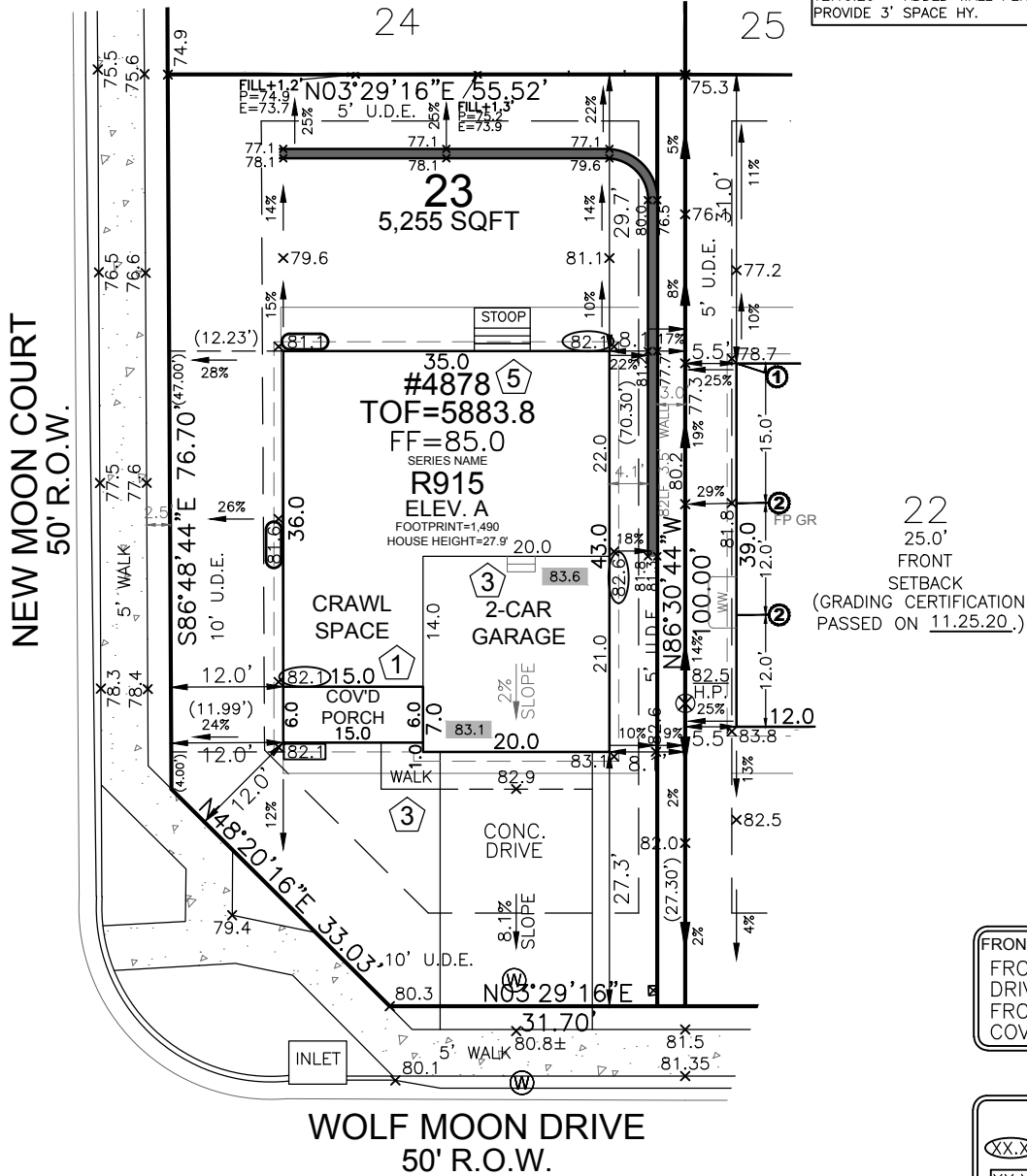


RICHMOND AMERICAN HOMES JOB#28520046

PLOT PLAN LOT 23

SCHEDULE NUMBER 5507206060

REVISIONS:
10.09.20 - UPDATED MODEL OPTION PER MAREA - DV
12.09.20 - CHANGED FROM R221 TO R915 PER 12.04.20 ORDER - DV
12.10.20 - ADDED WALL PER EMAIL 12.09.20 - DV, PROVIDE 3' SPACE HY.



FRONT SETBACK DRIVE COVERAGE
 FRONT SETBACK= 1,105SF
 DRIVE COVERAGE IN
 FRONT SETBACK= 408SF
 COVERAGE=36.9 %

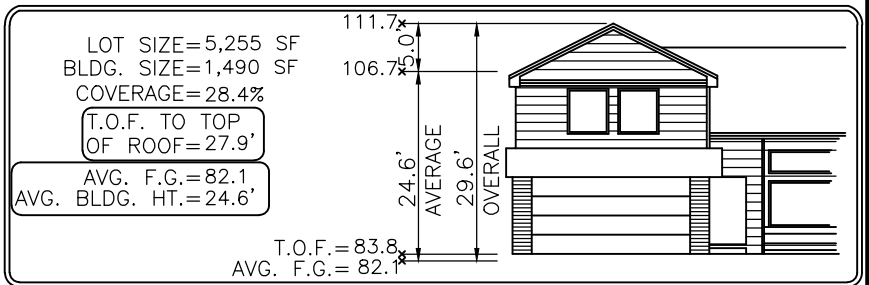
LEGEND

LOWERED FINISH GRADE:	
(XX.X)	HOUSE
[XX.X]	PORCH
[XX.X]	GARAGE/CRAWL SPACE
[XX.X]	FOUNDATION STEP
(XX)	CONCRETE
[X]	RISER COUNT
[6]	NAIL STRIPS
[XX.XX]	CONCRETE ELEVATION
[XX.X]	GRADING PLAN ELEVATION
— — —	OVEREX LIMITS
[] [] []	EROSION CONTROL

SITE SPECIFIC PLOT PLAN NOTES:

WATER METER IS IN DRIVEWAY; WILL NEED TO BE RELOCATED.

- TOF = 83.8
- GARAGE SLAB = 83.1
- GRADE BEAM = 12"
- (83.8 - 83.1 = 00.7 * 12 = 8" + 4" = 12")
- *FROST DEPTH MUST BE MAINTAINED
- LOWERED FINISH GRADE ALONG HOUSE
- LOWERED FINISH GRADE AT PORCH 20"
- POUR TALLER WALL IN CRAWL SPACE TO MAINTAIN FROST PROTECTION
- RETAINING WALL PROPOSED
- CUT/FILL AT LOCATIONS SHOWN FOR ADEQUATE DRAINAGE



Elevation view of building is an illustrative tool only to indicate the calculation for the average building height.

MODEL OPTIONS: R915-A/2-CAR/CRAWL SPACE

SUBDIVISION: SPRINGS AT WATERVIEW FILING NO.1

COUNTY: EL PASO

ADDRESS: 4878 WOLF MOON DRIVE

MINIMUM SETBACKS:

FRONT: 25' SEP.: 10'
 REAR: 25'
 CORNER: 15'
 SIDE: 5'

DRAWN BY: DV

DATE: 09-01-20



6841 South Yosemite Street #100
 Centennial, CO 80112 USA
 Phone: (303) 850-0559
 Fax: (303) 850-0711
 E-mail: info@bjsurveying.net

GENERAL NOTES:

- PLOT PLAN NOT TO BE USED FOR EXCAVATION PLAN OR FOUNDATION PLAN LAYOUT.
- PLOT PLAN SUBJECT TO APPROVAL BY ZONING/BUILDING AUTHORITY PRIOR TO STAKEOUT.
- EASEMENTS DISPLAYED ON THIS PLOT ARE FROM THE RECORDED PLAT AND MAY NOT INCLUDE ALL EASEMENTS OF RECORD.
- PLOT PLAN MUST BE APPROVED BY BUILDER PRIOR TO ORDERING STAKEOUT.
- LOT CORNER ELEVATION CHECK: 06-01-20



Colorado Springs Utilities

It's how we're all connected

May 21, 2020

B&J Surveying Inc.
Attn: Hayley Young
6841 South Yosemite Street, Suite 100
Centennial, CO 80112

Sent Via Email: hyoung@bjsurvey.net

RE: Encroachment approval for Springs at Waterview Filing 1

To Whom it may Concern:

Reference is made to your proposal to encroach into the 5' side lot and 5' rear lot easements in the Springs at Waterview Fil 1 Development.

Please be advised that we have reviewed the request and that Colorado Springs Utilities (CSU) has no objections to the roof eaves and concrete flatwork within the 5' side and 7' rear lot easements within the Springs at Waterview Filing 1 development. Window well installations will need to be installed according to CSU specifications. I have attached the specifications to this document.

You are further advised to contact all other utility providers regarding these encroachments requests. CSU only services gas and electric within this subdivision and is not the provider for water, wastewater or communications.

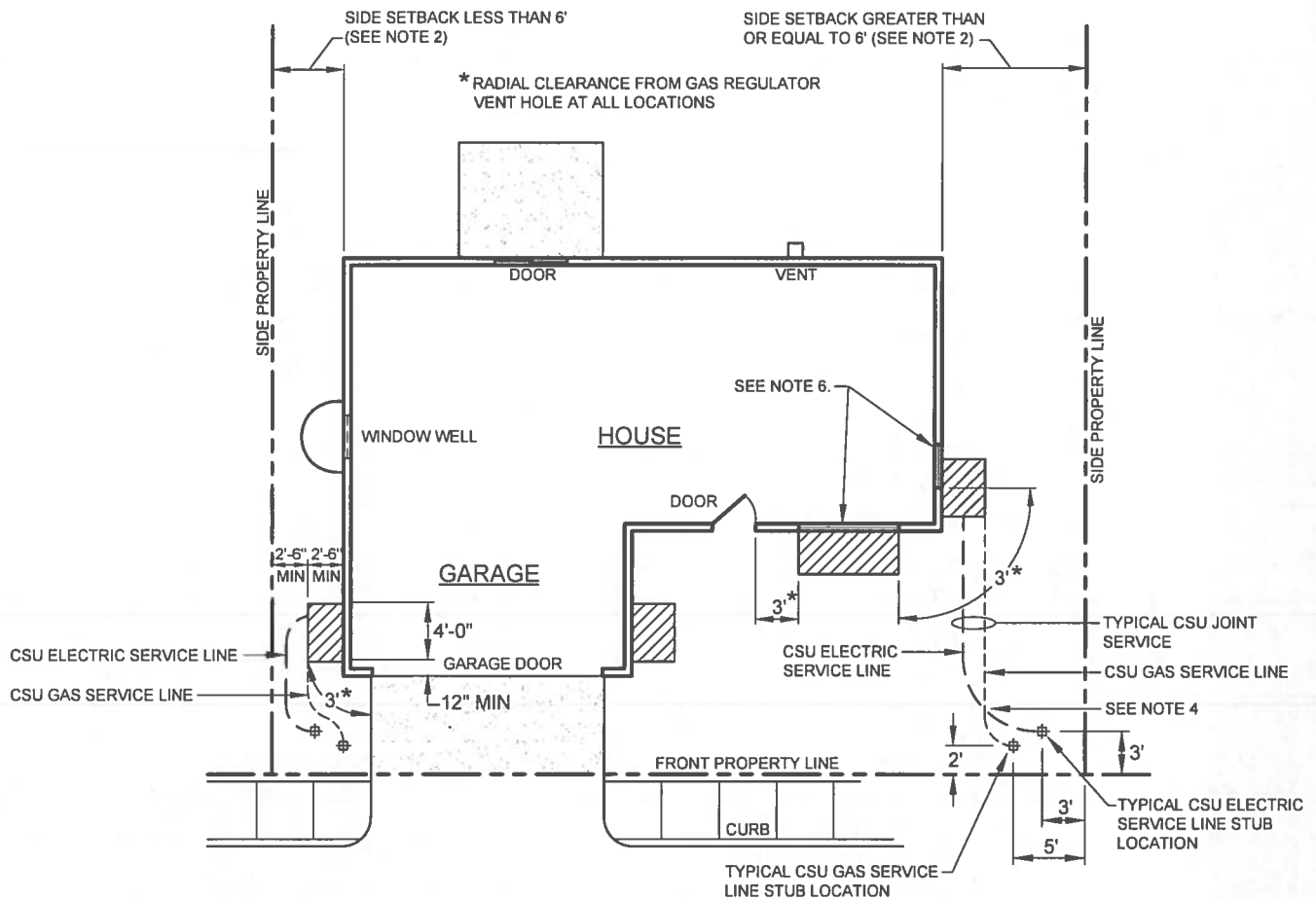
If you have further questions, please feel free to contact me at 719-668-8267 or 719-668-5567.


Ryne Solberg
Development Services

Ginny Halvorson
Field Engineering

FIGURE 4
UTILITY LOT LAYOUT

FIGURE 4A
CSU OWNED JOINT/ SEPARATE TRENCH GAS UTILITIES LOT LAYOUT

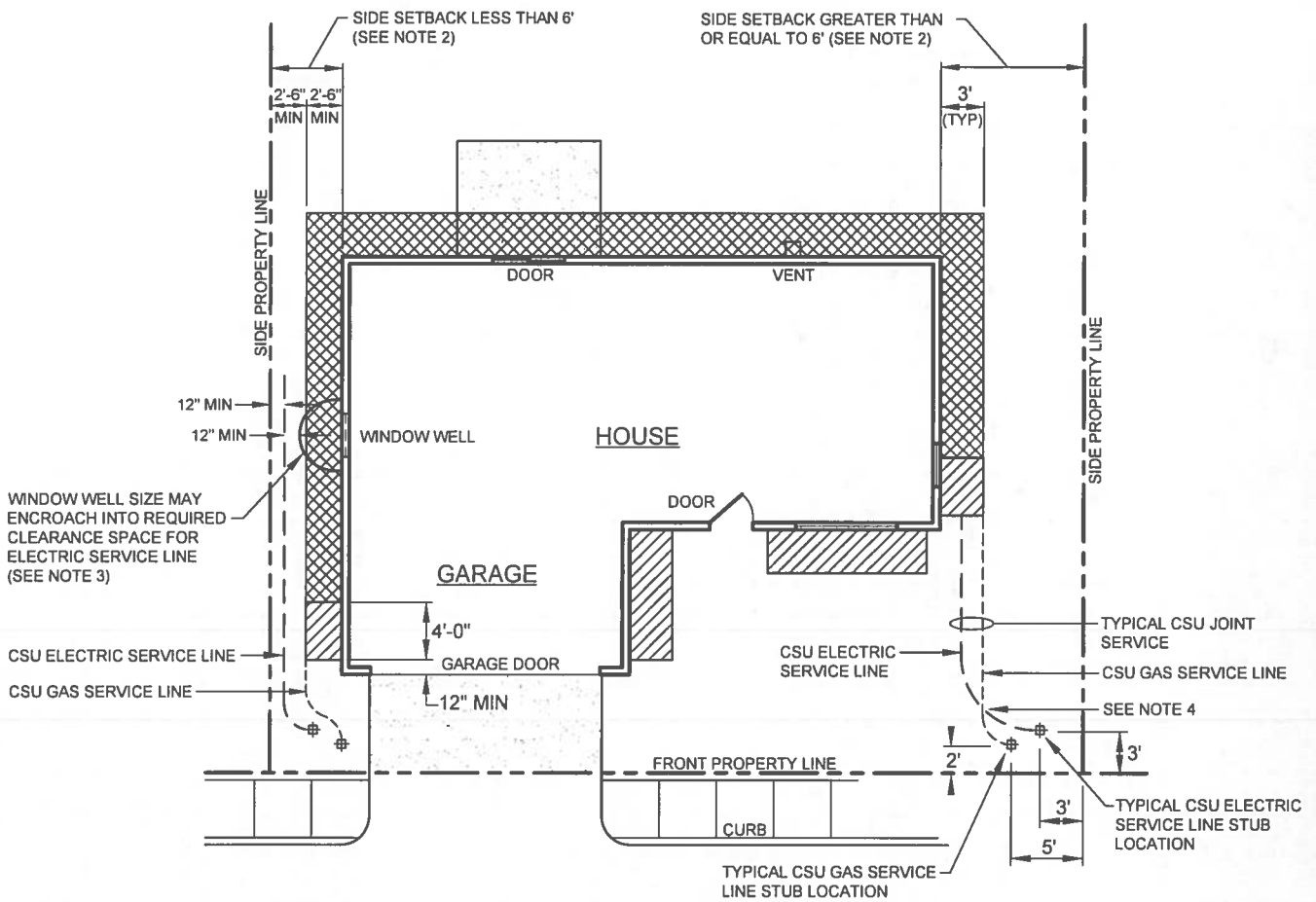



GAS METER LOCATION  Gas meter location at front wall or front side wall at 1' minimum and 5' maximum from front corner of building.

NOTES:

1. Residential natural gas meters shall be located on the side of the structure and within 5 feet of the front corner of the structure closest to the gas main, or on the front wall of the structure facing typical public access, or that which is nearest to the gas main. It is preferred, but not mandatory, to have both the natural gas and electric meters located on the same side of the structure.
2. Minimum 2'-6" horizontal separation from property lines, above or below ground structures, and/or other utilities, shall only be allowed where and when residential structures are built on less than a 6' foot setback from the side property line (distance of less than 6' feet between the side wall of the structure and the side property line). Side setbacks greater than or equal to 6 feet will require the typical 3'-0" horizontal separation. Separation clearances at the structure are measured from walls or projections such as foundations, window wells, etc.
3. Typical window well sizes may encroach into the required gas service line clearance space and prohibit installation of the gas service line past that point. The electric service wire may be able to pass by the window well as long as there is the required 12" clearance from the electric service wire to both the window well and the property line.
4. If electric and gas service lines ever need to cross each other, maintain 12" vertical separation between the crossing lines, and maintain 6" bedding sand above and below gas service line.
5. See Figure 4B for Non-CSU Utilities Lot Layout .
6. Operable window requires 3' radial separation from gas regulator vent hole. Non-operable window is required if located within 3' of gas regulator vent hole (typical).
7. See Figure 9A, 9C and notes for additional requirements regarding meter location.
8. All meters on town homes and single family residential buildings shall be easily accessible for maintenance with no enclosures or fencing.

CSU OWNED JOINT/SEPARATE ELECTRIC UTILITIES LOT LAYOUT



PREFERRED LOCATION  Electric meter location at front wall or front side wall at 1' minimum and 5' maximum from front corner of building.

NON-PREFERRED LOCATION  Electric meter alternate location (should be used only when a preferred location is not practical)

NOTES:

1. Preferred CSU residential electric meter location is on the side of the structure and within 5 feet of the front corner of the structure, or on the front wall of the structure facing typical public access. It is preferred, but not mandatory, to have both the natural gas and electric meters located on the same side of the structure.
2. CSU electric service line minimum 2'-6" horizontal separation from property lines, above or below ground structures, and/or other utilities, shall only be allowed where and when residential structures are built on less than a 6' foot setback from the side property line (distance of less than 6' feet between the side wall of the structure and the side property line). Side setbacks greater than or equal to 6 feet will require the typical 3'-0" horizontal separation. Separation clearances at the structure are measured from walls or projections such as foundations, window wells, etc.
3. The electric service wire may be able to pass by the window well as long as there is the required 12" clearance from the electric service wire to both the window well and the property line.
4. If electric and gas service lines ever need to cross each other, maintain 12" vertical separation between the crossing lines, and maintain 6" bedding sand above and below gas service line.