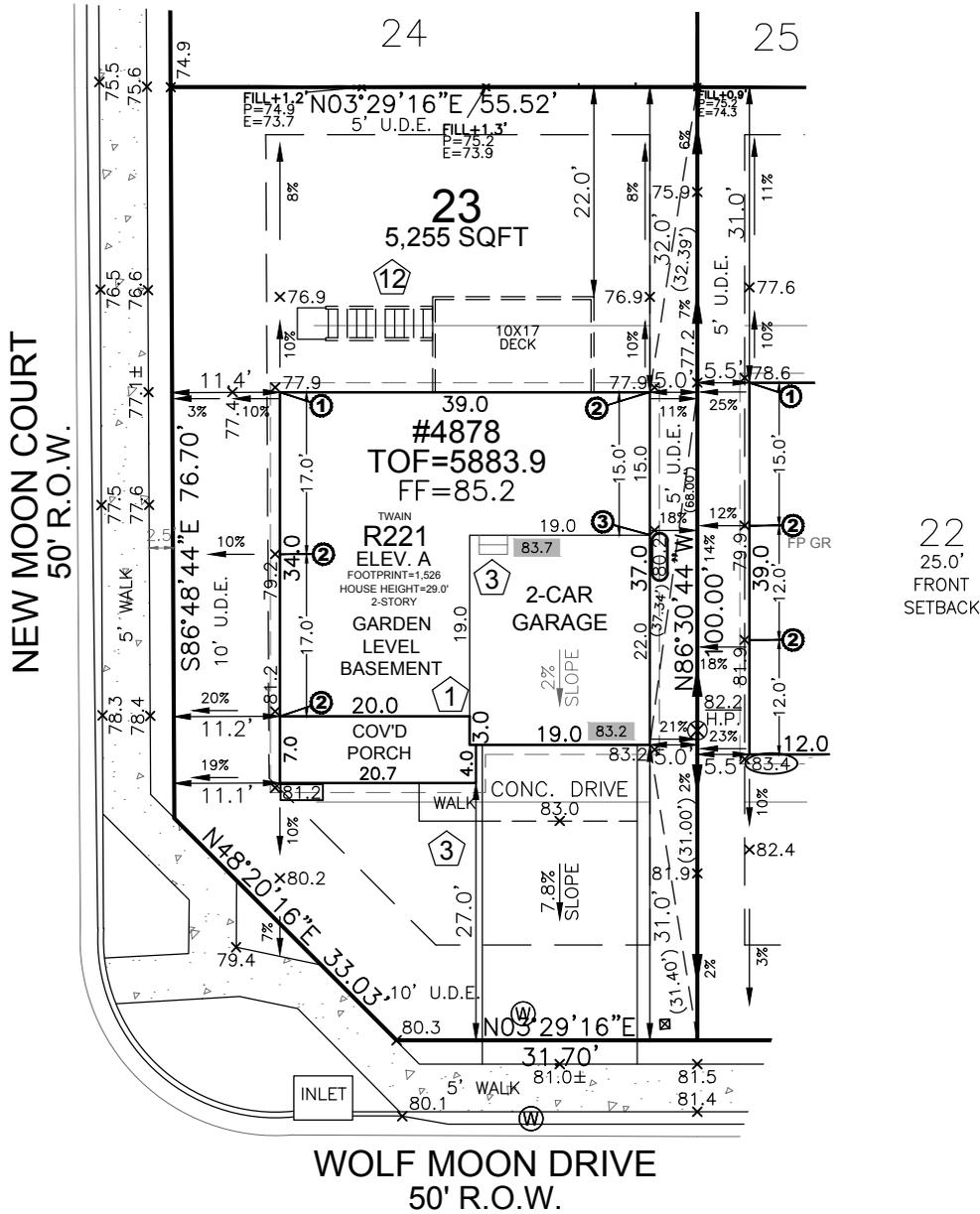


RICHMOND AMERICAN HOMES JOB#28520046

PLOT PLAN LOT 23

SCHEDULE NUMBER 5507206060



FRONT SETBACK DRIVE COVERAGE
FRONT SETBACK= 1,105SF
DRIVE COVERAGE IN
FRONT SETBACK= 408SF
COVERAGE=36.9 %

LEGEND

LOWERED FINISH GRADE:	
(XX.X)	HOUSE
(XX.X)	PORCH
(XX.X)	GARAGE/CRAWL SPACE
(XX.X)	FOUNDATION STEP
(XX)	CONCRETE
(X)	RISER COUNT
(6)	NAIL STRIPS
(XX.XX)	CONCRETE ELEVATION
[XX.X]	GRADING PLAN ELEVATION
---	OVEREX LIMITS
---	EROSION CONTROL

SITE SPECIFIC PLOT PLAN NOTES:

WATER METER IS IN DRIVEWAY;
WILL NEED TO BE RELOCATED.

TOF = 83.9

GARAGE SLAB = 83.2

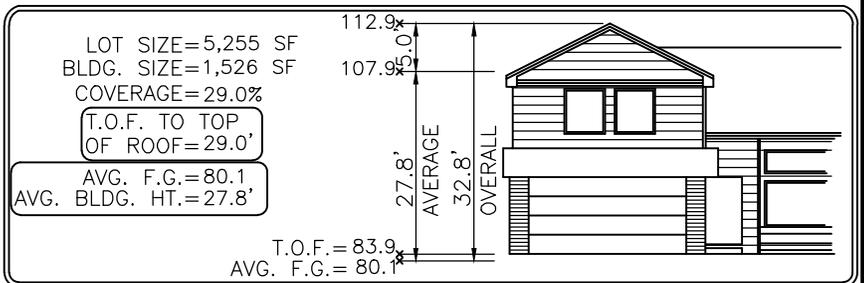
GRADE BEAM = 12"
(83.9 - 83.2 = 00.7 * 12 = 8" + 4" = 12")
*FROST DEPTH MUST BE MAINTAINED

LOWERED FINISH GRADE AT PORCH 32"

POUR TALLER WALL IN GARAGE
TO MAINTAIN FROST PROTECTION

CUT/FILL AT LOCATIONS SHOWN FOR
ADEQUATE DRAINAGE

STEP FOUNDATION AT LOCATIONS INDICATED
STEPS SHOWN MEET GRADING REQUIREMENTS ONLY
NOT A STRUCTURALLY ENGINEERED DESIGN



Elevation view of building is an illustrative tool only to indicate the calculation for the average building height.



SCALE: 1"=20'

MODEL OPTIONS: R221-A/2-CAR/GARDEN LEVEL/9' BSMT

SUBDIVISION: SPRINGS AT WATERVIEW FILING NO.1

COUNTY: EL PASO

ADDRESS: 4878 WOLF MOON DRIVE

MINIMUM SETBACKS:

FRONT: 25' SEP.: 10'
REAR: 25'
CORNER: 15'
SIDE: 5'

DRAWN BY: DV

DATE: 09-01-20



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GENERAL NOTES:

- PLOT PLAN NOT TO BE USED FOR EXCAVATION PLAN OR FOUNDATION PLAN LAYOUT.
- PLOT PLAN SUBJECT TO APPROVAL BY ZONING/BUILDING AUTHORITY PRIOR TO STAKEOUT.
- EASEMENTS DISPLAYED ON THIS PLOT ARE FROM THE RECORDED PLAT AND MAY NOT INCLUDE ALL EASEMENTS OF RECORD.
- PLOT PLAN MUST BE APPROVED BY BUILDER PRIOR TO ORDERING STAKEOUT.
- LOT CORNER ELEVATION CHECK: 06-01-20