GRADING & EROSION CONTROL PLANS
for
TABLE ROCK HOMESTEADS

A PORTION OF THE SE1/4 OF THE NE1/4 SECTION 6, TOWNSHIP 12 SOUTH, RANGE 65 WEST,
EL PASO COUNTY, COLORADO

STANDARD EL PASO COUNTY GRADING & EROSION CONTROL PLAN NOTES

1. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.

2. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.

3. A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.

4. ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.

5. CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.

6. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.

7. TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.

8. FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.

9. ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.

10. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.

11. COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).

12. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.

13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.

14. DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.

15. EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.

16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.

17. WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.

18. TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.

19. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.

20. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.

21. NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ONSITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.

22. BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ONSITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.

23. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.

24. OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344). IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.

25. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.

26. PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.

27. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.

28. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY ENTECH ENGINEERING INC. ON SEPTEMBER 9, 2022 AND SHALL BE CONSIDERED A PART OF THESE PLANS.

29. AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WQCD – PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT

ABBREVIATIONS

EL	ELEVATION	ROW	RIGHT-OF-WAY
PC	POINT OF CURVATURE	R	RADIUS
PI	POINT OF INTERSECTION	T	TANGENT
PT	POINT OF TANGENCY	L	LENGTH
PCR	POINT OF CURVE RETURN	LF	LINEAR FEET
PRC	POINT OF REVERSE CURVATURE	CL	CENTERLINE
PVC	POINT OF VERTICAL CURVATURE	X.XX' R	DIMENSION RIGHT OF CL
PVI	POINT OF VERTICAL INTERSECTION	X.XX' L	DIMENSION LEFT OF CL
PVT	POINT OF VERTICAL TANGENCY	PL	PROPERTY LINE
GB	GRADE BREAK	PVRC	POINT OF VERT REVERSE CURVATURE
CSP	CORRUGATED STEEL PIPE		
RCP	REINFORCED CONCRETE PIPE	VC	VERTICAL CURVE
CBC	CONCRETE BOX CULVERT	AP	ANGLE POINT
TBC	TOP BACK CURB	STA	STATION
TC	TOP OF CURB	INV	INVERT
BT	BEGIN TAPER	RG	RAIN GARDEN
ET	END TAPER	SFB	SAND FILTER BASIN
EC	EDGE OF CONCRETE		

LEGEND

EXISTING

- BOUNDARY LINE
- ADJACENT BOUNDARY LINE
- ADJACENT LOT LINE
- EASEMENT LINE
- INDEX CONTOUR — 6030
- INTERMEDIATE CONTOUR — 6028
- SIGN
- FENCE — x — x — x — x — x —

PROPOSED

- BOUNDARY LINE
- LOT LINE
- EASEMENT LINE
- CENTER LINE
- INDEX CONTOUR — 6030
- INTERMEDIATE CONTOUR
- SLOPE / GRADE — 4:1 — 2.6%
- SPOT ELEVATION — 35.0
- CONSTRUCTION BOUNDARY/LIMITS OF DISTURBANCE

STANDARD EL PASO COUNTY CONSTRUCTION PLAN NOTES

1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).

3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
   a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
   b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
   c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
   d. CDOT M & S STANDARDS

4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.

5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.

6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.

7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.

8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.

9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY DSD.

10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.

11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.

12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.

13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]

14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.

15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

GENERAL NOTES

1. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN DRAWN FROM AVAILABLE RECORDS AND/OR SURFACE EVIDENCE. THE LOCATION OF ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED, BELOW GROUND LOCATIONS HAVE NOT BEEN PERFORMED. THEREFORE, THE RELATIONSHIP BETWEEN PROPOSED WORK AND EXISTING FACILITIES, STRUCTURES AND UTILITIES MUST BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL SUBSURFACE UTILITY OWNERS PRIOR TO BEGINNING WORK TO DETERMINE LOCATION OF UTILITY FACILITIES. ALL UTILITIES SHALL BE LOCATED PRIOR TO ANY EARTH WORK OR FENCING (1-800-922-1987). THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

2. EXISTING CONDITIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR. DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION.

3. SOIL PREPARATION, SEEDING, AND MULCHING FOR AN ESTIMATED 28 ACRES WILL BE REQUIRED ON ALL DISTURBED AREAS NOT SURFACED. THE FOLLOWING TYPES AND RATES SHALL BE USED PER THE EL PASO COUNTY CONSERVATION DISTRICT "LOW GROW GRASS SEED MIX":

GRASS	AMOUNT IN % OF MIX
WESTERN WHEATGRASS	24%
BLUE GRAMA, NATIVE	20%
BUFFALOGRASS	18%
SIDEOATS GRAMA	13%
GREEN NEEDLEGRASS	6%
SAND DROPSEED	1.5%

4. SEEDING APPLICATION: DRILLED TO A DEPTH OF .25" TO .50" INTO SOIL WHERE POSSIBLE. BROADCAST AND RAKED TO COVER ON STEEPER THAN 3:1 SLOPES WHERE ACCESS IS LIMITED OR UNSAFE FOR EQUIPMENT.

5. MULCHING REQUIREMENT AND APPLICATION: 2.0 TONS PER ACRE NATIVE HAY MECHANICALLY CRIMPED INTO SOIL.

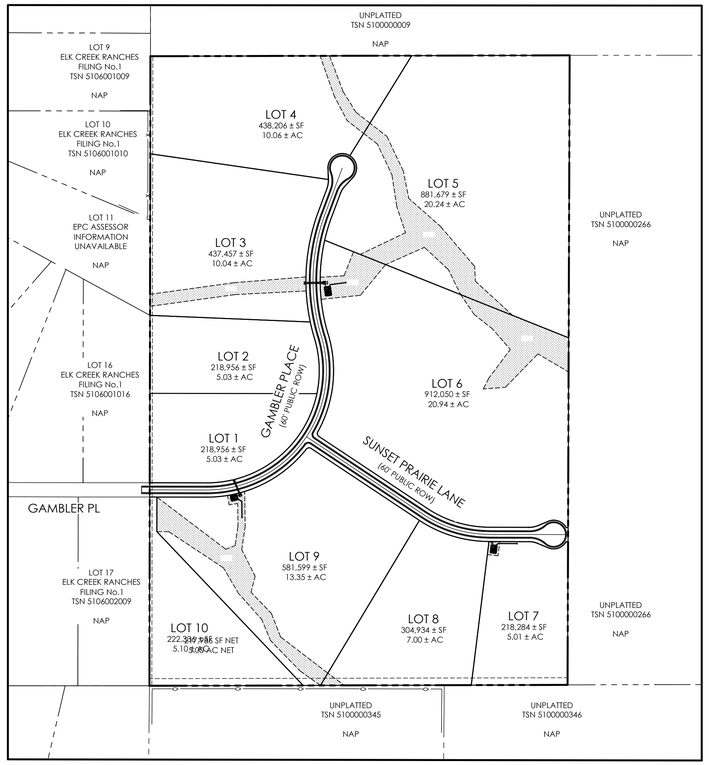
6. ALL STORM DRAIN SHALL BE REINFORCED CONCRETE PIPE. ALL CULVERTS SHALL BE PLACED COMPLETE WITH FLARED END SECTIONS. ALL STORM DRAIN FITTINGS AND BENDS SHALL BE PRE-CAST. STORM DRAIN PIPE MAY ALSO BE CORRUGATED METAL OR HDPE, PLACED IN ACCORDANCE WITH EL PASO COUNTY SPECIFICATIONS.

7. CONTRACTOR WILL BE RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING HELD PRIOR TO CONSTRUCTION WITH EPC-PCD, ENGINEER, AND CONTRACTOR IN ATTENDANCE.

8. CONTRACTOR IS RESPONSIBLE FOR ALL OF HIS OPERATIONS ON THE SITE. CONTRACTOR SHALL OBSERVE ALL SAFETY AND OSHA REGULATIONS DURING CONSTRUCTION OPERATIONS. TRENCH WIDTHS AND SLOPE ANGLES SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD AND ACCORDING TO SAFETY AND OSHA REGULATIONS.

9. ALL NECESSARY PERMITS, SUCH AS SWMP, FUGITIVE DUST, ACCESS, C.O.E. 404, ESQCP PERMIT, ETC. SHALL BE OBTAINED PRIOR TO CONSTRUCTION.

CALL BEFORE YOU DIG... 1-800-922-1987
48 HOURS BEFORE YOU DIG, CALL UTILITY LOCATORS FOR LOCATING AND MARKING GAS, ELECTRIC, WATER AND WASTEWATER



SITE MAP
SCALE 1"=300'

COMPANIES AND AGENCIES

OWNER/DEVELOPER
THADDEUS J. JAROSZ
8550 KENOSHA DRIVE
COLORADO SPRINGS, CO 80908

ENGINEER
M.V.E., INC.
1903 LELARAY STREET, STE 200
COLORADO SPRINGS, CO 80909
(719) 635-5736

EL PASO COUNTY PLANNING
EPC PLANNING AND COMMUNITY DEVELOPMENT
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
(719) 520-6300

STREETS AND RIGHTS-OF-WAY
EPC DEPARTMENT OF PUBLIC WORKS
3275 AKERS DRIVE
COLORADO SPRINGS, CO 80922
(719) 520-6460

ELECTRIC
MOUNTAIN VIEW ELECTRIC ASSOCIATION
11140 EAST WOODMEN ROAD
FALCON, CO 80831
(719) 495-2283

TELEPHONE
CENTURYLINK
555 TECH CENTER DRIVE SUITE 110
COLORADO SPRINGS, CO 80919
(866)-301-9889

NATURAL GAS
BLACK HILLS ENERGY
18965 BASE CAMP RD, A-7
MONUMENT, CO 80132
(719)-488-0739

SHEET INDEX

PLAN SET SHEET NO.	SHEET INDEX	M.V.E. DRAWING NO.
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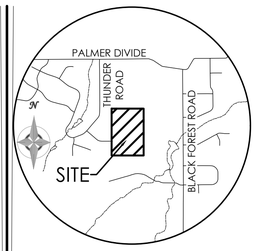
C2.8 (8 OF 8)	EROSION CONTROL DETAILS	61223-GEC-ED



VICINITY MAP
NOT TO SCALE

BENCHMARK
THE BENCHMARK FOR THESE PLANS IS THE SOUTHWEST PROPERTY CORNER, A REBAR & CAP, ALESSI, PLS 30130.
ELEVATION = 7385.63' (NAVD88).

N

50 0 100 300 600
1" = 300' 1:3,600

OWNERS STATEMENT
I, THADDEUS J. JAROSZ, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

THADDEUS J. JAROSZ — DATE
OWNER

DESIGN ENGINEER'S STATEMENT
THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

DAVID R. GORMAN, P.E.
COLORADO NO. 31672
FOR AND ON BEHALF OF M.V.E., INC.

EL PASO COUNTY
COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JOSHUA PALMER, P.E. — DATE
INTERIM COUNTY ENGINEER / ECM ADMINISTRATOR

PCD FILE NO. :

MVE INC. ENGINEERS / SURVEYORS
1903 lelaray street, suite 200 colorado springs co 80909 719.635.5736

REVISIONS

DESIGNED BY
DRAWN BY
CHECKED BY
AS-BUILTS BY
CHECKED BY

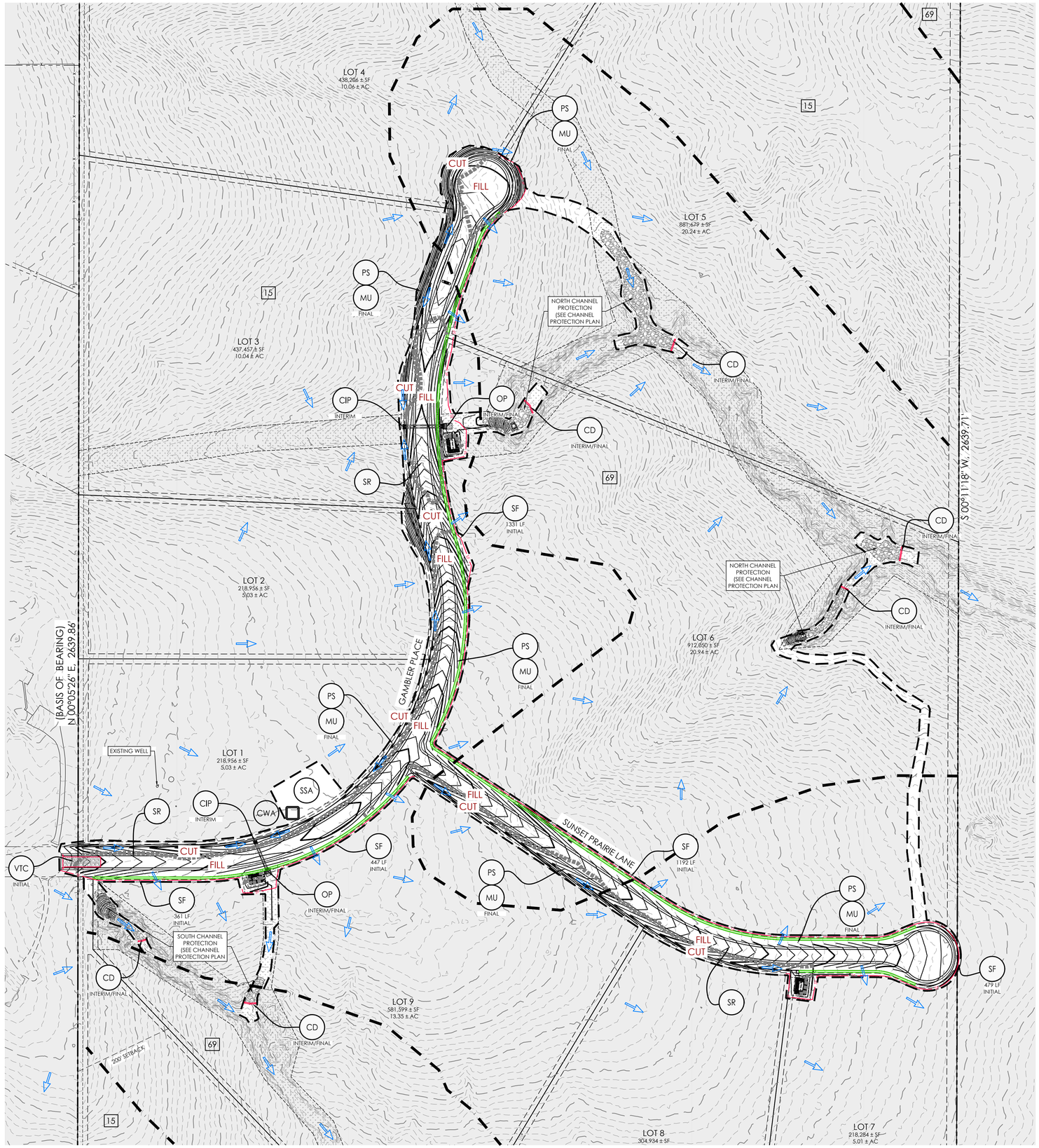
TABLE ROCK HOMESTEADS

GRADING & EROSION CONTROL PLANS

COVER SHEET

C2.1 MVE PROJECT 61223
MVE DRAWING GEC-CS

JANUARY 24, 2025
SHEET 1 OF 8



BMP LEGEND

MAP SYMBOL	KEY	DESCRIPTION
		INITIAL BMPs
	SP	STOCKPILE MANAGEMENT (Initial BMP)
	SSA	STABILIZED STAGING AREA (Initial BMP)
	VTC	VEHICLE TRACKING CONTROL (Initial BMP)
SF	SF	SILT FENCE (Initial BMP)
	CIP	CULVERT INLET PROTECTION (Initial BMP)
		INTERIM BMPs
	SBB	STRAW BALE BARRIER AS CHECK DAM (interim BMP)
	OP	OUTLET PROTECTION (RIP-RAP) (Interim BMP)
	CWA	CONCRETE WASHOUT AREA
	CD	PERMANENT ROCK CHECK DAM

BMP LEGEND

MAP SYMBOL	KEY	DESCRIPTION
		FINAL BMPs
	SR	SURFACE ROUGHENING (Final BMP)
	MU	MULCHING (Final BMP)
	PS	PERMANENT SEEDING (Final BMP)
1.50%		SLOPE DIRECTION AND GRADE
		DRAINAGE FLOW ARROW
		LIMITS OF CONSTRUCTION/DISTURBANCE
40 71		LIMITS OF SOIL TYPE
CUT FILL		CUT/FILL BOUNDARY
		RECEIVING PERVIOUS AREA (RPA)

HYDROLOGIC SOIL GROUP	
MAP UNIT NUMBER	DESCRIPTION
15	BRUSSET LOAM, HYDROLOGIC SOIL GROUP B, MODERATE HAZARD OF EROSION
69	PEYTON-PRING COMPLEX, HYDROLOGIC SOIL GROUP B, MODERATE TO HIGH HAZARD OF EROSION

EROSION CONTROL DATA

TIMING	
ANTICIPATED START & COMPLETION TIME PERIOD OF SITE GRADING	SPRING 2025 TO SPRING 2026
EXPTECTED DATE ON WHICH FINAL STABILIZATION WILL BE COMPLETED	FALL 2026
AREAS	
TOTAL AREA OF SITE	106.364 ACRES
AREA OF THE SITE TO BE CLEARED, EXCAVATED OR GRADED	8.3 ACRES
RECEIVING WATERS	
NAME OF RECEIVING WATERS	EAST CHERRY CREEK
SOIL DATA	
PRIMARY SOIL DESCRIPTION	15- BRUSSET LOAM
PERMEABILITY	MODERATE
SURFACE RUNOFF	MEDIUM TO RAPID
HAZARD OF EROSION	MODERATE
HYDROLOGIC SOIL GROUP	B
EXISTING PERCENT IMPERVIOUS	0.0%
DEVELOPED PERCENT IMPERVIOUS	7.0%

GENERAL NOTES

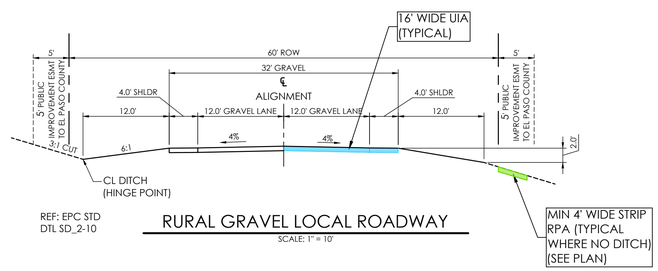
THERE ARE NO PROPOSED BATCH PLANTS ON SITE

THERE ARE NOT ANY NO-BUILD AREAS INDICATED ON THIS PLAN

VEGETATION:

SITE CONSIST OF OPEN PRAIRIE WITH NATIVE GRASSES.

*NOTE: CONTRACTOR MAY NEED EPC "WORK IN THE ROW PERMIT" FOR THE CONNECTION TO THE EXISTING ROAD.



REF: EPC STD DTL SD_2-10

RURAL GRAVEL LOCAL ROADWAY

SCALE: 1" = 10'

RPA REQUIREMENTS:

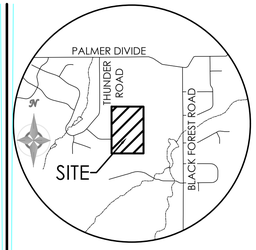
4' OF RPA MINIMUM ALONGSIDE RIGHT-OF-WAY, INSIDE INDIVIDUAL LOTS, WHERE ROADSIDE SHEET FLOWS INTO LOTS.

SEE PLAN FOR LOCATIONS OF RPAs

NO DROP AT THE UIA / RPA INTERFACE FOR SAFETY.

RPA SHALL VEGETATED AND HAVE A UNIFORM DENSITY OF AT LEAST 80%.

RPAs SHALL BE MAINTAINED PER THE APPROVED O&M MANUAL AND ADMINISTERED PER THE PCM MAINTENANCE AGREEMENT.



VICINITY MAP

NOT TO SCALE

BENCHMARK
THE BENCHMARK FOR THESE PLANS IS THE SOUTHWEST PROPERTY CORNER, A REBAR & CAP, ALESSI, PLS 30130.
ELEVATION = 7385.63' (NAVD88).

N

10 0 50 100 200

1" = 100' 1:1,200

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ENGINEERS / SURVEYORS
1903 lelaray street, suite 200 colorado springs, co 80909 719.635.5736

REVISIONS

DESIGNED BY
DRAWN BY
CHECKED BY
AS-BUILTS BY
CHECKED BY

TABLE ROCK HOMESTEADS

GRADING & EROSION CONTROL PLANS
EROSION CONTROL PLAN

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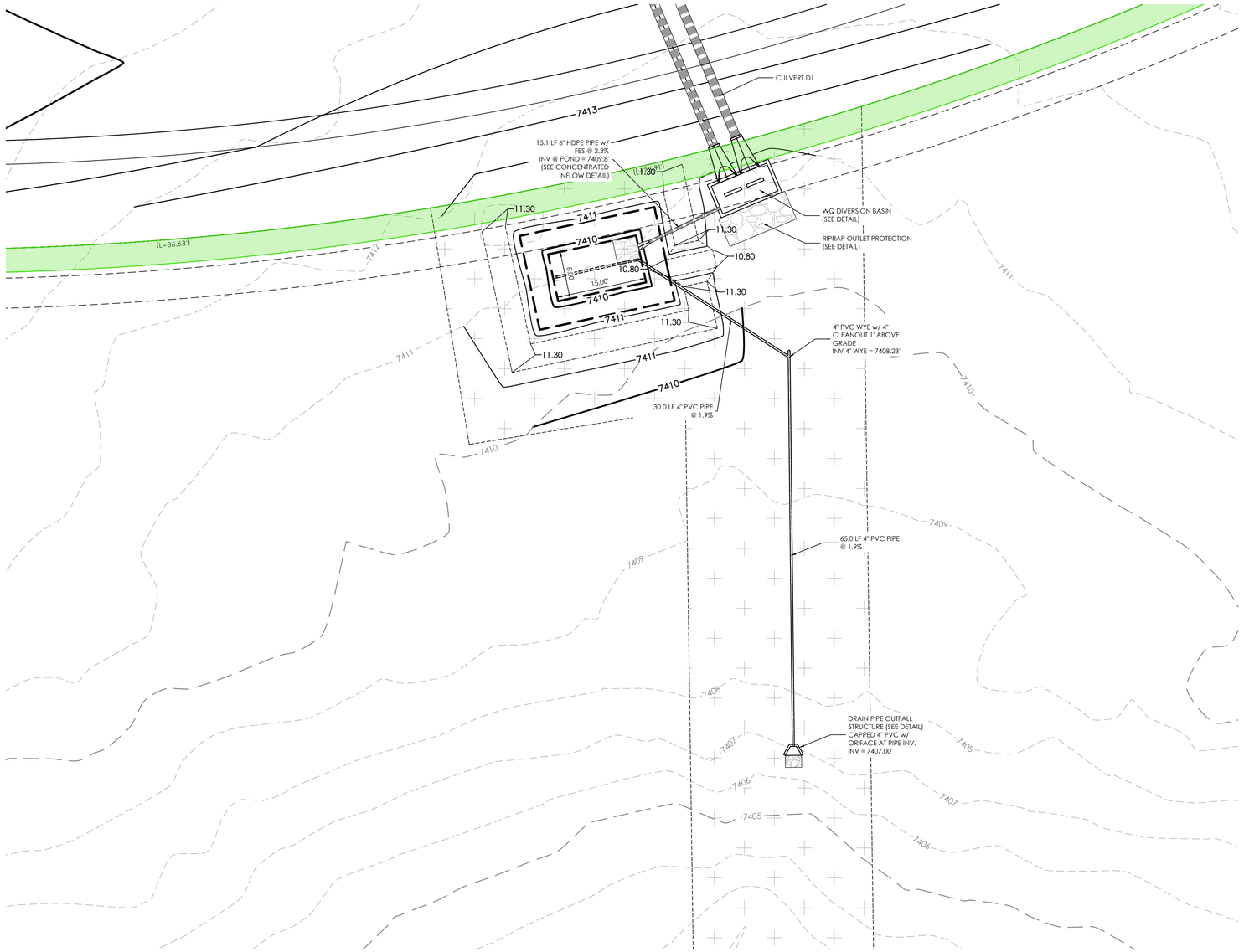
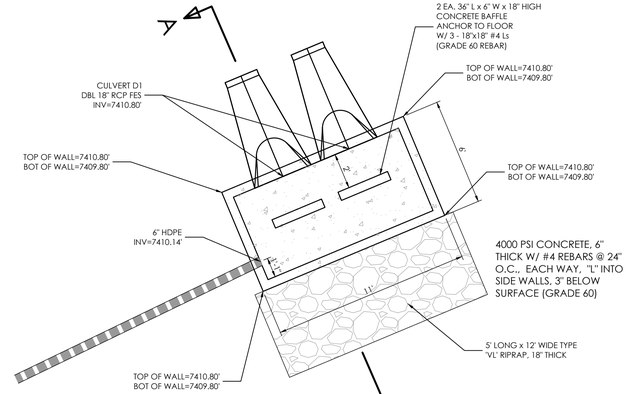
MVE DRAWING GEC-EC

JANUARY 24, 2025

SHEET 2 OF 8

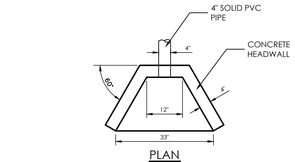




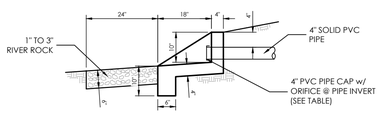
SECTION A-A

WQ DIVERSION BASIN DETAIL

SCALE: 1" = 4'



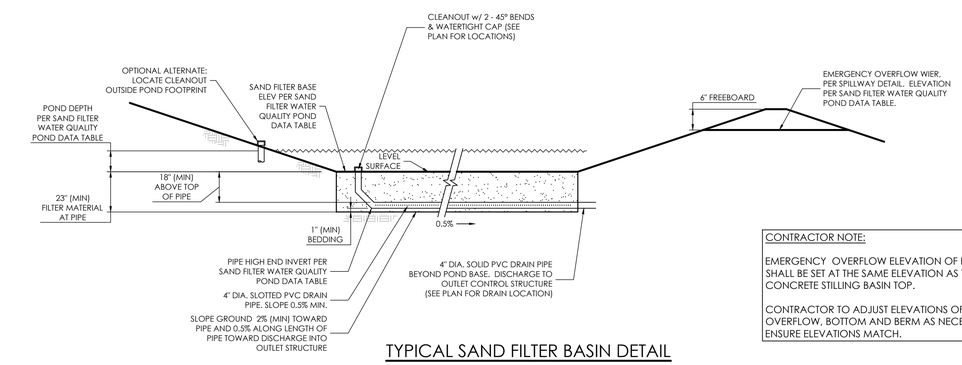
PLAN



SECTION

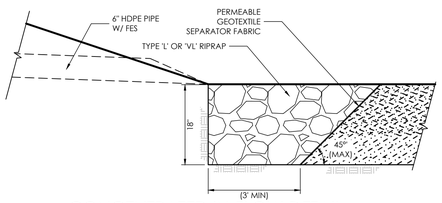
DRAIN PIPE OUTFALL DETAIL

SCALE: 1" = 2'



TYPICAL SAND FILTER BASIN DETAIL

SCALE: NTS



CONCENTRATED IN-FLOW DETAIL

SCALE: NTS

CONTRACTOR NOTE:

EMERGENCY OVERFLOW ELEVATION OF POND SHALL BE SET AT THE SAME ELEVATION AS THE CONCRETE STILLING BASIN TOP.

CONTRACTOR TO ADJUST ELEVATIONS OF POND OVERFLOW, BOTTOM AND BERM AS NECESSARY TO ENSURE ELEVATIONS MATCH.

SAND FILTER SPECIFICATIONS, NOTES & REFERENCES:

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- **CONCENTRATED INFLOW** - PER CONCENTRATED INFLOW DETAIL
- **SLOTTED PIPE** - CONTECH A-2000, OR EQUAL, PER PIPE SPECIFICATION TABLE

SOIL MATERIAL GRADATION TABLE

(SOURCE: UDFCD BIORETENTION (RG) TABLE 8-1 & SAND FILTER BASIN (SFB) TABLE SF-1)

STANDARD SIEVE SIZE	% PASSING		
	GROWING MEDIA[1][2]	FILTER MATERIAL[3]	
		CLASS B	CLASS C
1-1/2"		100	
3/4"			100
NO. 4	100	20-60	60-100
NO. 10	85-100		
NO. 50		0-30	10-30
NO. 100			0-10
NO. 200	80-90	0-3	0-3
NO. 230	3-17		

[1] RAIN GARDEN ONLY
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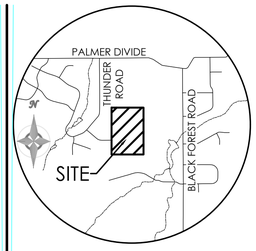
[3] APPLIES TO BOTH SAND FILTER BASIN AND RAIN GARDEN

TABLE SF-2 (SLOTTED PIPE DIMENSIONS)

PIPE Ø	SLOT LENGTH	SLOT WIDTH	SLOT CENTERS	OPEN AREA (PER SF)
4"	1-1/16"	0.032"	0.413"	1.90 SQ. IN.

SAND FILTER WATER QUALITY POND DATA TABLE

SAND FILTER	BASE AREA (SQUARE FEET)	SAND FILTER VOLUME (FT^3)	SAND FILTER BASE ELEV	POND DEPTH (FT)	EMERGENCY OVERFLOW ELEVATION	SLOTTED PIPE INVERT ELEVATIONS		OUTLET ORIFACE INV ELEV	OUTLET ORIFICE DIAMETER (IN)
						HIGH END	LOW END		
D1	120	244	7409.80'	1.0	7410.80'	7408.87'	7408.80'	7407.00'	3/8"



VICINITY MAP

NOT TO SCALE

BENCHMARK

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ELEVATION = 7385.63' (NAVD88).

N

1 0 5 10 20

1" = 10' 1:120

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REVISIONS

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DRAWN BY
CHECKED BY
AS-BUILTS BY
CHECKED BY

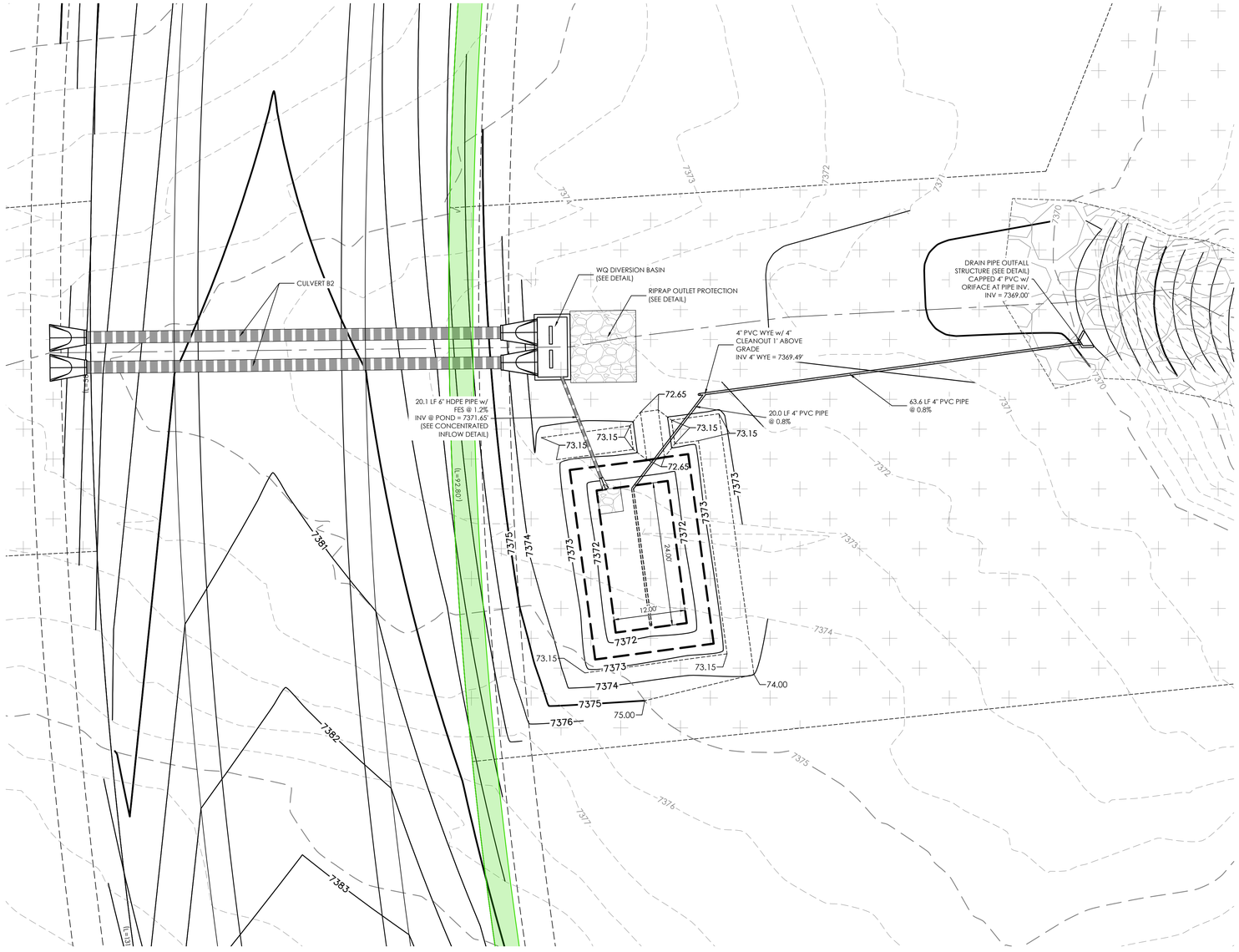
TABLE ROCK HOMESTEADS

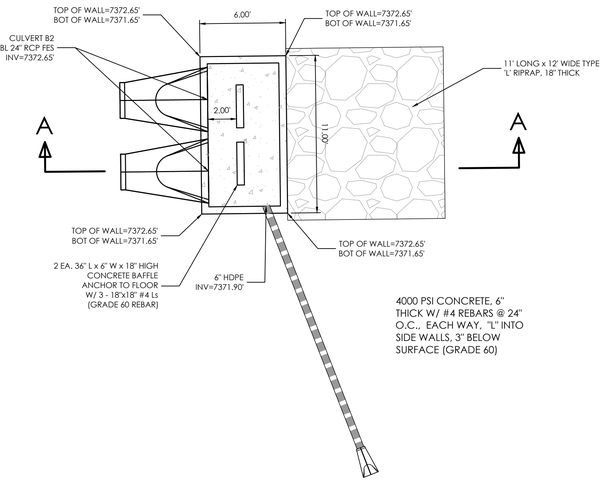
GRADING & EROSION CONTROL PLANS
WQ SAND FILTER D1

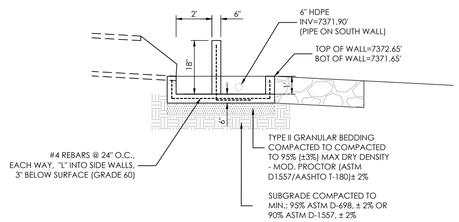
C2.3
MVE PROJECT 61223
MVE DRAWING GEC-PP

JANUARY 24, 2025

SHEET 3 OF 8



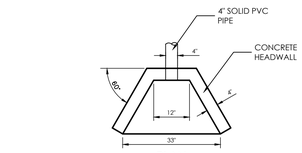




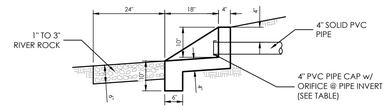
SECTION A-A

WQ DIVERSION BASIN DETAIL

SCALE: 1" = 4'



PLAN



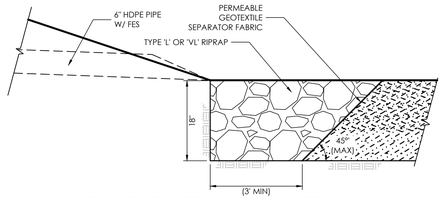
SECTION

DRAIN PIPE OUTFALL DETAIL

SCALE: 1" = 2'

TYPICAL SAND FILTER BASIN DETAIL

SCALE: NTS



CONCENTRATED IN-FLOW DETAIL

SCALE: NTS

CONTRACTOR NOTE:

EMERGENCY OVERFLOW ELEVATION OF POND TO BE SET AT SAME ELEVATION AS THE CONCRETE STILLING BASIN TOP.

CONTRACTOR TO ADJUST ELEVATIONS OF POND OVERFLOW, BOTTOM AND BERM AS NECESSARY TO ENSURE ELEVATIONS MATCH.

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	GROWING MEDIA[1][2]	FILTER MATERIAL[3]	
		CLASS B	CLASS C
1-1/2"		100	100
3/4"			
NO. 4	100	95-100	60-100
NO. 10	85-100		
NO. 50		10-30	10-30
NO. 100			0-10
NO. 200	80-90	0-3	0-3
NO. 230	3-17		

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TABLE SF-2 (SLOTTED PIPE DIMENSIONS)

PIPE Ø	SLOT LENGTH	SLOT WIDTH	SLOT CENTERS	OPEN AREA (PER SF)
4"	1-1/16"	0.032"	0.413"	1.90 SQ. IN.

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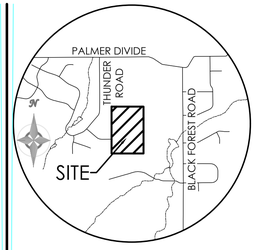
						HIGH END	LOW END		
B2	288	464	7371.65'	1.0	7372.65'	7369.77'	7369.65'	7369.00'	7/16"



VICINITY MAP

NOT TO SCALE

BENCHMARK

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ELEVATION = 7385.63' (NAVD88).

N

1 0 5 10 20

1" = 10' 1:120

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REVISIONS

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AS-BUILTS BY
CHECKED BY

TABLE ROCK HOMESTEADS

GRADING & EROSION CONTROL PLANS
WQ SAND FILTER B2

C2.4
MVE PROJECT 61223
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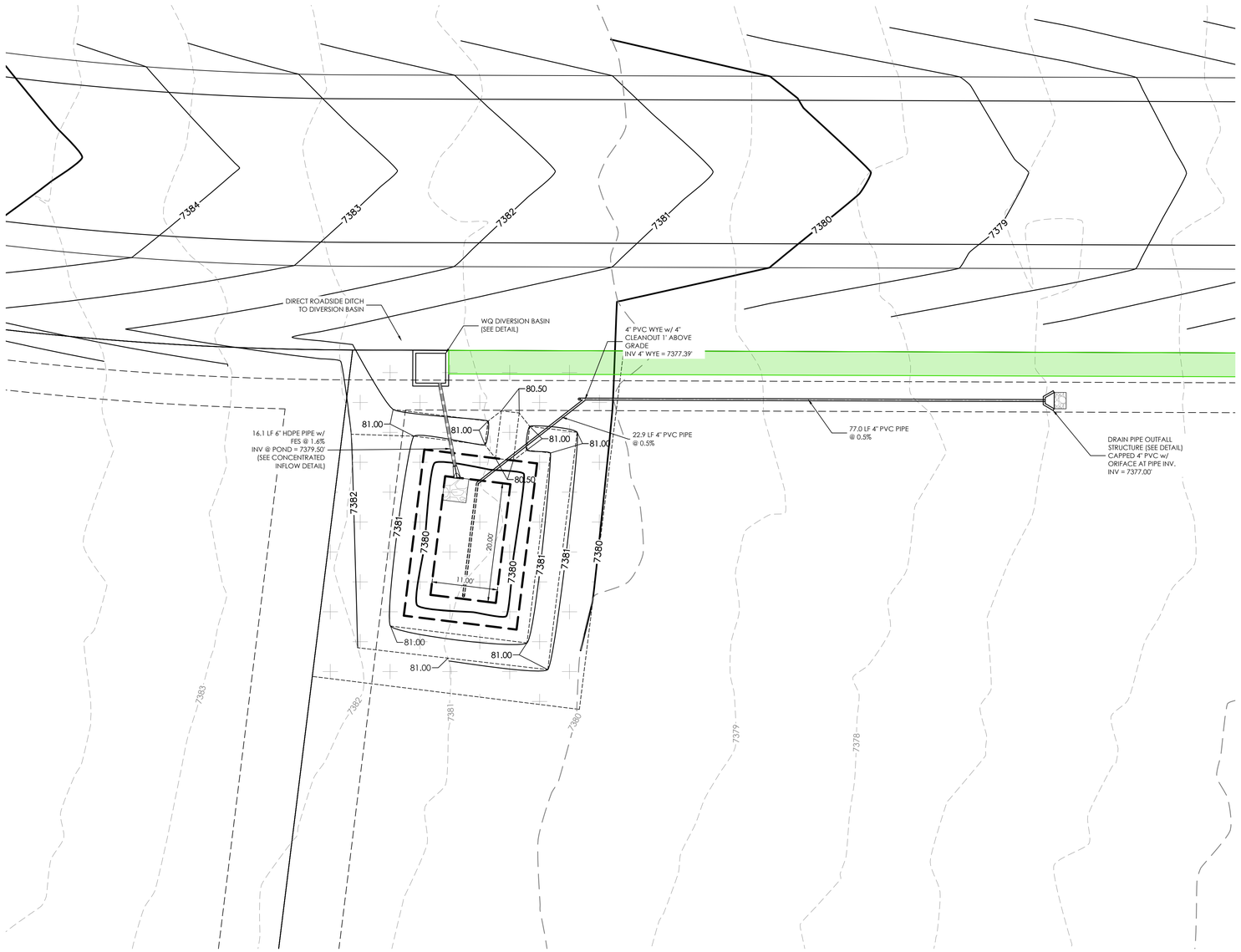
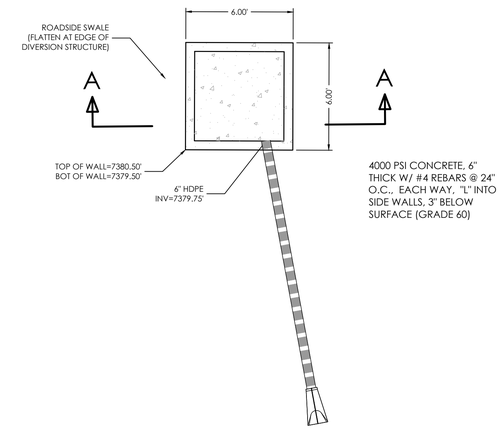
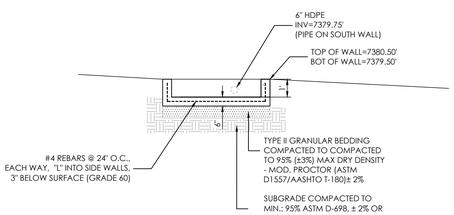


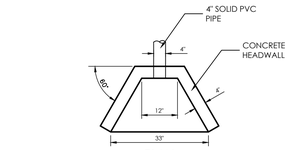




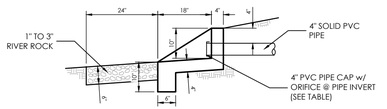
SECTION A-A

WQ DIVERSION BASIN DETAIL

SCALE: 1" = 4'



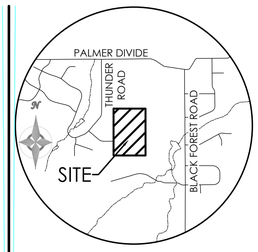
PLAN



SECTION

DRAIN PIPE OUTFALL DETAIL

SCALE: 1" = 2'



VICINITY MAP

NOT TO SCALE

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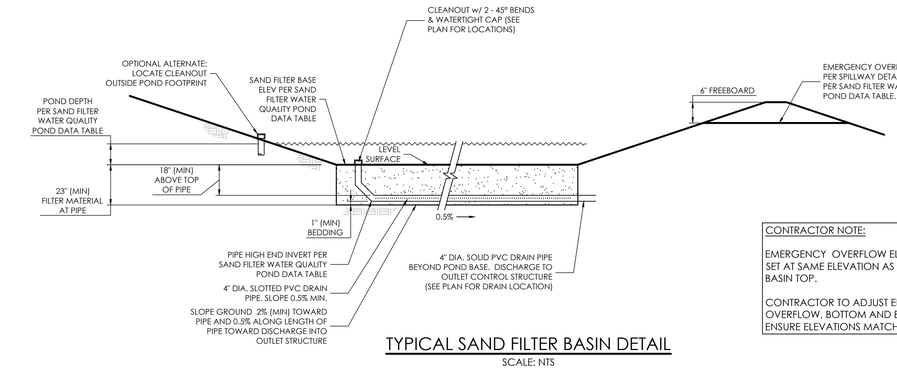
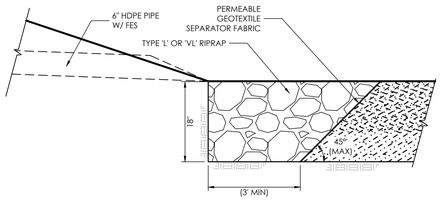
1" = 10' 1:120



TYPICAL SAND FILTER BASIN DETAIL

SCALE: NTS



CONCENTRATED IN-FLOW DETAIL

SCALE: NTS

CONTRACTOR NOTE:

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		CLASS B	CLASS C
1-1/2"		100	
3/4"			100
NO. 4	100	20-60	60-100
NO. 10	85-100		
NO. 50		0-30	10-30
NO. 100			0-10
NO. 200	80-90	0-3	0-3
NO. 230	3-17		

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						HIGH END	LOW END		
C1	220	376	7379.50'	1.0	7380.50'	7377.60'	7377.50'	7377.00'	7/16"

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REVISIONS

DESIGNED BY
DRAWN BY
CHECKED BY
AS-BUILTS BY
CHECKED BY

TABLE ROCK HOMESTEADS

GRADING & EROSION CONTROL PLANS WQ SAND FILTER C1

C2.5

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MVE DRAWING GEC-PP

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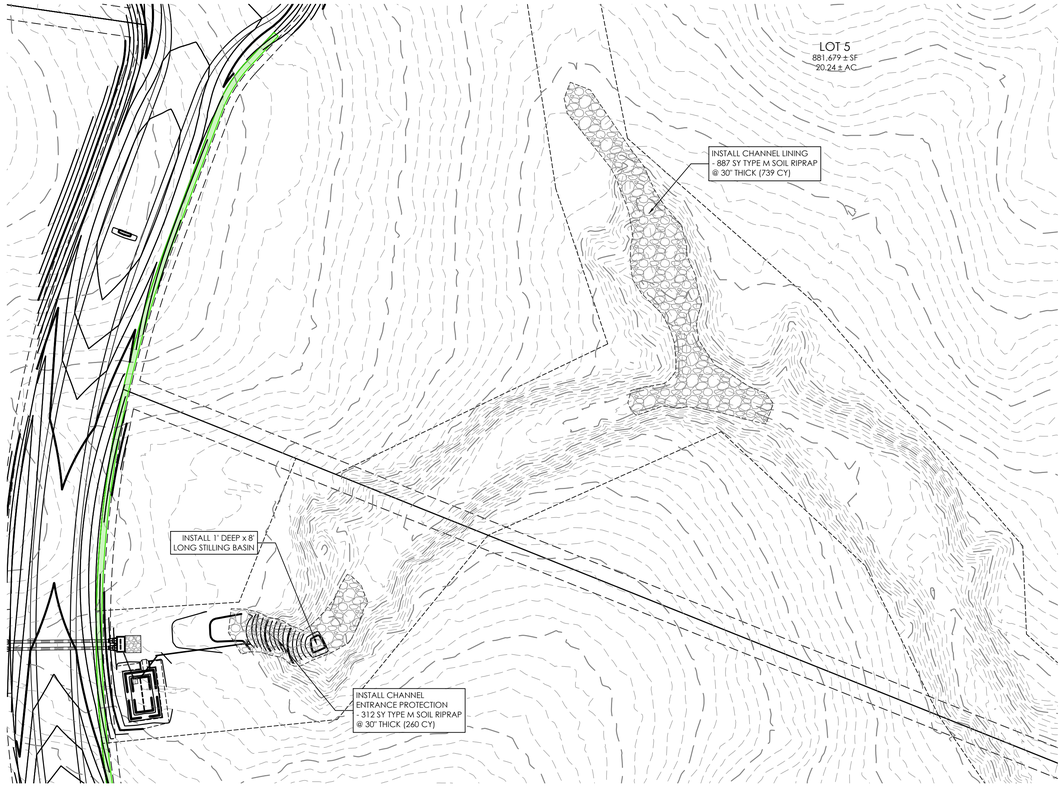
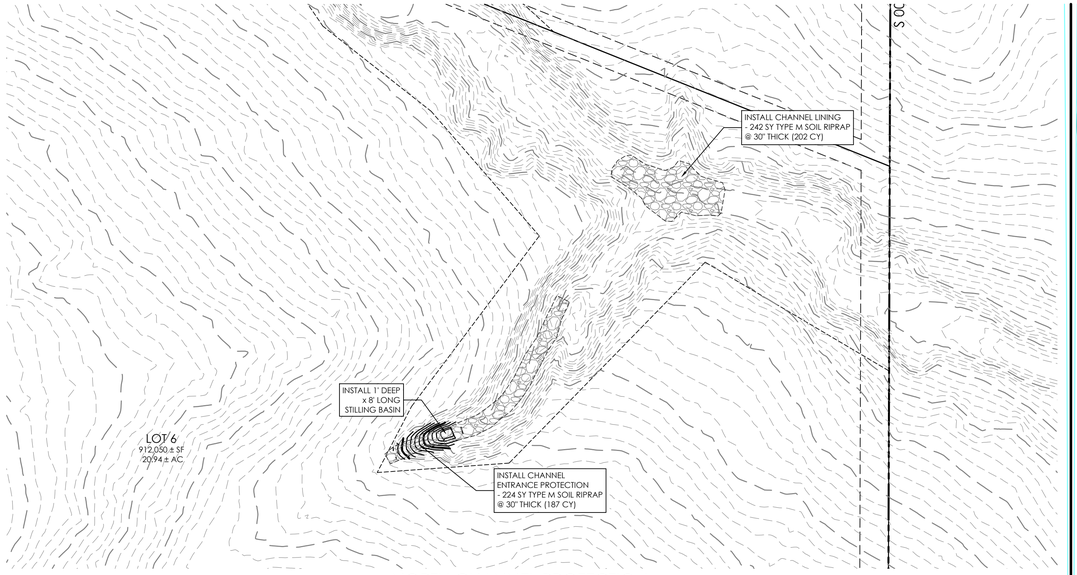


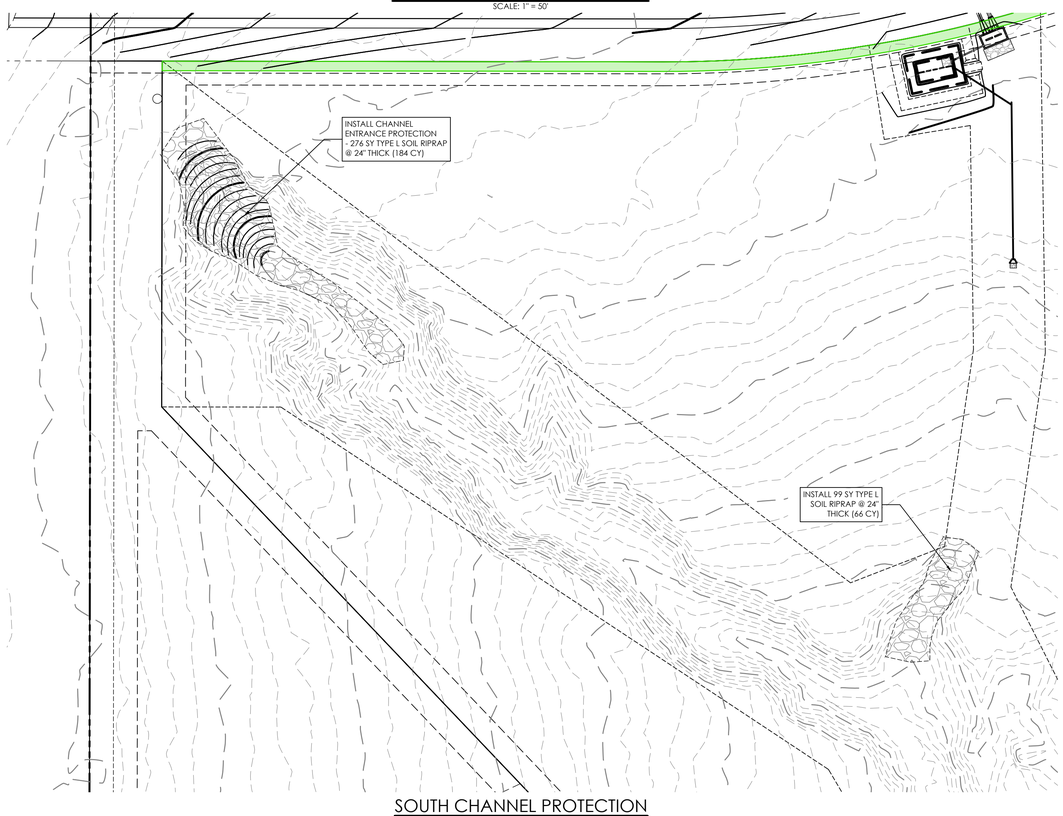
NORTH CHANNEL PROTECTION

SCALE: 1" = 50'



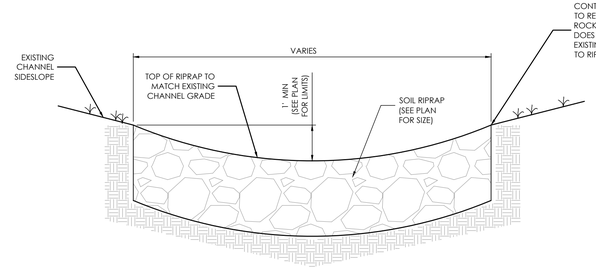
NORTH CHANNEL PROTECTION

SCALE: 1" = 50'



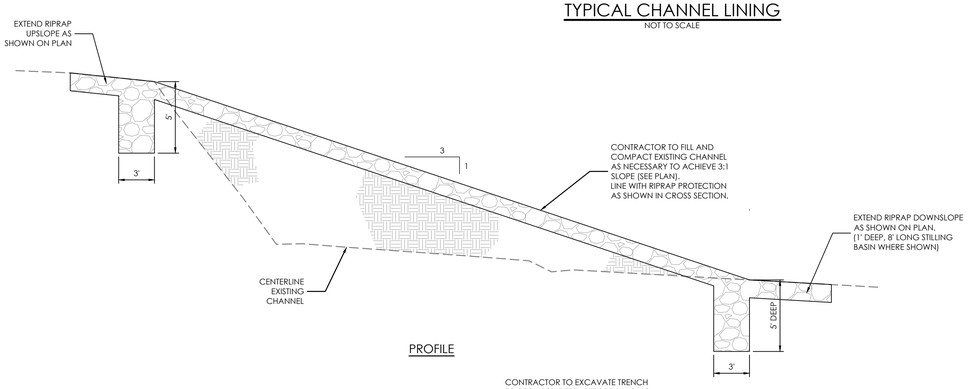
SOUTH CHANNEL PROTECTION

SCALE: 1" = 30'

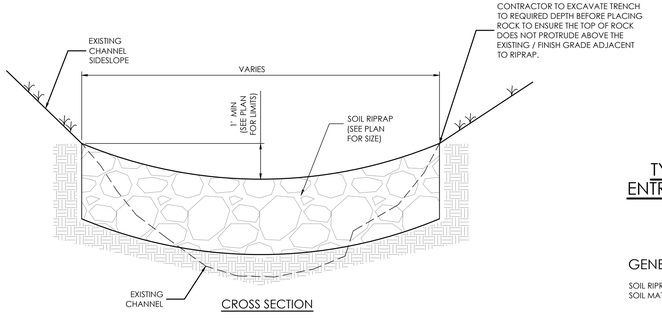


TYPICAL CHANNEL LINING

NOT TO SCALE



PROFILE



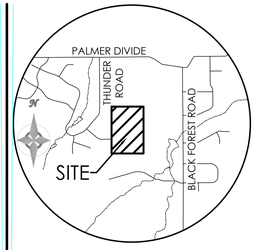
CROSS SECTION

TYPICAL CHANNEL
ENTRANCE PROTECTION

NOT TO SCALE

GENERAL NOTES

SOIL RIPRAP IS CREATED BY MIXING 2/3 RIPRAP WITH 1/3 SOIL BY VOLUME. SOIL MATERIAL SHOULD BE NATIVE OR TOPSOIL.



VICINITY MAP

NOT TO SCALE

BENCHMARK

THE BENCHMARK FOR THESE PLANS IS THE SOUTHWEST PROPERTY CORNER, A REBAR & CAP, ALESSI, PLS 30130.
ELEVATION = 7385.63' (NAVD88).

MVE, INC.
ENGINEERS / SURVEYORS
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REVISIONS

DESIGNED BY
DRAWN BY
CHECKED BY
AS-BUILTS BY
CHECKED BY

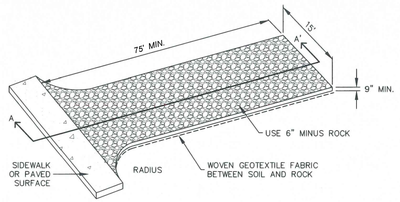
TABLE ROCK
HOMESTEADS

GRADING & EROSION
CONTROL PLANS
CHANNEL PROTECTION
PLAN

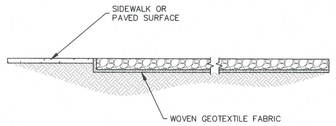
C2.6 MVE PROJECT 61223
MVE DRAWING GEC-GP

JANUARY 24, 2024

SHEET 6 OF 8



AGGREGATE VEHICLE TRACKING CONTROL



SECTION A-A'

INSTALLATION NOTES

1. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHOULD BE LOCATED AT ALL POINTS WHERE VEHICLES EXIT THE CONSTRUCTION SITE TO ADJACENT ROADWAY.
2. STABILIZED CONSTRUCTION ENTRANCE/EXITS SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
3. RADIUS MUST BE ADEQUATE FOR INTENDED CONSTRUCTION VEHICLE TURNING.
4. ROCK SHOULD CONSIST OF 6" MINUS ROCK.
5. INSTALL CONSTRUCTION FENCE ON BOTH SIDES OF VEHICLE TRACKING CONTROL PAD WHEN NEEDED OR REQUIRED BY INSPECTOR.

MAINTENANCE NOTES

1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
2. SEDIMENT TRACKED ONTO THE ADJACENT ROAD SHALL BE REMOVED DAILY, BY SWEEPING OR SHOVELING, AND NEVER WASHED DOWN STORM DRAINS.
3. ROUGHEN, REPLACE AND/OR ADD ROCK AS NEEDED TO MAINTAIN CONSISTENT DEPTH AND TO PREVENT SEDIMENT TRACKING ONTO ADJACENT STREET.
4. PERMANENTLY STABILIZE AREA AFTER VEHICLE TRACKING CONTROL IS REMOVED.

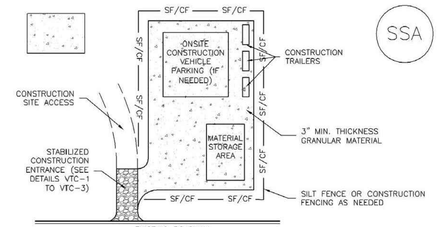
VTC

STORMWATER ENTERPRISE

VEHICLE TRACKING CONTROL

APPROVED: SWENT MANAGER

ISSUED:	REVISED:	DRAWING NO.
10/7/19	8/19/2020	900-VTC



SSA-1. STABILIZED STAGING AREA

STABILIZED STAGING AREA INSTALLATION NOTES

1. SEE PLAN VIEW FOR
   -LOCATION OF STAGING AREA(S).
   -CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
2. STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
3. STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
4. THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
5. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
6. ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

STABILIZED STAGING AREA MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

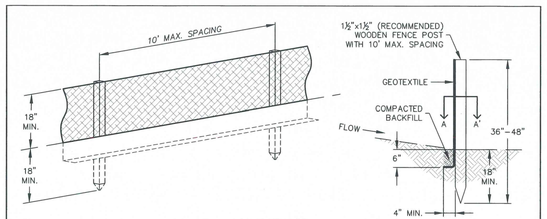
STABILIZED STAGING AREA MAINTENANCE NOTES

5. STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.
6. THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.

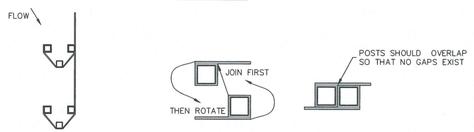
NOTE: MANY MUNICIPALITIES PROHIBIT THE USE OF RECYCLED CONCRETE AS GRANULAR MATERIAL FOR STABILIZED STAGING AREAS DUE TO DIFFICULTIES WITH RE-ESTABLISHMENT OF VEGETATION IN AREAS WHERE RECYCLED CONCRETE WAS PLACED.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD)



SILT FENCE



J-HOOK INSTALLATION

SECTION A-A'

INSTALLATION NOTES

1. SILT FENCE MUST BE PLACED ON A FLAT SURFACE 2'-5' AWAY FROM TOE OF THE SLOPE TO ALLOW FOR PONDING AND DEPOSITION.
2. COMPACT THE TRENCH USING A JUMPING JACK OR WHEEL ROLLING TO THE POINT THAT THE FENCE RESISTS BEING PULLED OUT OF THE GROUND BY HAND.
3. SILT FENCE SHALL BE TAUT WITH NO SAGS AFTER IT HAS BEEN ANCHORED.
4. FABRIC SHALL BE ATTACHED TO POSTS WITH 1" HEAVY DUTY STAPLES OR 1" NAILS. THESE SHOULD BE PLACED VERTICALLY DOWN THE POST, 3" APART.
5. THE PREFERRED INSTALLATION METHOD USES A TRENCHER OR SILT FENCE INSTALLATION DEVICE.
6. INSTALL SILT FENCE ALONG THE CONTOUR OF THE SLOPES OR IN A MANNER TO AVOID CREATING CONCENTRATED FLOW (SUCH AS A "J-HOOK" INSTALLATION).

MAINTENANCE NOTES

1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
2. ACCUMULATED SEDIMENT MUST BE REMOVED WHEN THE HEIGHT REACHES ½ OF THE DESIGN HEIGHT OF THE SILT FENCE.
3. SILT FENCE MUST REMAIN UNTIL THE UPSTREAM DISTURBANCE AREA IS STABILIZED.
4. PERMANENTLY STABILIZE AREA AFTER SILT FENCE IS REMOVED.

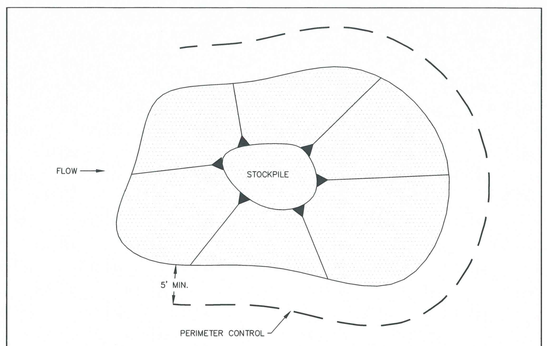
SF

STORMWATER ENTERPRISE

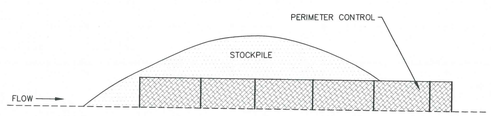
SILT FENCE

APPROVED: SWENT MANAGER

ISSUED:	REVISED:	DRAWING NO.
10/7/19	8/19/2020	900-SF



STOCKPILE PROTECTION PLAN



STOCKPILE PROTECTION ELEVATION

INSTALLATION NOTES

1. INSTALL PERIMETER CONTROL AROUND STOCKPILE ON DOWNGRADIENT SIDE. PERIMETER CONTROL MUST BE SUITABLE TO SITE CONDITIONS AND INSTALLED ACCORDING TO THE RELEVANT DETAIL.
2. FOR STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNGRADIENT CONTROLS INCLUDING PERIMETER CONTROL ARE IN PLACE, STOCKPILE PERIMETER CONTROLS MAY NOT BE REQUIRED.

MAINTENANCE NOTES

1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
2. IF PERIMETER CONTROLS MUST BE MOVED TO ACCESS STOCKPILE, REPLACE PERIMETER CONTROLS BY THE END OF THE WORK DAY.
3. ACCUMULATED SEDIMENT MUST BE REMOVED ACCORDING TO PERIMETER CONTROL DETAIL.

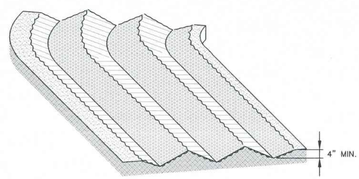
SP

STORMWATER ENTERPRISE

STOCKPILE PROTECTION

APPROVED: SWENT MANAGER

ISSUED:	REVISED:	DRAWING NO.
10/7/19	8/19/2020	900-SP



SURFACE ROUGHENING

INSTALLATION NOTES

1. SURFACE ROUGHENING MAY BE USED IN AREAS FLATTER THAN 3:1. INSTALL FURROWS ALONG CONTOUR TO INTERCEPT SHEET FLOW.
2. SURFACE ROUGHENING MAY BE ACCOMPLISHED BY FURROWING, SCARIFYING, RIPPING OR DISKING THE SOIL.
3. FURROWS MUST BE A MINIMUM OF 4" IN DEPTH.
4. SURFACE ROUGHENING SHALL NOT BE USED ON EXTREMELY SANDY OR ROCKY SOILS.

MAINTENANCE NOTES

1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
2. VEHICLES AND EQUIPMENT SHALL NOT BE DRIVEN OVER AREAS THAT HAVE BEEN SURFACE ROUGHENED.

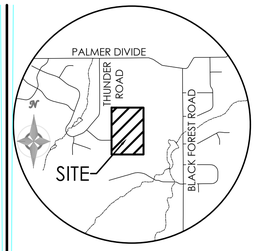
SR

STORMWATER ENTERPRISE

SURFACE ROUGHENING

APPROVED: SWENT MANAGER

ISSUED:	REVISED:	DRAWING NO.
10/7/19	8/19/2020	900-SR



VICINITY MAP

NOT TO SCALE

BENCHMARK
THE BENCHMARK FOR THESE PLANS IS THE SOUTHWEST PROPERTY CORNER, A REBAR & CAP, ALESSI, PLS 30130.
ELEVATION = 7385.63' (NAVD88).

MVE, INC.
ENGINEERS / SURVEYORS
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REVISIONS

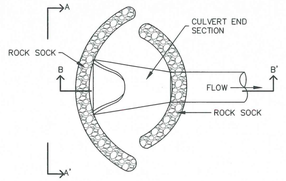
DESIGNED BY
DRAWN BY
CHECKED BY
AS-BUILTS BY
CHECKED BY

TABLE ROCK HOMESTEADS

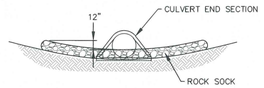
GRADING & EROSION CONTROL PLANS
EROSION CONTROL DETAILS

C2.7 MVE PROJECT 61223
MVE DRAWING GEC-ED

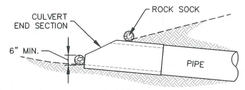
JANUARY 24, 2024



CULVERT INLET PROTECTION PLAN



SECTION A-A'



SECTION B-B'

INSTALLATION NOTES

1. SEE ROCK SOCK DETAIL.

MAINTENANCE NOTES

1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
2. ACCUMULATED SEDIMENT UPSTREAM OF THE CULVERT SHALL BE REMOVED WHEN THE SEDIMENT DEPTH IS ½ HEIGHT OF THE ROCK SOCK.
3. CULVERT INLET PROTECTION SHALL REMAIN UNTIL THE UPSTREAM AREA IS PERMANENTLY STABILIZED.

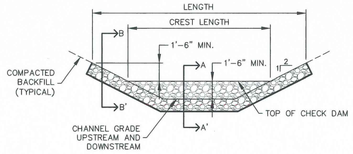
CIP

STORMWATER ENTERPRISE

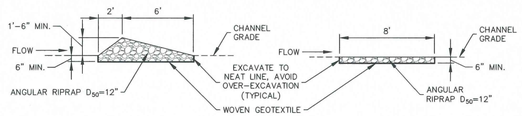
CULVERT INLET PROTECTION

APPROVED: SWENT MANAGER

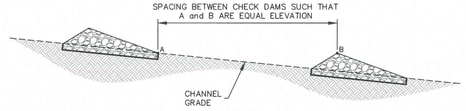
ISSUED:	REVISED:	DRAWING NO.
10/7/19	8/19/2020	900-CIP



CHECK DAM ELEVATION VIEW



SECTION A-A' SECTION B-B'



PROFILE

INSTALLATION NOTES

1. CHECK DAMS SHOULD BE INSTALLED BEFORE UPSTREAM LAND DISTURBING ACTIVITIES.
2. RIPRAP PAD SHOULD BE TRENCHED INTO GROUND BY A MINIMUM OF 6".

MAINTENANCE NOTES

1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
2. ACCUMULATED SEDIMENT MUST BE REMOVED WHEN THE HEIGHT REACHES ½ THE HEIGHT OF THE CHECK DAM CREST.
3. CHECK DAMS MUST REMAIN UNTIL THE UPSTREAM DISTURBANCE AREA IS STABILIZED.
4. PERMANENTLY STABILIZE AREA AFTER CHECK DAMS ARE REMOVED IF REMOVAL IS REQUIRED.

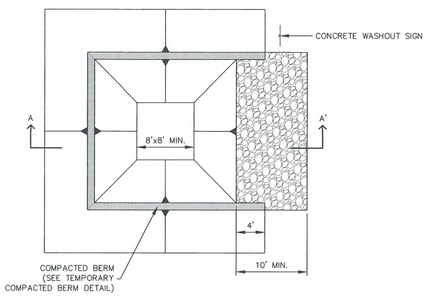
CD

STORMWATER ENTERPRISE

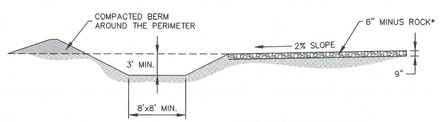
CHECK DAM

APPROVED: SWENT MANAGER

ISSUED:	REVISED:	DRAWING NO.
10/7/19	8/19/2020	900-CD



CONCRETE WASHOUT AREA PLAN



SECTION A-A'

*ROCK REQUIRED BASED ON SITE CONDITIONS AT THE DISCRETION OF THE QEC INSPECTOR

CWA

STORMWATER ENTERPRISE

CONCRETE WASHOUT AREA

APPROVED: SWENT MANAGER

ISSUED:	REVISED:	DRAWING NO.
10/7/19	8/19/2020	900-CWA-1

INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
   -LOCATION OF CONCRETE WASHOUT AREA
2. LOCATE AT LEAST 50' AWAY FROM STATE WATERS MEASURED HORIZONTALLY.
3. AN IMPERMEABLE LINER (16 MIL. MINIMUM THICKNESS) IS REQUIRED IF CONCRETE WASH AREA IS LOCATED WITHIN 400' OF STATE WATERS OR 1000' OF WELLS OR DRINKING WATER SOURCES.
4. DO NOT LOCATE IN AREAS WHERE SHALLOW GROUNDWATER MAY BE PRESENT.
5. THE CONCRETE WASH AREA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
6. CONCRETE WASH AREA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8'.
7. BERM SURROUNDING SIDES AND BACK OF CONCRETE WASH AREA SHALL HAVE A MINIMUM HEIGHT OF 2 FEET.
8. CONCRETE WASH AREA ENTRANCE SHALL BE SLOPED 2% TOWARDS THE CONCRETE WASH AREA.
9. SIGNS SHALL BE PLACED AT THE CONCRETE WASH AREA.
10. USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

MAINTENANCE NOTES

1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
2. THE CONCRETE WASH AREA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS ACCUMULATED IN THE PIT SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF ⅔ THE HEIGHT OF THE CONCRETE WASH AREA.
3. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE, AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
4. THE CONCRETE WASH AREA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
5. PERMANENTLY STABILIZE AREA AFTER CONCRETE WASH AREA IS REMOVED.

CWA

STORMWATER ENTERPRISE

CONCRETE WASHOUT AREA

APPROVED: SWENT MANAGER

ISSUED:	REVISED:	DRAWING NO.
10/7/19	8/19/2020	900-CWA-2

SEEDING & MULCHING

ALL SOIL TESTING, SOILS AMENDMENT AND FERTILIZER DOCUMENTATION, AND SEED LOAD AND BAG TICKETS MUST BE ADDED TO THE CSWMP.

SOIL PREPARATION

1. IN AREAS TO BE SEEDED, THE UPPER 6 INCHES OF THE SOIL MUST NOT BE HEAVILY COMPACTED, AND SHOULD BE IN FRIABLE CONDITION. LESS THAN 85% STANDARD PROCTOR DENSITY IS ACCEPTABLE. AREAS OF COMPACTION OR GENERAL CONSTRUCTION ACTIVITY MUST BE SCARIFIED TO A DEPTH OF 6 TO 12 INCHES PRIOR TO SPREADING TOPSOIL TO BREAK UP COMPACTED LAYERS AND PROVIDE A BLENDING ZONE BETWEEN DIFFERENT SOIL LAYERS.
2. AREAS TO BE PLANTED SHALL HAVE AT LEAST 4 INCHES OF TOPSOIL SUITABLE TO SUPPORT PLANT GROWTH.
3. THE CITY RECOMMENDS THAT EXISTING AND/OR IMPORTED TOPSOIL BE TESTED TO IDENTIFY SOIL DEFICIENCIES AND ANY SOIL AMENDMENTS NECESSARY TO ADDRESS THESE DEFICIENCIES. SOIL AMENDMENTS AND/OR FERTILIZERS SHOULD BE ADDED TO CORRECT TOPSOIL DEFICIENCIES BASED ON SOIL TESTING RESULTS.
4. TOPSOIL SHALL BE PROTECTED DURING THE CONSTRUCTION PERIOD TO RETAIN ITS STRUCTURE AVOID COMPACTION, AND TO PREVENT EROSION AND CONTAMINATION. STRIPPED TOPSOIL MUST BE STORED IN AN AREA AWAY FROM MACHINERY AND CONSTRUCTION OPERATIONS, AND CARE MUST BE TAKEN TO PROTECT THE TOPSOIL AS A VALUABLE COMMODITY. TOPSOIL MUST NOT BE STRIPPED DURING UNDESIRABLE WORKING CONDITIONS (E.G. DURING WET WEATHER OR WHEN SOILS ARE SATURATED). TOPSOIL SHALL NOT BE STORED IN SWALES OR IN AREAS WITH POOR DRAINAGE.

SEEDING

1. ALLOWABLE SEED MIXES ARE INCLUDED IN THE CITY OF COLORADO SPRINGS STORMWATER CONSTRUCTION MANUAL. ALTERNATIVE SEED MIXES ARE ACCEPTABLE IF INCLUDED IN AN APPROVED LANDSCAPING PLAN.
2. SEED SHOULD BE DRILL-SEEDED WHENEVER POSSIBLE
   - SEED DEPTH MUST BE ¼ TO ½ INCHES WHEN DRILL-SEEDING IS USED
3. BROADCAST SEEDING OR HYDRO-SEEDING WITH TACKIFIER MAY BE SUBSTITUTED ON SLOPES STEEPER THAN 3:1 OR ON OTHER AREAS NOT PRACTICAL TO DRILL SEED.
   - SEEDING RATES MUST BE DOUBLED FOR BROADCAST SEEDING OR INCREASED BY 50% IF USING A BRILLION DRILL OR HYDRO-SEEDING
   - BROADCAST SEEDING MUST BE LIGHTLY HAND-RAKED INTO THE SOIL

MULCHING

1. MULCHING SHOULD BE COMPLETED AS SOON AS PRACTICABLE AFTER SEEDING, HOWEVER PLANTED AREAS MUST BE MULCHED NO LATER THAN 14 DAYS AFTER PLANTING.
2. MULCHING REQUIREMENTS INCLUDE:
   - HAY OR STRAW MULCH
     - ONLY CERTIFIED WEED-FREE AND CERTIFIED SEED-FREE MULCH MAY BE USED. MULCH MUST BE APPLIED AT 2 TONS/ACRE AND ADEQUATELY SECURED BY CRIMPING AND/OR TACKIFIER.
     - CRIMPING MUST NOT BE USED ON SLOPES GREATER THAN 3:1 AND MULCH FIBERS MUST BE TUCKED INTO THE SOIL TO A DEPTH OF 3 TO 4 INCHES.
     - TACKIFIER MUST BE USED IN PLACE OF CRIMPING ON SLOPES STEEPER THAN 3:1.
   - HYDRAULIC MULCHING
     - HYDRAULIC MULCHING IS AN OPTION ON STEEP SLOPES OR WHERE ACCESS IS LIMITED.
     - IF HYDRO-SEEDING IS USED, MULCHING MUST BE APPLIED AS A SEPARATE, SECOND OPERATION.
     - WOOD CELLULOSE FIBERS MIXED WITH WATER MUST BE APPLIED AT A RATE OF 2,000 TO 2,500 POUNDS/ACRE, AND TACKIFIER MUST BE APPLIED AT A RATE OF 100 POUNDS/ACRE.
   - EROSION CONTROL BLANKET
     - EROSION CONTROL BLANKET MAY BE USED IN PLACE OF TRADITIONAL MULCHING METHODS.

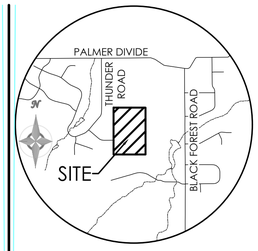
SM

STORMWATER ENTERPRISE

SEEDING & MULCHING

APPROVED: SWENT MANAGER

ISSUED:	REVISED:	DRAWING NO.
10/7/19	8/19/2020	900-SM



VICINITY MAP

NOT TO SCALE

BENCHMARK

THE BENCHMARK FOR THESE PLANS IS THE SOUTHWEST PROPERTY CORNER, A REBAR & CAP, ALESSI, PLS 30130.
ELEVATION = 7385.63' (NAVD88).

MVE, INC.
ENGINEERS / SURVEYORS
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REVISIONS

DESIGNED BY
DRAWN BY
CHECKED BY
AS-BUILTS BY
CHECKED BY

TABLE ROCK HOMESTEADS

GRADING & EROSION CONTROL PLANS
EROSION CONTROL DETAILS

C2.8

MVE PROJECT 61223
MVE DRAWING GEC-ED

JANUARY 24, 2024

SHEET 8 OF 8