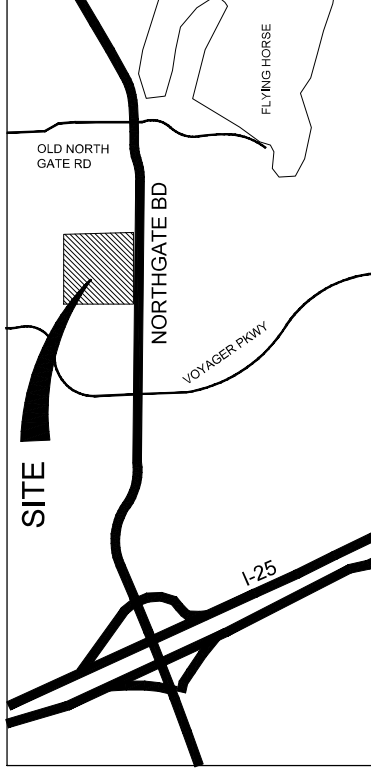


OVERALL SITE PLAN
SCALE: 1" = 50'

- SHEET INDEX:**
1. COVER PAGE
 2. SITE PLAN
 3. BUILDING ELEVATIONS
 4. LANDSCAPE PLAN
 5. LANDSCAPE PLAN DETAILS AND NOTES
 6. PHOTOMETRIC PLAN
 7. PHOTOMETRIC PLAN DETAILS



VICINITY MAP
NOT TO SCALE

PROJECT PURPOSE/DESCRIPTION:
THIS PROJECT PROPOSES AN AMENDMENT TO AN EXISTING CHURCH DEVELOPMENT, INCLUDING PARKING AND NEW BUILDING, THAT IS ALIGNED WITH ADJACENT USES AND NEIGHBORHOOD NEEDS. LANDSCAPING AND ARCHITECTURE WILL COMPLEMENT THE LOCAL CHARACTER, ECOLOGY, AND EXISTING DEVELOPMENT. PARKING IS PROVIDED PER EL PASO COUNTY DEVELOPMENT CODES.

PROJECT ADDRESS:
CROSSROADS CHAPEL
840 NORTHGATE BLVD
COLORADO SPRINGS, CO 80921

LEGAL DESCRIPTION:
SW QUARTER OF THE SW QUARTER OF THE SW QUARTER OF THE 8TH P.M., EL PASO COUNTY, COLORADO.

COUNTY ZONING: RR-6

LOT AREA: 486,757 (10,027 Acres)

BLDG. COVERAGE: 16,864 S.F. (430,707 ± 03%)

BLDG. SETBACKS: FRONT: 25'
REAR: 25'

LANDSCAPE COVERAGE: 376,077 SF

HARDSCAPE COVERAGE: 37,258 SF

DEVELOPMENT TEAM:

OWNER / DEVELOPER:
CROSSROADS CHAPEL • SBC
840 NORTHGATE BLVD
COLORADO SPRINGS, CO

PLANNER / LANDSCAPE ARCHITECT:
NATURAL DESIGN SOLUTIONS
3538 COLT DR
LONGMONT, CO 80503

ARCHITECT:
TBD

CIVIL ENGINEER:
TBD

LAND USE DATA:

EXISTING BUILDING FOOTPRINT:	9,414	2.15%
PROPOSED BUILDING FOOTPRINT:	7,450	1.64%
PROPOSED DECK:	1,320	0.30%
ASPHALT AREA:	37,268	8.55%
GRAVEL AREAS:	5,438	1.20%
OPEN SPACE/LANDSCAPE (ON-SITE):	376,077	86.11%
TOTAL:	486,757 SF	100.00%

SITE DATA:

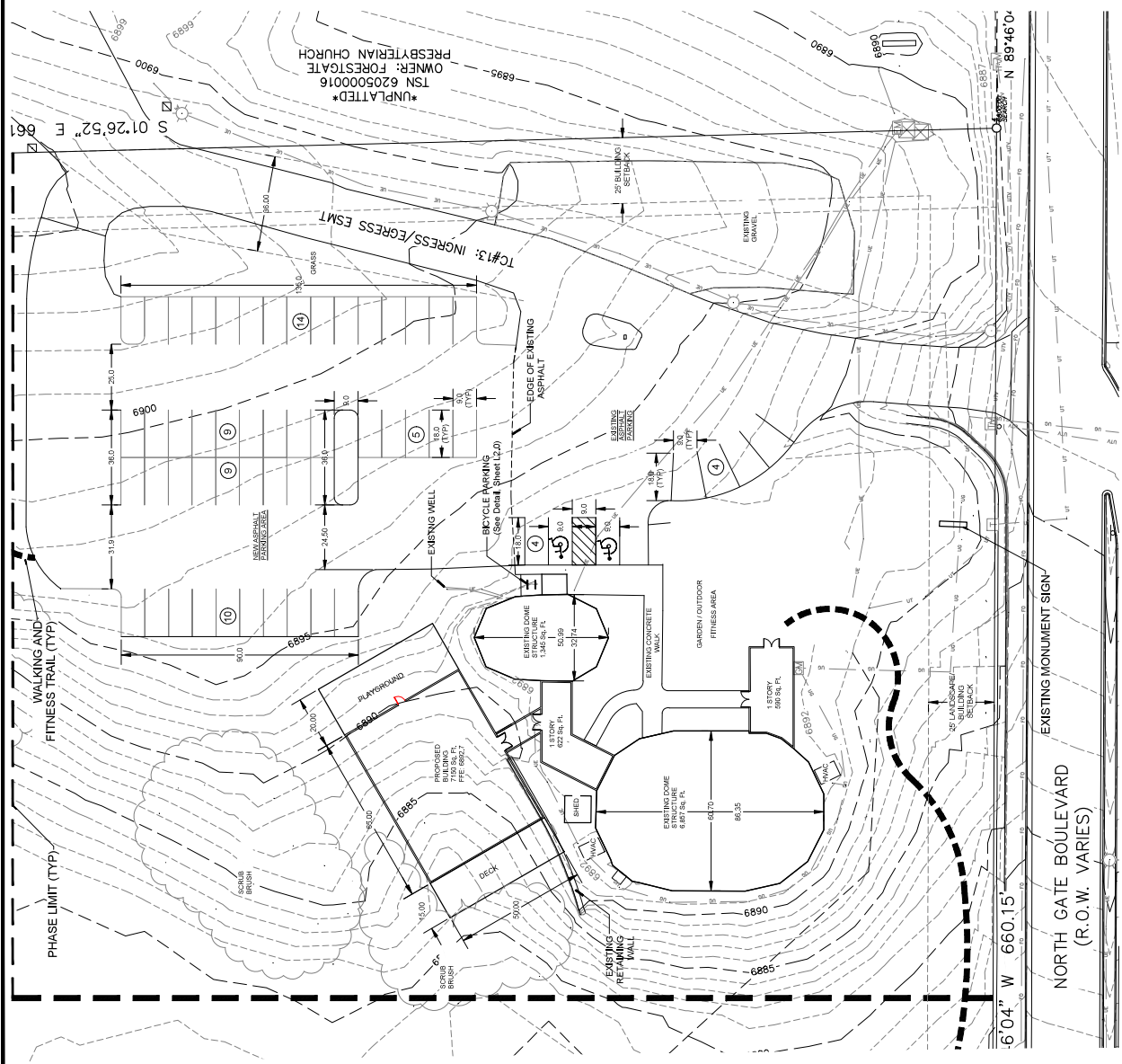
EXISTING ZONING: RR-6	PROPOSED ZONING: RR-6
ADJACENT ZONING: S-RR-6, S-RD, W-RR-6, RESIDENTIAL-E-RR-6, CHURCH-N-RR-6, SFD	ADJACENT USES: CHURCH, RESIDENTIAL
SITE SF & ACREAGE: 392,040 SF / 9.02 ACRES	REQUIRED SETBACKS:
FRONT: 25'	REAR: 25'
SIDE: 25'	

PARKING:
RELIGIOUS INSTITUTION:
1 SPACE PER 4 SEATS, AT 192 SEATS = 48 REQUIRED
PROVIDED: 56 PARKING SPACES
HANDICAP SPACES: 2 VAN ACCESSIBLE HANDICAP SPACES
PROVIDED: 2 HANDICAP SPACES
BICYCLE PARKING: 5% OF REQUIRED PARKING PROVIDED: 4 PARKING SPACES (2 LOOPS)

NOTE: PARKING TO CONFORM WITH COUNTY DEVELOPMENT STANDARDS.

PLAN NOTES

1. PARKING LOT LIGHTING IS TO BE DESIGNED AS "FULL CUT-OFF".
2. THE CONTRACTOR SHALL NOT PURPOSEFULLY PROCEED WITH ANY CONSTRUCTION PER PLANS PROVIDED WHEN OBSTRUCTIONS AND/OR DIFFERENCES EXIST THAT WERE NOT CONSIDERED AND REVIEWED OR APPROVED, AND THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REPRESENTATIVE AND EL PASO COUNTY IF SITUATION ARISES AND REVISIONS ARE NECESSARY.
3. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND OTHER POLLUTANTS FROM ENTERING ANY STORM WATER SEWER SYSTEM OR ADJACENT WATERWAYS, ETC., DURING THE DEMOLITION OR CONSTRUCTION. PREVENTIVE MEASURES SHALL BE HELD RESPONSIBLE TO THE CONTRACTOR. ANY CORRECTIONS SHALL BE HELD RESPONSIBLE TO THE CONTRACTOR AT THE EXPENSE OF CORRECTION OF ANY ADVERSE IMPACTS TO THE STORM WATER SEWER SYSTEM OR ADJACENT WATERWAYS, WETLANDS ETC., RESULTING FROM THE WORK DONE AS PART OF THIS PROJECT CONTRACT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE PRIOR TO BIDDING AND CONSTRUCTION, OF BECOMING AWARE OF ALL UTILITIES AND STRUCTURES, ETC., CALL UNCO THREE DAYS BEFORE SCHEDULED WORK AT 811 OR 1-822-1887.
5. ANY MONUMENT SIGNAGE TO BE APPROVED THROUGH SEPARATE SIGN PERMIT.
6. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT AND PROPOSED PLANS AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE AND CIVIL RIGHTS DIVISION, EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.



SITE PLAN PLAN
SCALE: 1" = 20'