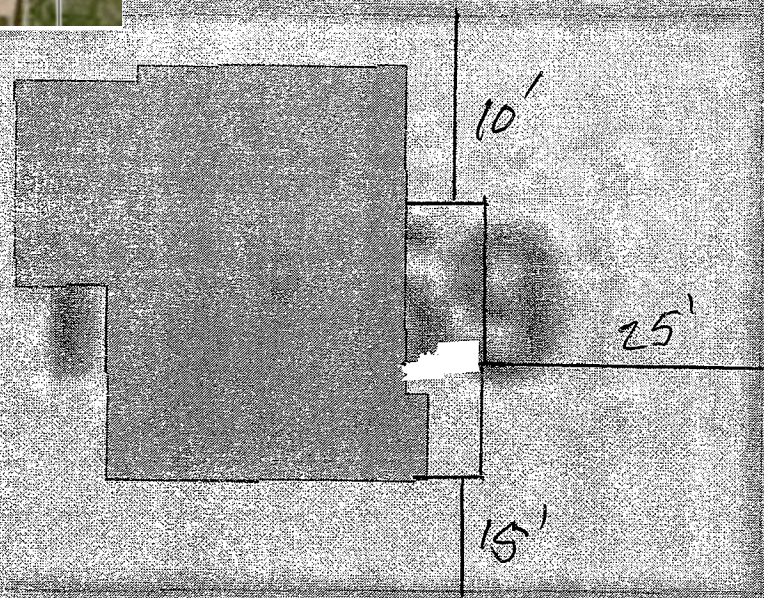




# 15559 Jessie Dr.



DECK IS UNCOVERED  
9X16 + 10X12 = 264 SQFT



## Legend

Address Search

Parcels

Buildings

Owner:  
Richard Heebner

Address:  
15559 Jessie Dr.  
80921

Zoning district:  
R5-6000

Legal description:  
Lot 200 Gleneagle  
fil no 4 phase 2

Lot size: 6098 SF

Height of proposed  
structure: 8'

1st floor SF: 953

Garage SF: 380

Proposed structure  
SF: 264

Lot coverage 26%

ADD26431

APPROVED  
Plan Review

07/27/2026 1:02:42 PM

dsdmas

EPC Planning & Community  
Development Department



ANY APPROVAL GIVEN BY  
EL PASO COUNTY  
DOES NOT OBVIATE THE NEED  
TO COMPLY WITH APPLICABLE  
FEDERAL, STATE, OR LOCAL  
LAWS AND/OR REGULATION.

Planning & Community Development Department  
approval is contingent upon compliance with all  
applicable notes on the recorded plat.

An access permit must be granted by the  
Planning & Community Development Department  
prior to the establishment of any driveway onto a  
County road.

Division of blockage of any drainage way  
is not permitted without approval of the  
Planning & Community Development Department



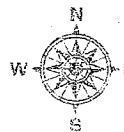
It is the owner's responsibility to  
coordinate with easement holders  
to avoid impact to utilities that  
may be located in the easements.

0 0 0 0.01 0.01 0.01 mi

Time of Print: 7/7/2026 9:15 AM

Scale: 1:240

1 inch equals 20 feet



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# RESIDENTIAL



2023 PPRBC  
IECC: N/A

Address: 15559 JESSIE DR, COLORADO SPRINGS

Parcel: 6131110010

Plan Track #: 215439 

Received: 24-Jul-2026 (MELISSAF)

## Description:

**DECK - NEW**

Contractor: O'LEARY & SONS INC.

Type of Unit:

## Required PPRBD Departments (2)

**Floodplain**

(N/A) RBD GIS

**Construction**

Released for Permit

07/27/2026 4:46:08 AM



CONSTRUCTION

## Required Outside Departments (1)

**County Zoning**

**APPROVED**

Plan Review

07/27/2026 1:03:55 PM

*dsdmaes*

EPC Planning & Community  
Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.