

EL PASO COUNTY

COLORADO

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HOLLY WILLIAMS
CARRIE GEITNER

PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT
CRAIG DOSSEY, EXECUTIVE DIRECTOR

Construction Permit: CON 2213

Name of Development/Subdivision: Super Star Car Wash- Falcon Marketplace
Location of Construction: 7525 Falcon Marketplace, Falcon, CO. 80831
Description of Construction / Fee \$5011.00 (Major Site \$1737.00, PA \$1737.00, FA \$1537.00)
Development/Subdivision DSD File Number: PPR218
Date of Plan Approval and / or Dev. Agreement: 2/22/2022
Value of Construction: \$20,233.20
Date / Type of Surety / Provider: TBD

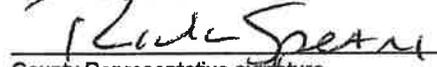
Responsible Person/Company: Tim Varley
Responsible Party Street Address: 1830 N. 95th Ave Suite 106
Responsible Party City / State / Zip: Phoenix, AZ. 85037
Responsible Party Phone / Email: 623-536-5956 tvarley@sscwaz.com

Land Development Code and Engineering Criteria Manual Compliance Guideline Checklist:

- Preliminary Plan Approval Early Grading or Development / Subdivision Construction Plan Approval
 Preliminary Drainage Report Approval or Final Drainage Letter / Report Approval
 All County permits obtained
(may include but not limited to ESQCP, Grading, Access, etc.)
 Copies of Other Agency / Entity Permits
(may include but not limited to Colorado Discharge, Construction Activity, Corp of Engineers, Floodplain, Endangered Species, US Fish and Wildlife, etc.)
 Surety Estimate and appropriate surety posted
 Initial BMP inspection
 Pre-construction Meeting / Construction permit fee paid

This is to advise that the person or company responsible for construction of all public and common development improvements, as authorized by this Construction Permit and in accordance with the above referenced development or subdivision improvements agreement agrees to construct the required improvements in full conformance of all County rules, regulations, codes, standards, and ordinances, approved plans, applicable development or subdivision improvements agreement, and development permits or approvals. It is understood and agreed that, upon completion of construction and at the time of any request for release of surety, preliminary or final acceptance, the project's engineer shall certify that the work has been entirely completed, and that it conforms in all respects, with all County rules, regulations, codes, standards, and ordinances, approved plans, applicable development or subdivision improvements agreement, and development permits or approvals; and to all specifications required by the laws and regulations of the State of Colorado.


Applicant Signature


County Representative signature

Notice-to-Proceed at given on 4-15-22
Install initial BMP's and call for inspection prior to any additional land disturbance.

Permit expires two (2) years from the date the NTP was given. Expiration date 4-15-2024

2880 INTERNATIONAL CIRCLE, SUITE 110
PHONE: (719) 520-6300



COLORADO SPRINGS, CO 80910-3127
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