

STORMWATER MANAGEMENT PLAN (SWMP)

FOR

STERLING RANCH FILING 4

STERLING RANCH ROAD AND HAZLETT DRIVE
UNINCORPORATED EL PASO COUNTY, CO 80962

LOCATED IN A PORTION OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 65 WEST OF THE 6TH P.M.

LATITUDE: 38.956722°, LONGITUDE: -104.678420°

ACCEPTED FOR FILE

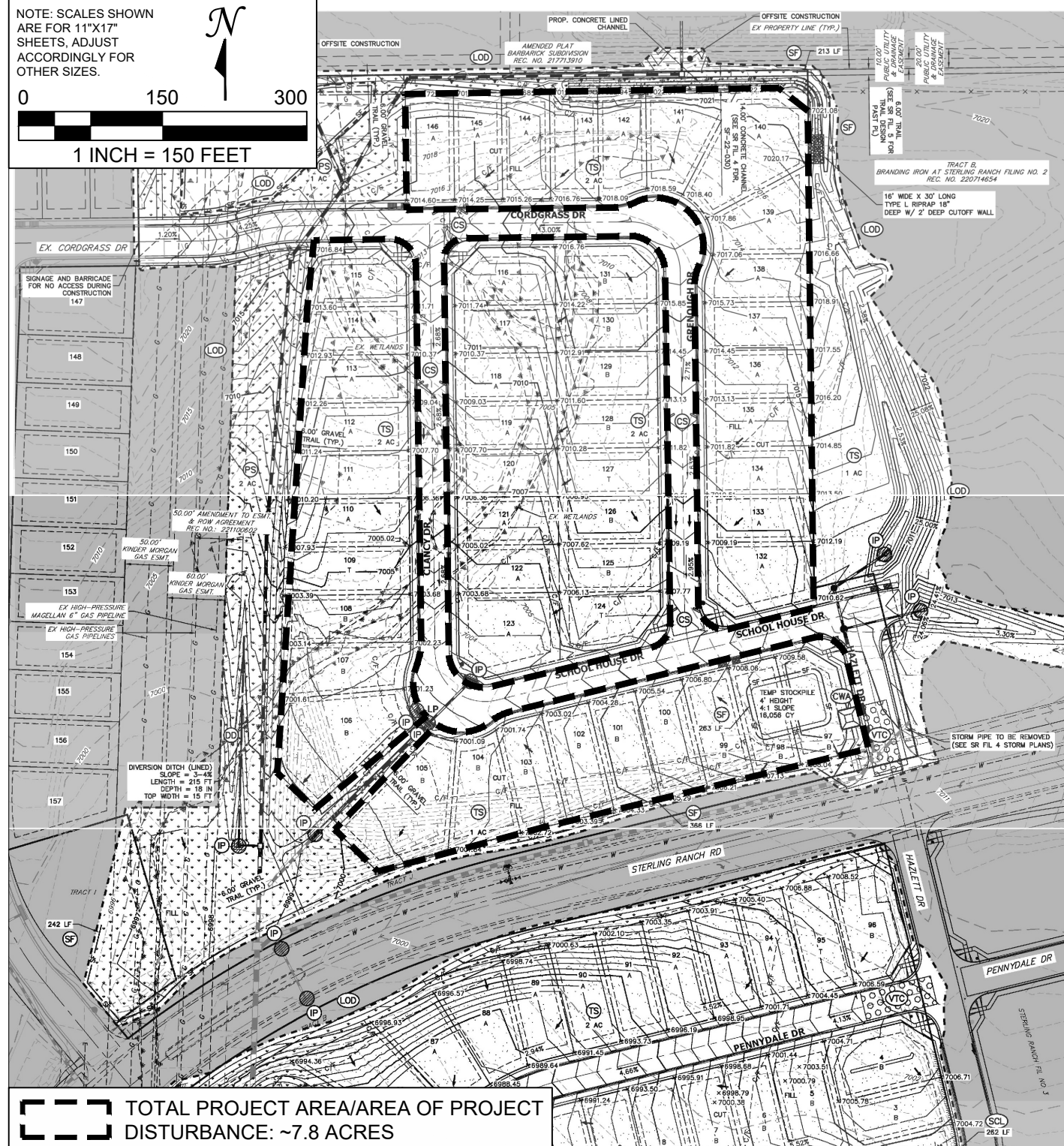
06/18/2026 12:03:40 PM

Erica Rylander

EPC Department of Public Works

NOTE: SCALES SHOWN
ARE FOR 11"x17"
SHEETS, ADJUST
ACCORDINGLY FOR
OTHER SIZES.

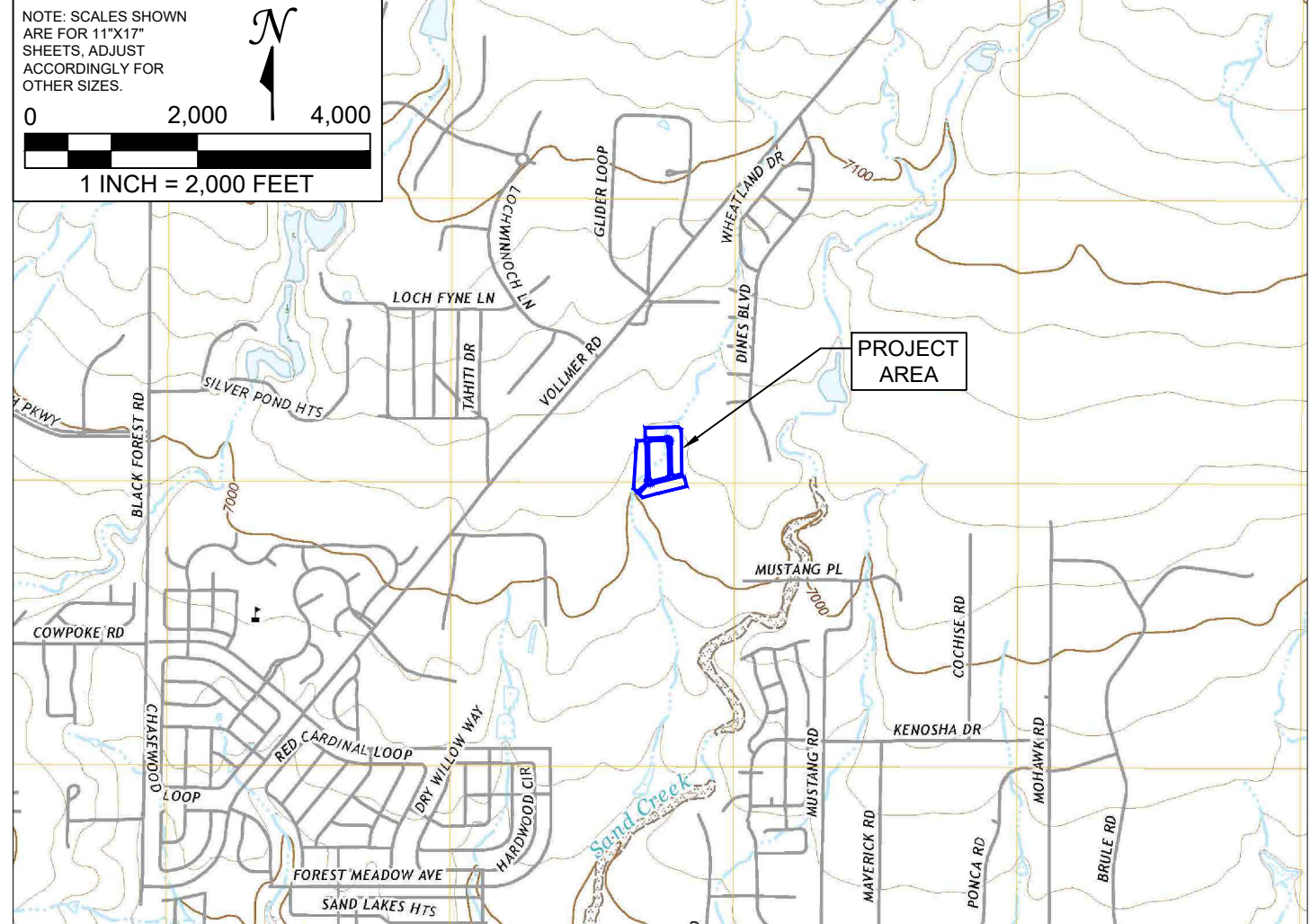
0 150 300
1 INCH = 150 FEET



SITE MAP

NOTE: SCALES SHOWN
ARE FOR 11"x17"
SHEETS, ADJUST
ACCORDINGLY FOR
OTHER SIZES.

0 2,000 4,000
1 INCH = 2,000 FEET



VICINITY MAP

SHEET INDEX

EC-1	COVER PAGE
EC-2	PLANNED CONTROL MEASURES - VERTICAL CONSTRUCTION
EC-3	LOT CONTROL DETAILS AND LANDSCAPING PLAN (TYPICAL)

OWNER/OPERATOR:

RICHMOND AMERICAN HOMES
KATHLEEN COOLEY, VICE PRESIDENT OF LAND DEVELOPMENT
4350 S MONACO ST
DENVER, CO 80237
PHONE: (303) 810-2704
EMAIL: KATIE.COOLEY@SHUS.COM

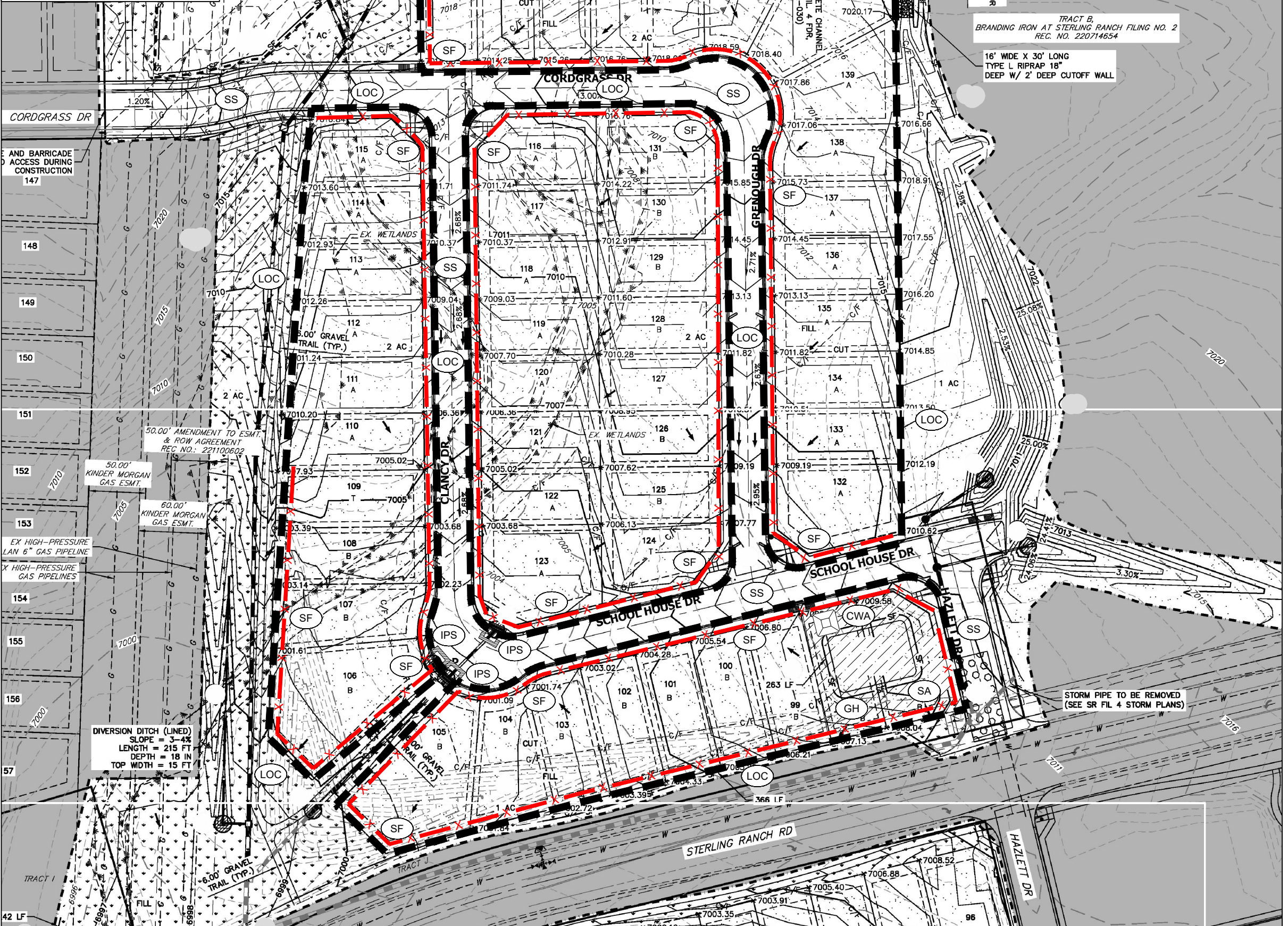


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Call before you dig.
CALL UTILITY NOTIFICATION
CENTER OF COLORADO
CALL 811 OR
1-800-922-1987

P.E. CERTIFICATION (SEAL)

NO.	DATE	REVISIONS	ENG	CAD
0	04/17/2026	ORIGINAL	MG	SR
STERLING RANCH FILING 4				
COVER PAGE				
RICHMOND AMERICAN HOMES				
4350 S MONACO ST, DENVER, CO 80237, (303) 810-2704				
PROJECT:				
SHEET TITLE:				
PERMITTEE:				
PROJ #:				
DATE:				
DESIGN ENG:				
CHECKED BY:				
EC-1				

1. LAND DEVELOPMENT BMP'S WILL BE RELIED UPON UNTIL ACTIVE VERTICAL CONSTRUCTION BEGINS AT A LOT OR LOTS WHEREIN THE INDIVIDUAL LOT CONTROLS WILL BE APPLIED.
2. REFER TO CONSTRUCTION PLANS FOR FULL CONSTRUCTION DETAILS INCLUDING BENCHMARK.
3. SEQUENCING OF THE PROJECT WILL BE DETERMINED DURING CONSTRUCTION AND UPDATES CAN BE OBTAINED FROM SITE SUPERINTENDENT. REFER TO THE SITE MAP IN SECTION 2.1 OF THE SWMP FOR FURTHER SCHEDULING INFORMATION.
4. CONSTRUCTION AND DISTURBANCE OF THE GROUND WILL BE CONFINED TO THE LIMITS OF CONSTRUCTION AND THE LOTS WITHIN THE PERMITTED AREA. ANY UNEXPECTED DISTURBANCE OUTSIDE THE PERMITTED AREA WILL REQUIRE STABILIZATION AND POSSIBLE MODIFICATION OF THE PERMIT.
5. SOILS FROM FOUNDATION EXCAVATION WILL BE STOCKPILED ON EACH LOT OR THE ADJACENT LOT IF POSSIBLE. ENSURE PROPER LOADING OPERATIONS TAKE PLACE. REFER TO SWMP SECTION 3 FOR ADDITIONAL INFORMATION.
6. CWA LOCATION(S) WILL BE DETERMINED IN FIELD. THE CONCRETE WASHOUTS NEED TO BE INSTALLED PRIOR TO PLACING ANY CONCRETE ON THE SITE. ADEQUATE SIGNAGE SHALL BE PLACED AROUND THE PROJECT TO IDENTIFY THE LOCATION OF THE CONCRETE WASHOUT.
7. WORKERS WILL BE INSTRUCTED TO PARK ON PAVED ROADWAYS OR ADJACENT PARKING LOTS. IF AN ADDITIONAL STAGING AREA IS REQUIRED AT THIS POINT OF CONSTRUCTION IT WILL BE REFLECTED IN ACTIVE SITE MAP.
8. LOCATIONS OF VEHICLE TRACKING CONTROLS (VTC) ARE TO BE DETERMINED IN FIELD. MUD MATS OR MODIFIED VTC'S DO NOT NEED TO BE INSTALLED UNTIL DISTURBANCE OF AN AREA COMMENCES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SWEEPING AND CLEAN UP OF ALL PAVED AREAS SURROUNDING THE PROJECT ON A DAILY BASIS, AS NEEDED DURING THE DAY WHEN SEDIMENT AND OTHER MATERIALS ARE TRACKED OR DISCHARGED ONTO THEM OR PRIOR TO ANY STORM EVENT. ADDITIONAL GOOD HOUSEKEEPING PRACTICES (PORTABLE TOILETS, DUMPSTERS) WILL BE IMPLEMENTED THROUGHOUT CONSTRUCTION AND WILL BE REFLECTED ON THE ACTIVE SITE MAP.
10. DEPLOYMENT AND/OR REMOVAL OF THE ABOVE BMP'S ARE DEPENDENT OF WORK SEQUENCING AND PROXIMITY TO EACH DISTURBANCE AREA. ADDITIONAL BMP'S MAY BE REQUIRED PER THE DETAILS OR NARRATIVE.
11. IT IS THE PERMITTEE'S RESPONSIBILITY TO ADJUST OR REMOVE INLET PROTECTIONS AS NECESSARY PRIOR TO LARGE RAIN EVENTS THAT MAY EXCEED THE NORMAL CAPACITY OF THE INLET PROTECTION TO PREVENT FLOODING AND POTENTIAL PROPERTY DAMAGE.



	(CWA)	CONCRETE WASHOUT AREA
	(IP)	INLET PROTECTION (G(GRADE), S(SUMP), A(AREA))
	(LOC)	LIMITS OF CONSTRUCTION
	(SF)	SILT FENCE OR COMPARABLE BMP (STRAW WATTLE, ETC.)
	(TL)	TREE LAWN CONTROLS (ECB, HEAVY WEIGHT WATTLE, SEDIMENT CONTROL LOG, ETC.)
	(SA)	STAGING AREA
	(VTC)	VEHICLE TRACKING CONTROL
	(GH)	GOOD HOUSEKEEPING
	(SS)	STREET SWEEPING
		SURFACE FLOW DIRECTION

STERLING RANCH FILING 4		 CMS ENVIRONMENTAL SOLUTIONS		5231 SOUTH QUEBEC STREET, GREENWOOD VILLAGE, CO 80111 P: (303) 593-2107 F: (303) 923-3416 WWW.CMSENVIRO.COM			
PROJECT TITLE:		PLANNED CONTROL MEASURES - VERTICAL CONSTRUCTION		SHEET NO.		0	
PROJECT #:		04-2026		DATE:		04/17/2026	
DESIGNER:		SR		REVISIONS			
CHECKED BY:		MG		ENG			
				CAD			
				MG			
				SR			

EC-2

