

GENERAL NOTES

- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE LOCAL JURISDICTION MUNICIPAL CODE, TECHNICAL MANUALS, AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE TECHNICAL MANUAL OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY PUBLIC WORKS OR UTILITIES INSPECTOR.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE.
- THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE TOWN/CITY AND ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE CRITERIA AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB ON-SITE AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
- IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT PUBLIC WORKS INSPECTOR IMMEDIATELY.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN IN ACCORDANCE WITH MUTCD TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY (TOWN/CITY, COUNTY OR STATE) FOR APPROVAL PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN OR AFFECTING THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR AS DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE AND AVAILABLE TO PUBLIC WORKS INSPECTOR AT ALL TIMES.
- DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE CONSULTANT ENGINEER FOR CLARIFICATION AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
- THE CONTRACTOR SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE COLORADO PERMIT FOR STORM WATER DISCHARGE (IF APPLICABLE), THE STORM WATER MANAGEMENT PLAN, AND THE EROSION CONTROL PLAN.
- ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION PRIOR TO ANY OTHER EARTH-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREA IS STABILIZED WITH HARD SURFACE OR LANDSCAPING.
- THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF THE WATER LINES AND DRY UTILITIES.
- THERE SHALL BE NO SITE CONSTRUCTION ACTIVITIES ON SATURDAYS UNLESS SPECIFICALLY APPROVED BY PUBLIC WORKS INSPECTOR AND NO SITE CONSTRUCTION ACTIVITIES ON SUNDAYS OR HOLIDAYS UNLESS THERE IS PRIOR WRITTEN APPROVAL BY THE PUBLIC WORKS DIRECTOR.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS AND TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS, SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.

BENCHMARK:

ELEVATIONS ARE BASED ON COLORADO SPRINGS UTILITIES FACILITIES INFORMATION SYSTEM (FMS) "BLT 167", A 2" ALUMINUM CAP IN CONCRETE LOCATED ON AN ELECTRIC TRANSFORMER PAD AT THE SOUTHEAST CORNER OF WOODMAN ROAD AND MERIDIAN ROAD, WITH AN ELEVATION OF 6873.18 (NGVD 29).

BASE OF BEARING:

S 89° 49'00" W BETWEEN SOUTHEAST CORNER, SECTION 1, T13S, R65W, SIXTH P.M. AND THE SOUTH 1/4 CORNER, SECTION T13S, R65W, SIXTH P.M.

LEGAL DESCRIPTION:

LOT 10 - FALCON MARKETPLACE, ACCORDING TO THE PLAT AS RECORDED DECEMBER 23, 2019 AT RECEPTION NO. 2197444-1, COUNTY OF EL PASO, STATE OF COLORADO.

GRADING AND EROSION CONTROL PLANS FOR SUPER STAR CAR WASH FALCON MARKETPLACE LOT 10 LOCATED IN A PORTION OF THE SE 1/4 OF SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH. P.M. EL PASO COUNTY, STATE OF COLORADO



VICINITY MAP

SCALE= 1" = 500'

PROPERTY OWNER:

SUPER STAR CAR WASH
1820 N 50TH AVE, SUITE 106
PHOENIX, AZ 85037
CONTACT: TIM VARLEY
PHONE: (602) 651-1748

ENGINEER:

BOWMAN CONSULTING
1526 COLE BLVD, SUITE 100
LAKEWOOD, CO 80401
CONTACT: THOMAS PANNELL, SR. PROJECT MANAGER
PHONE: (303) 801-2900

SURVEYOR:

BOWMAN CONSULTING
1526 COLE BLVD, SUITE 100
LAKEWOOD, CO 80401
CONTACT: BRIAN GARRETT, SR. PROJECT MANAGER-SURVEY
PHONE: (303) 801-2900

DEVELOPER:

EVERGREEN
2390 EAST CAMELBACK ROAD,
PHOENIX, AZ 85016
CONTACT: KAREN LEVITT GRITZ, DEVELOPMENT MANAGER
PHONE: (602) 858-8600

ARCHITECT:

CRAWLEY ARCHITECTS
730 NORTH 52ND STREET, SUITE 203
PHOENIX, AZ 85008
CONTACT: CHRISTOPHER BARTA, SENIOR PROJECT MANAGER
PHONE: (602) 393-5060

COUNTY:

EL PASO COUNTY
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
CONTACT: RYAN HOWER, PLANNER 1
PHONE: (719) 520-6300

NOTES:

OWNER IS AWARE THAT THE ACCESS PERMITS (AP211569, AP211570) ARE SUBJECT OF CONDITIONS OF APPROVAL.

| Sheet List Table | |
|------------------|------------------------------|
| SHEET NUMBER | SHEET TITLE |
| C1.0 | COVER SHEET |
| C1.1 | GENERAL NOTES |
| C2.0 | INITIAL EROSION CONTROL PLAN |
| C2.1 | INTERIM EROSION CONTROL PLAN |
| C2.2 | FINAL EROSION CONTROL PLAN |
| C2.3 | EROSION CONTROL DETAILS |
| C2.4 | EROSION CONTROL DETAILS |
| C2.5 | EROSION CONTROL DETAILS |
| C2.6 | EROSION CONTROL DETAILS |
| C3.0 | SITE PLAN |
| C4.0 | GRADING PLAN |
| C5.0 | STORM PLAN & PROFILE |

ENGINEERS STATEMENT:

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

Thomas Pannell

Digitally signed by Thomas Pannell
DN: cn=Thomas Pannell, o=Bowman Consulting, email=tpannell@bowmanconsulting.com, c=US

ENGINEER OF RECORD SIGNATURE

DATE

OWNERS STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

Tim Varley

1/28/2022

OWNER SIGNATURE

DATE

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

Jennifer Irvine, P.E. County Engineer/
ECM Administrator

APPROVED
Engineering Department
02/09/2021
EPC Planning & Community Development Department

DATE

PCD FILING NO.:
PPR-21-008



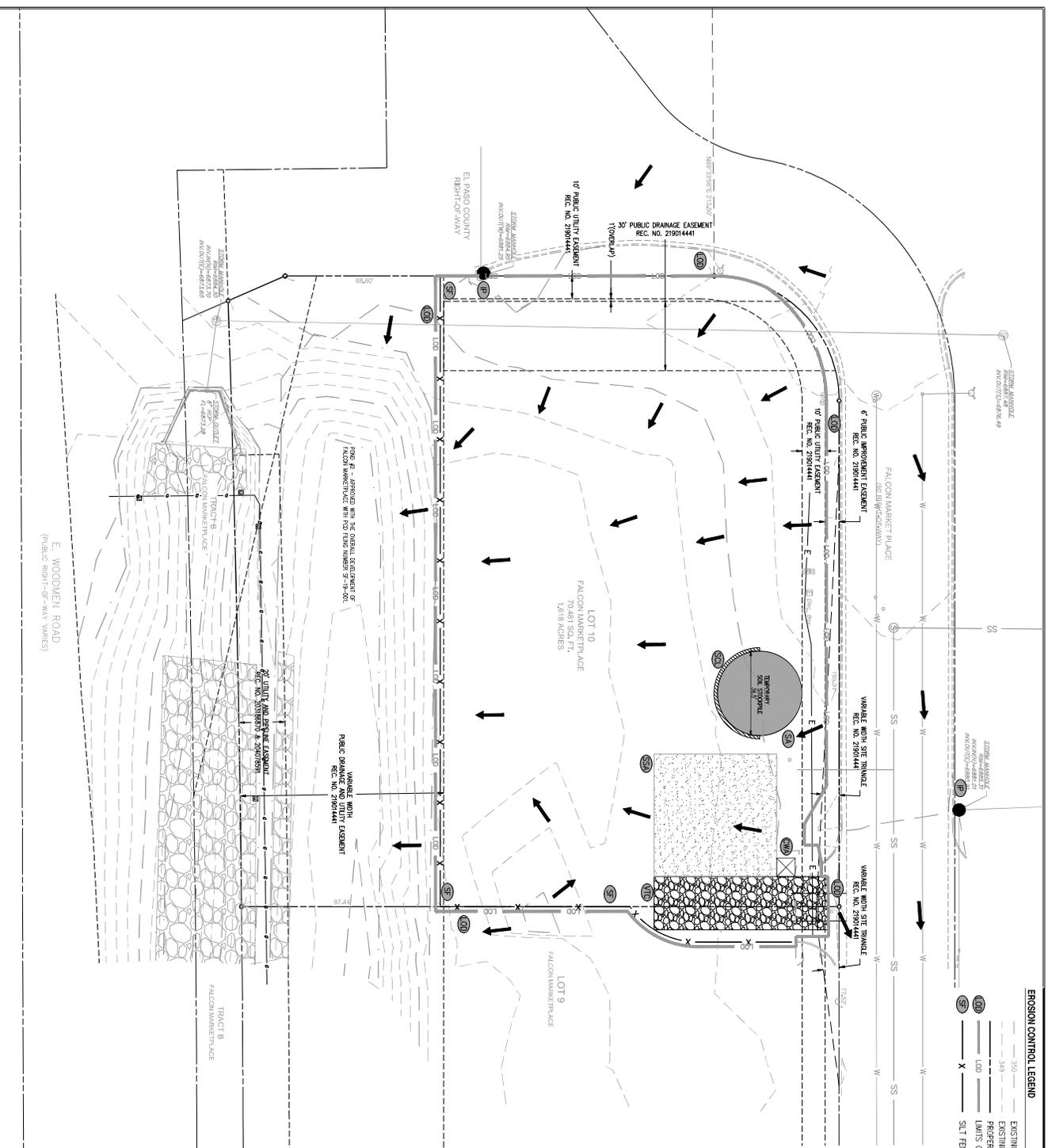
1526 Cole Blvd, Suite 100
Lakewood, CO 80401
Phone: (303) 801-2900
www.bowmanconsulting.com

| REVISION | DESCRIPTION | DATE |
|----------|--|------------|
| 1 | SSCM - FALCON MARKETPLACE - LOT 10 - 3RD SSP SUBMITTAL | 10/23/2021 |
| 2 | SSCM - FALCON MARKETPLACE - LOT 10 - 4TH SSP SUBMITTAL | 01/28/2022 |

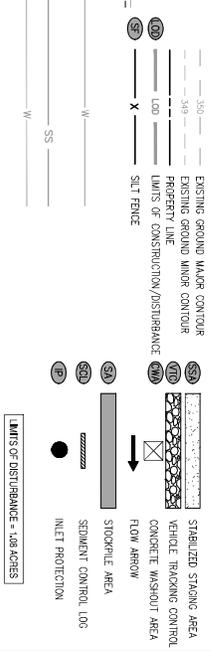
COVER SHEET
SUPER STAR CAR WASH - FALCON MARKETPLACE LOT 10
GRADING AND EROSION CONTROL PLAN
EL PASO COUNTY
COLORADO



| DESIGN SW/K | DRAWN SW/K | CHKD TOP |
|-------------------------------------|------------|----------|
| | | |
| SCALE: H: 1" = 300' V: 1" = 200' | | |
| JOB No. 020441-01-001 | | |
| DATE : 02/09/2021 | | |
| SHEET | | |
| C1.0 | | |



EROSION CONTROL LEGEND



- NOTES**
- SOIL TRACKED OFF-SITE BY CONSTRUCTION VEHICLES SHALL BE REMOVED FROM THE PREMISES AS DEEMED NECESSARY BY THE MUNICIPAL ENGINEER AND SHALL BE RETURNED TO THE SITE OR DISPOSED OF IN AN APPROVED MANNER.
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 - ANY TEMPORARY STOCKPILE OF SOIL PLACES BY THE CONTRACTOR SHALL NOT BE STOCKPILED AND PROTECTED FROM EROSION. SOIL STOCKPILES SHALL NOT EXCEED 5 FEET IN HEIGHT.
 - ALL EROSION CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS OF A SIGNIFICANT RAINFALL RECORDS OF THESE INSPECTIONS AND CORRECTIVE ACTIONS TAKEN SHALL BE MAINTAINED ON-SITE.
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 - SOIL STOCKPILES GREATER THAN 10 CUBIC YARDS MUST BE LOCATED AT LEAST 25 FEET FROM ROADWAYS, DRAINAGE CHANNELS, WETLANDS, ETC.
 - SITE IS CURRENTLY SHIPPED WITH NO EXISTING WEED INTRUSION ACROSS THE ENTIRE SITE. LIMITS OF DISTURBANCE IS THE SAME AS THE LIMITS OF CONSTRUCTION.

EPC 2/22/22

GRAPHIC SCALE

1 inch = 20 ft.

EPC 2/22/22

811

Know what's below. Call before you dig.

| REVISION | DESCRIPTION | DATE |
|----------|--|------------|
| 1 | SSCW - FALCON MARKETPLACE - LOT 10 - 3RD SSP SUBMITTAL | 10/13/2021 |
| 2 | SSCW - FALCON MARKETPLACE - LOT 10 - 4TH SSP SUBMITTAL | 01/28/2022 |

INITIAL EROSION CONTROL PLAN

SUPER STAR CAR WASH - FALCON MARKETPLACE LOT 10

GRADING AND EROSION CONTROL PLAN

EL PASO COUNTY COLORADO

Bowman

1526 Cole Blvd, Suite 100 Lakewood, CO 80401

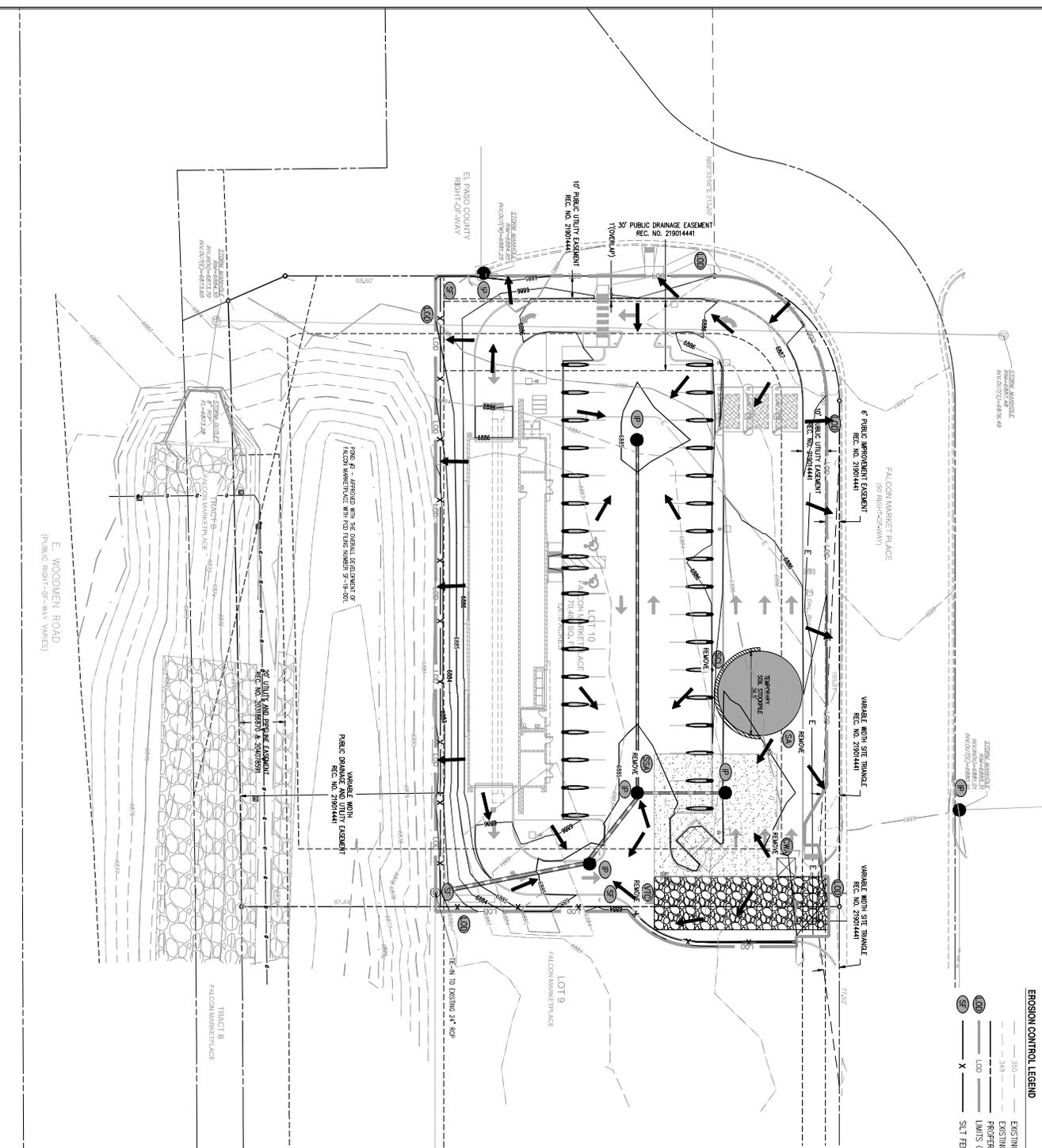
Phone: (303) 801-2900
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EL PASO COUNTY

SEAL

DATE: 02/09/2021

SHEET: C2.0



EROSION CONTROL LEGEND

- 350 - EXISTING GROUND MAJOR CONTOUR
- 349 - EXISTING GROUND MINOR CONTOUR
- PROPERTY LINE
- LIMITS OF CONSTRUCTION/DISTURBANCE
- SILT FENCE
- SP - STOCKPILE AREA
- SCB - SEDIMENT CONTROL BASIN
- IP - INLET PROTECTION
- VTC - VEHICLE TRACKING CONTROL
- CWA - CONCRETE WASHOUT AREA
- FA - FLOW ARROW
- STABILIZED STANDING AREA

LIMITS OF DISTURBANCE = 108 ACRES

NOTES

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EPC 2/22/22

GRAPHIC SCALE

1 inch = 20 feet



EL PASO COUNTY

INTERIM EROSION CONTROL PLAN

SUPER STAR CAR WASH - FALCON MARKETPLACE LOT 10

GRADING AND EROSION CONTROL PLAN

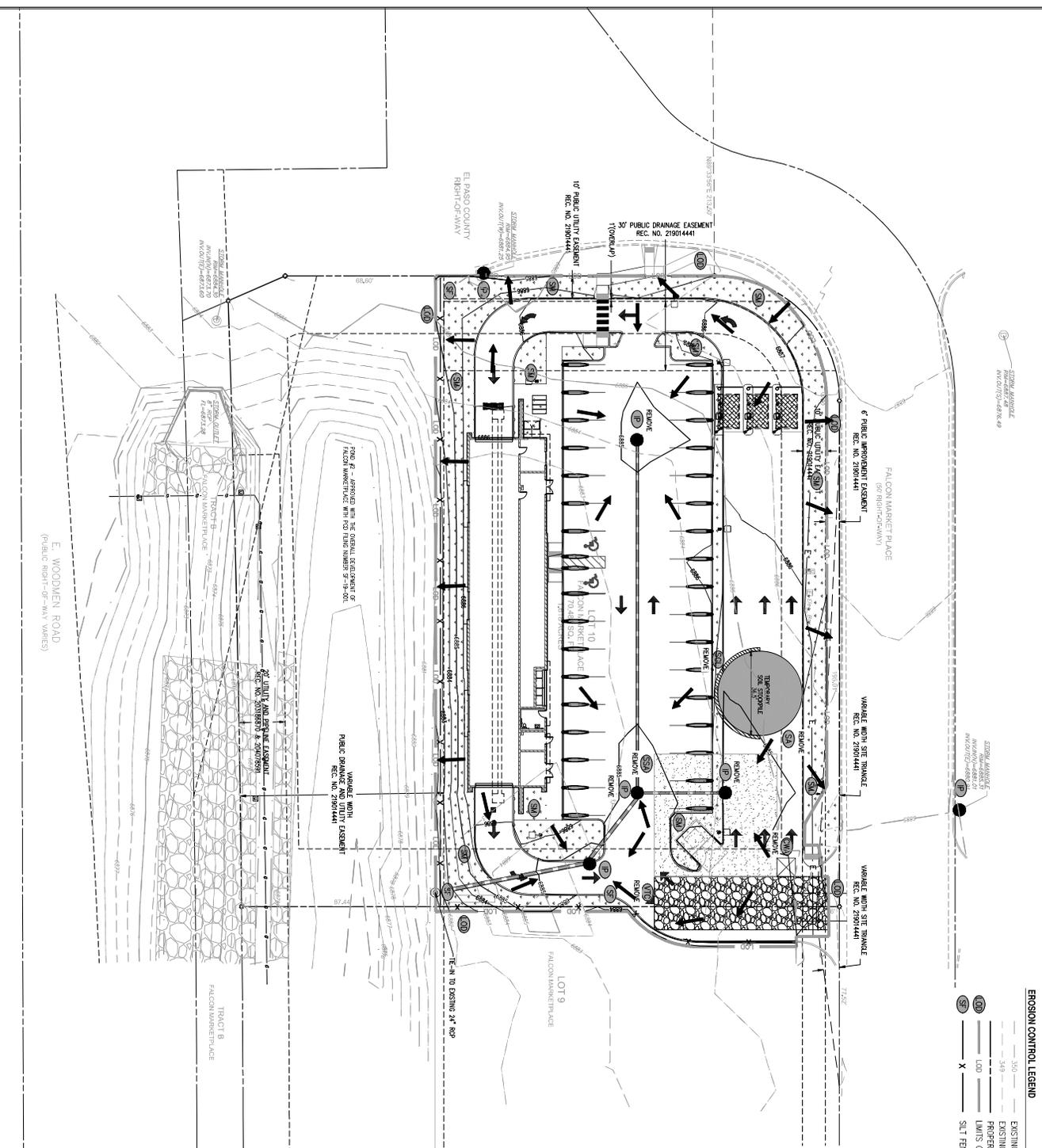
CS 1

| REVISION | DESCRIPTION | DATE |
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| 1 | SSCW - FALCON MARKETPLACE - LOT 10 - 3RD SSP SUBMITTAL | 10/13/2021 |
| 2 | SSCW - FALCON MARKETPLACE - LOT 10 - 4TH SSP SUBMITTAL | 01/28/2022 |

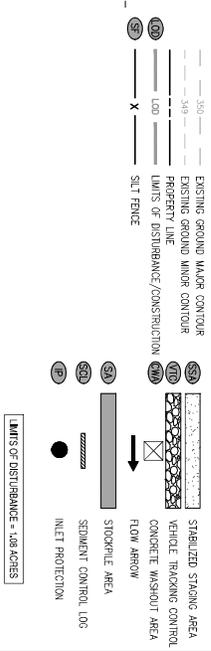
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EROSION CONTROL LEGEND



CUT/FILL NOTES
 1. THE SITE IS MOSTLY FILL WITH SMALL AREAS OF CUT ALONG THE NORTH/EASTWEST PORTIONS OF THE SITE.

- NOTES**
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 11. SITE IS CURRENTLY SHIPPED WITH NO EXISTING WEEDS/VEGETATION ACROSS THE ENTIRE SITE.
 12. LIMITS OF DISTURBANCE IS THE SAME AS THE LIMITS OF CONSTRUCTION.

EPC 2/12/22

GRAPHIC SCALE



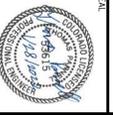
FINAL EROSION CONTROL PLAN
SUPER STAR CAR WASH - FALCON MARKETPLACE LOT 10
GRADING AND EROSION CONTROL PLAN

| REVISION | DESCRIPTION | DATE |
|----------|--|------------|
| 1 | SSCW - FALCON MARKETPLACE - LOT 10 - 3RD SSP SUBMITTAL | 10/13/2021 |
| 2 | SSCW - FALCON MARKETPLACE - LOT 10 - 4TH SSP SUBMITTAL | 01/28/2022 |



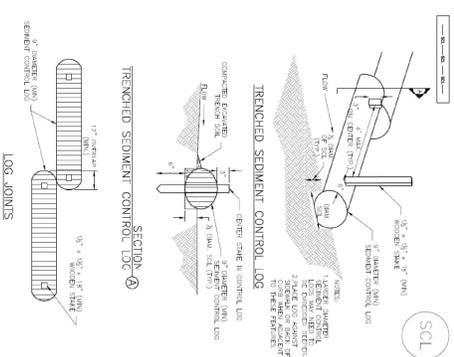
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 Lakewood, CO 80401
 Phone: (303) 801-2900
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SESSON SHANK CADD
 SCALE: 1" = 20'
 JOB NO. 220441-1-1-001
 DATE: 02/09/2021
 SHEET
C2.2



Sediment Control Log (SCL)

SC-2

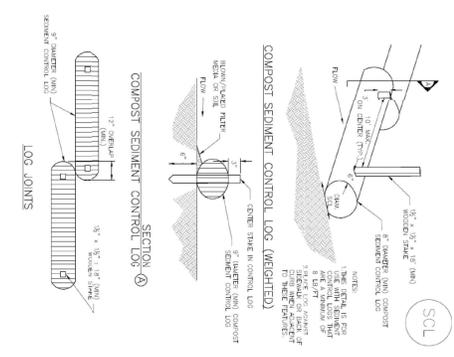


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SCL.3

Sediment Control Log (SCL)

SC-2

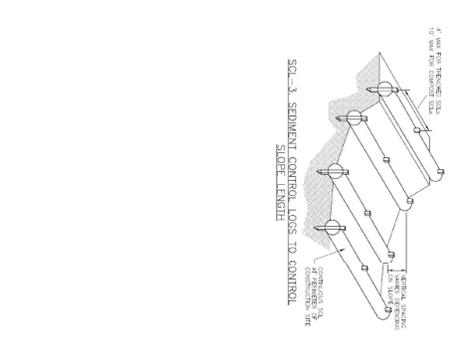


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SCL.4

Sediment Control Log (SCL)

SC-2



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SCL.5

SC-2 Sediment Control Log (SCL)

SC-2

SEDIMENT CONTROL LOG INSTALLATION NOTES

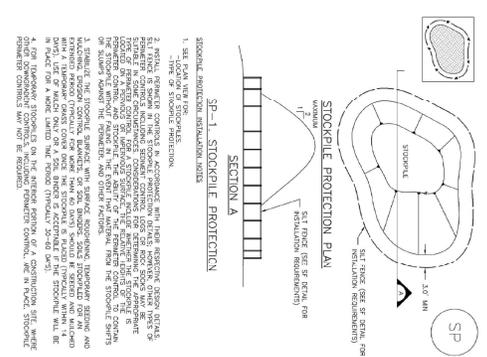
1. SEE PLAN VIEW FOR LOCATION AND LENGTH OF SEDIMENT CONTROL LOGS.
2. SEDIMENT CONTROL LOGS THAT ARE NOT A PERMANENT CONTROL SHALL BE INSTALLED PRIOR TO ANY OVERPAVED DRIVEWAY OR DRIVEWAY CURB. PERMANENT CONTROL LOGS SHOULD BE INSTALLED PRIOR TO ANY DRIVEWAY PAVING. PERMANENT CONTROL LOGS SHOULD BE INSTALLED PRIOR TO ANY DRIVEWAY PAVING. PERMANENT CONTROL LOGS SHOULD BE INSTALLED PRIOR TO ANY DRIVEWAY PAVING.
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SCL.6

Stockpile Management (SP)

MM-2



November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3

SP-1

Stockpile Management (SM)

MM-2

SEDIMENTATION MAINTENANCE NOTES

1. INSPECT EACH STOCKPILE AND MAINTAIN THEM IN EXCELLENT CONDITION. REMOVE EXCESSIVE SEDIMENT FROM THE STOCKPILE SURFACE. REMOVE EXCESSIVE SEDIMENT FROM THE STOCKPILE SURFACE. REMOVE EXCESSIVE SEDIMENT FROM THE STOCKPILE SURFACE.
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November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3

SM-1

| REVISIONS | | DATE |
|-----------|---|------------|
| REVISION | DESCRIPTION | DATE |
| 1 | SSW - FALCON MARKETPLACE - LOT 10 - 3RD SPP SUBMITTAL | 10/13/2021 |
| 2 | SSW - FALCON MARKETPLACE - LOT 10 - 4TH SPP SUBMITTAL | 01/28/2022 |

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EROSION CONTROL DETAILS

SUPER STAR CAR WASH - FALCON MARKETPLACE LOT 10

GRADING AND EROSION CONTROL PLAN

EL PASO COUNTY COLORADO

DESIGN: SMMK
DRAWN: SMMK
SCALE: 1" = 10'-0"

DATE: 02/09/2021

PROJECT: C2.5



EPC 2/22/22

- Clean, weed-free and soil-free erodible grain straw should be applied evenly at a rate of 2 tons per acre and must be baled or banded by a method suitable for the condition of the site. Straw must be mixed with the soil to a depth of 2 to 3 inches. Straw should be applied to the surface of the site and not piled up with the aid of loaders or rakes. Mulching with existing equipment is preferred, and if the recommended method for areas greater than 3 1/2. Mechanical crimpers must be capable of making the long ideal substrate, any work of the soil blades are dull or blunted and are vertically; however, the frames may have to be replaced to allow proper soil penetration.
- Grass hay may be used in place of straw, however, because hay is composed of the entire plant including root, stem and leaves, it is more difficult to spread evenly. Grass hay should be applied at a rate of 2 tons per acre and are more expensive than straw. Purchasing and utilizing a certified weed-free straw is an earlier and less costly mulching method. When using grain hay, follow the same guidelines as for straw provided above.
- The entire area delineated from the final and heavy mulch requires a lock from the mulch is satisfactory for holding in place. For steep slopes and special situations where greater control is needed, erosion control blankets anchored with stakes should be used instead of mulch.
- Hydraulic mulching consists of wood cellulose fibers mixed with water and attaching agent and should be applied to the surface of the site. Hydraulic mulching is a fast and efficient method of applying mulch to a site. Hydraulic mulching typically requires up to 24 hours to dry; therefore, it should not be applied to a site that is expected to receive rain within 24 hours. Application to roads, swamps and existing vegetation should be avoided.
- Erosion control mats, blankets, or mats are recommended to help stabilize steep slopes (generally 3:1 and steeper) and, wherever possible, they should be used alone or in conjunction with grass or straw mulch. Normally, 6 feet of these products will be required to stabilize erodible soil. The manufacturer's instructions should be followed for application of these products. (See the ECOM BMP for more information.)
- Some blankets or mats may be used to anchor mulch. Check with the local jurisdiction for allowed practices. Manufacturer's recommendations should be followed in all times. (See the Soil Binder BMP for more information on geotextile blankets.)
- Rock mulches consist of crushed rock applied to the surface of the site. Rock mulches are used to stabilize erodible soil on the area it is applied.

Maintenance and Removal

After mulching, the bare ground surface should not be more than 10 percent exposed. Keeply mulch as needed to cover bare areas.

ECU-2 Urban Planning and Project Control Division June 2012
Urban Storm Drainage Criteria Manual Volume 3



1526 Cole Blvd, Suite 100 Phone: (303) 801-2900
Lakewood, CO 80401 www.bowmanconsulting.com

| REVISIONS | | |
|-----------|--|------------|
| REVISION | DESCRIPTION | DATE |
| 1 | SSCW - FALCON MARKETPLACE - LOT 10 - 3RD SSP SUBMITTAL | 10/13/2021 |
| 2 | SSCW - FALCON MARKETPLACE - LOT 10 - 4TH SSP SUBMITTAL | 01/28/2022 |
| | | |
| | | |
| | | |

EROSION CONTROL DETAILS
 SUPER STAR CAR WASH - FALCON MARKETPLACE LOT 10
 GRADING AND EROSION CONTROL PLAN
 EL PASO COUNTY COLORADO

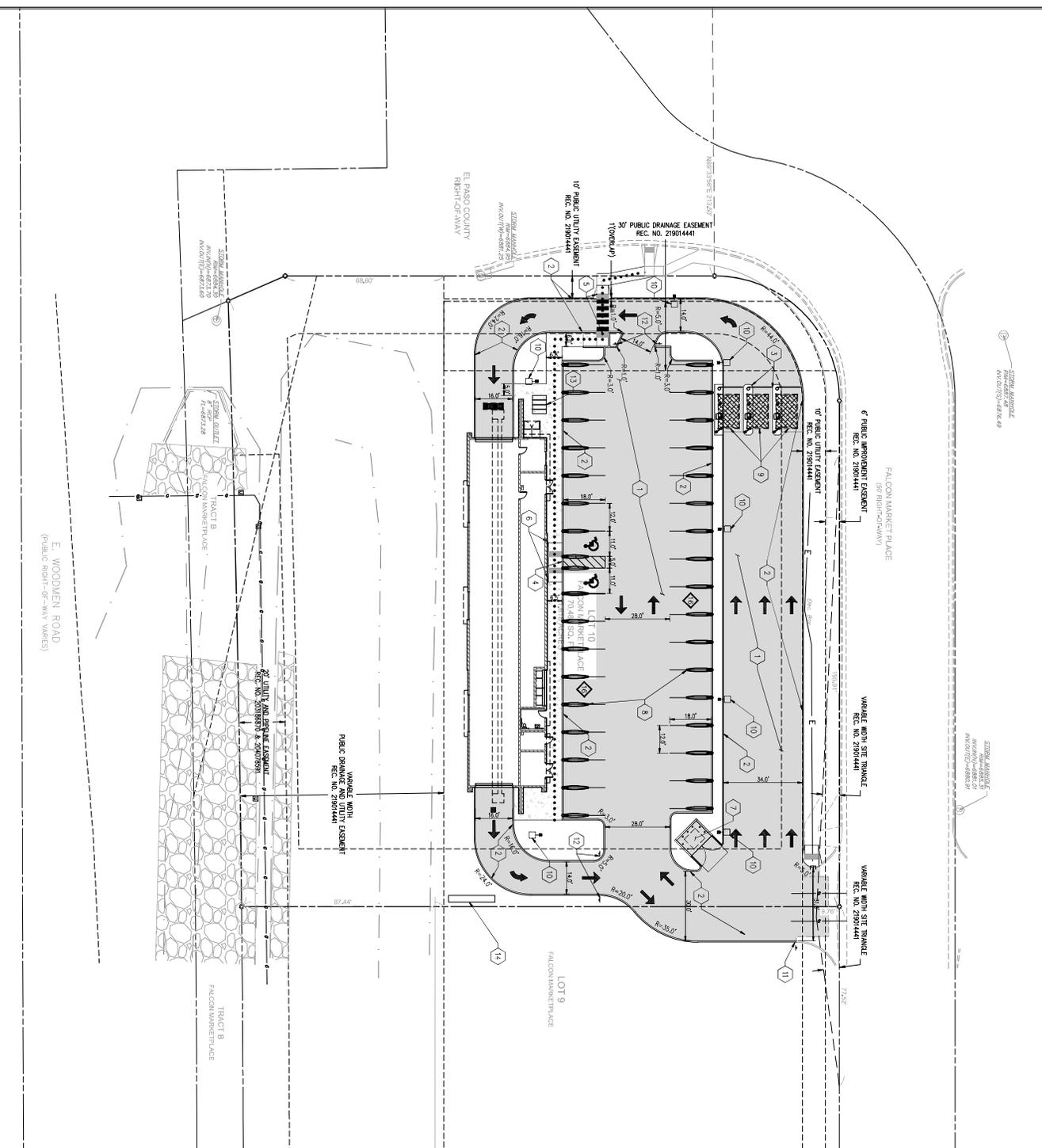


| | | |
|---------|------|----|
| DESIGN | DATE | BY |
| SCALE | DATE | BY |
| JOB No. | DATE | BY |
| DATE | DATE | BY |
| SHEET | DATE | BY |

EPC 2/22/22



Know what's below.
Call before you dig.



| LEGEND | |
|---|---|
| EXISTING | PROPOSED |
| PROPERTY LINE | ADJACENT PROPERTY LINE |
| LOT LINE | LOT LINE |
| RIGHT OF WAY | RIGHT OF WAY |
| EXISTING | EXISTING |
| VERTICAL CURB AND OUTER CONCRETE SIDEWALK | VERTICAL CURB AND OUTER CONCRETE SIDEWALK |
| PAVING COUNT INDICATOR | PAVING COUNT INDICATOR |
| ADA ACCESSIBLE ROUTE | ADA ACCESSIBLE ROUTE |

- KEY NOTES**
- PROPOSED CONCRETE PAVEMENT
 - PROPOSED 6" INTERNAL CURB
 - PROPOSED RAISED CONCRETE SLAB
 - PROPOSED ADA RAMP (SEE DETAIL ON SHEET CS.0)
 - PROPOSED ADA RAMP (SEE DETAIL ON SHEET CS.1)
 - PROPOSED ADA PARKING SIGN
 - PROPOSED TRASH ENCLOSURE
 - PROPOSED WASHUUM STATION (SEE DETAIL ON SHEET CS.1)
 - PROPOSED CANOPY (SEE DETAIL ON SHEET CS.1)
 - PROPOSED SITE LIGHT
 - PROPOSED STOP SIGN
 - PROPOSED "DO NOT ENTER" DIRECTIONAL SIGN
 - PROPOSED BIODE PARKING
 - DEVELOPMENT MAINTENANCE SIGN (BY OTHERS)

SITE DATA TABLE

| PROPERTY ADDRESS | 1752 FALCON MARKET PL |
|------------------|-----------------------|
| TRACT | TRACT B |
| LOT | LOT 10 |
| AREA | 10,881 SQ. FT. |
| PERMITS | 10/27/22 |
| OWNER | SSW |
| DESIGNER | BOWMAN CONSULTING |
| DATE | 10/27/22 |
| PROJECT | SSW |
| PROJECT LOCATION | SSW |
| PROJECT TYPE | SSW |
| PROJECT PHASE | SSW |
| PROJECT STATUS | SSW |
| PROJECT COMMENTS | SSW |
| PROJECT CONTACT | SSW |
| PROJECT PHONE | SSW |
| PROJECT FAX | SSW |
| PROJECT EMAIL | SSW |
| PROJECT WEBSITE | SSW |
| PROJECT ADDRESS | SSW |
| PROJECT CITY | SSW |
| PROJECT STATE | SSW |
| PROJECT ZIP | SSW |
| PROJECT COUNTY | SSW |
| PROJECT DISTRICT | SSW |
| PROJECT ZONE | SSW |
| PROJECT HEIGHT | SSW |

ACCESSIBILITY NOTES:
 THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND ORDINANCES AS REQUIRED BY THE UNITED STATES DEPARTMENT OF JUSTICE AND THE U.S. ARCHITECTURAL AND BARILLO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR ORDINANCES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

GRAPHIC SCALE
 1 inch = 20 ft.

811
 Know what's below. Call before you dig.

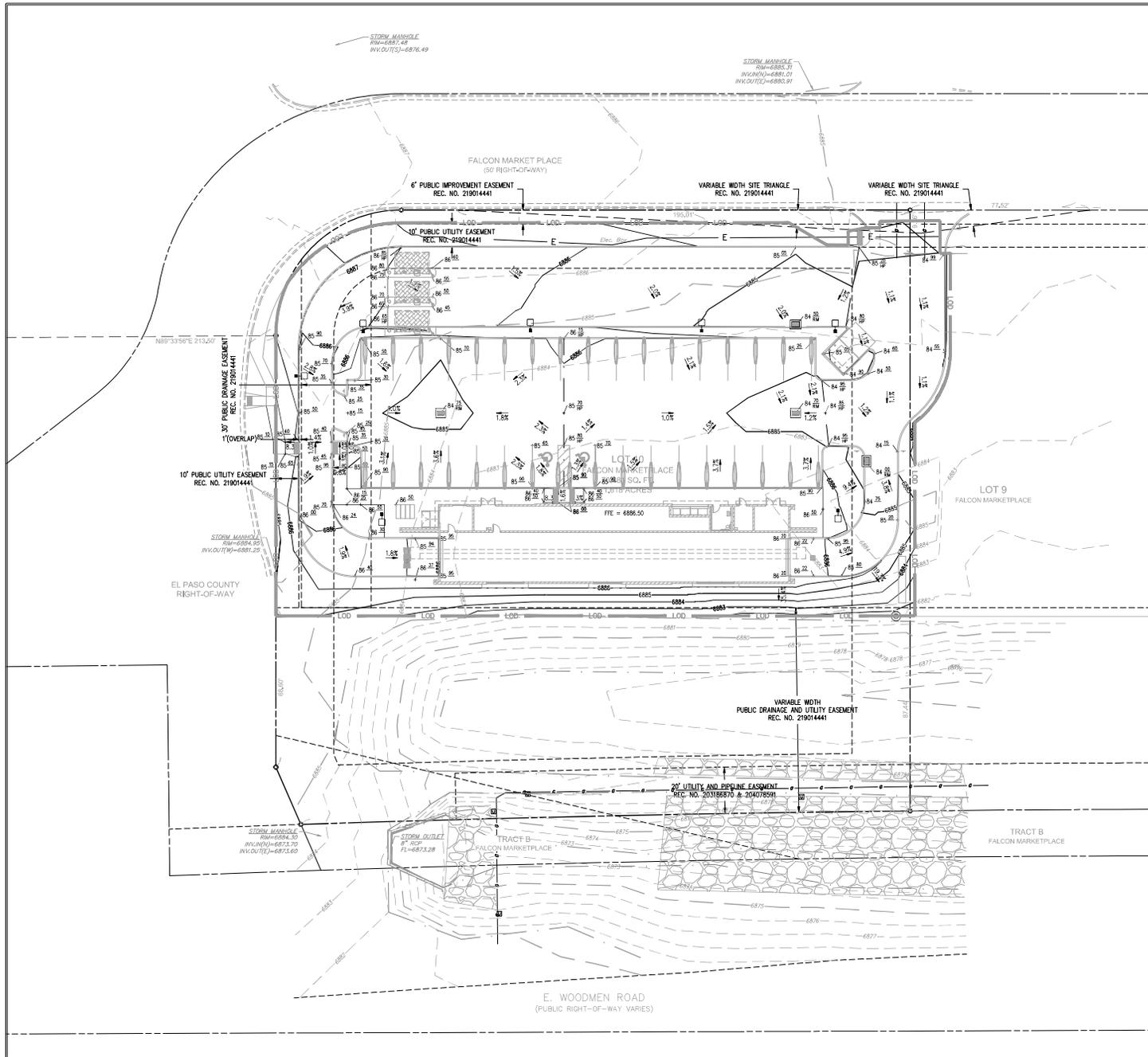
SITE PLAN

SUPER STAR CAR WASH - FALCON MARKETPLACE LOT 10
GRADING AND EROSION CONTROL PLAN

EL PASO COUNTY COLORADO

| REVISION | DESCRIPTION | DATE |
|----------|---|------------|
| 1 | SSW - FALCON MARKETPLACE - LOT 10 - 3RD SPP SUBMITTAL | 10/13/2021 |
| 2 | SSW - FALCON MARKETPLACE - LOT 10 - 4TH SPP SUBMITTAL | 01/28/2022 |

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| EXISTING | LEGEND DESCRIPTION | PROPOSED |
|----------|--------------------------|----------|
| --- | PROPERTY LINE | --- |
| --- | ADJACENT PROPERTY LINE | --- |
| --- | LOT LINE | --- |
| --- | RIGHT OF WAY | --- |
| --- | LIMITS OF DISTURBANCE | --- |
| --- | FENCE LINE | --- |
| --- | EASEMENT | --- |
| --- | VERTICAL CURB AND GUTTER | --- |
| --- | CONCRETE SIDEWALK | --- |
| --- | MAJOR CONTOUR | --- |
| --- | MINOR CONTOUR | --- |
| --- | GRADE BREAK | --- |
| --- | SPOT ELEVATION | --- |
| --- | STORM SEWER MANHOLE | --- |
| --- | STORM SEWER INLET | --- |
| --- | TREE | --- |

- NOTES:
 1. ALL SPOT GRADES REPRESENT FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
 2. "T" ON SPOT GRADES REPRESENTS FINISHED GRADE BEHIND EXPOSED BACK OF CURB.

EPC 2/22/22

GRAPHIC SCALE

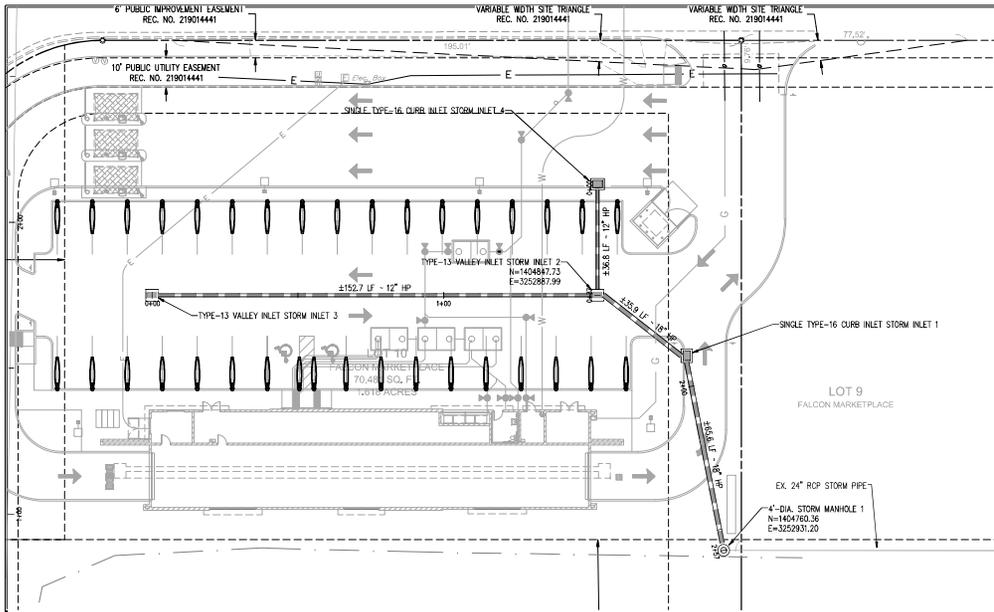


| REVISION | DESCRIPTION | DATE |
|----------|---|------------|
| 1 | SSM - FALCON MARKETPLACE - LOT 10 - 3RD SSP SUBMITTAL | 10/23/2021 |
| 2 | SSM - FALCON MARKETPLACE - LOT 10 - 4TH SSP SUBMITTAL | 01/28/2022 |

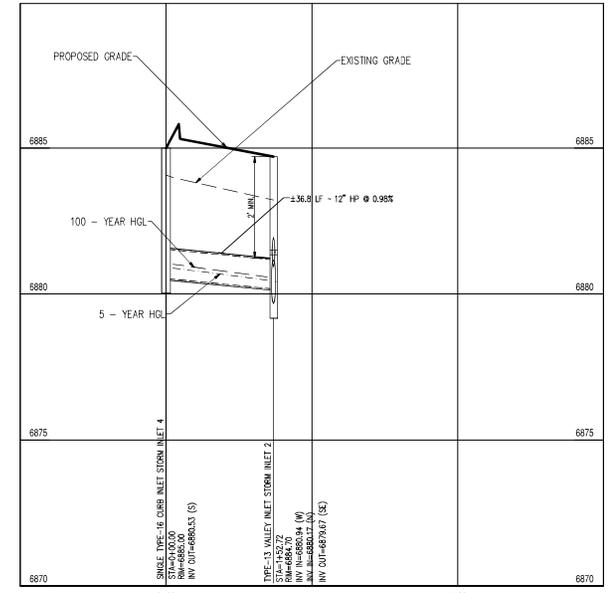
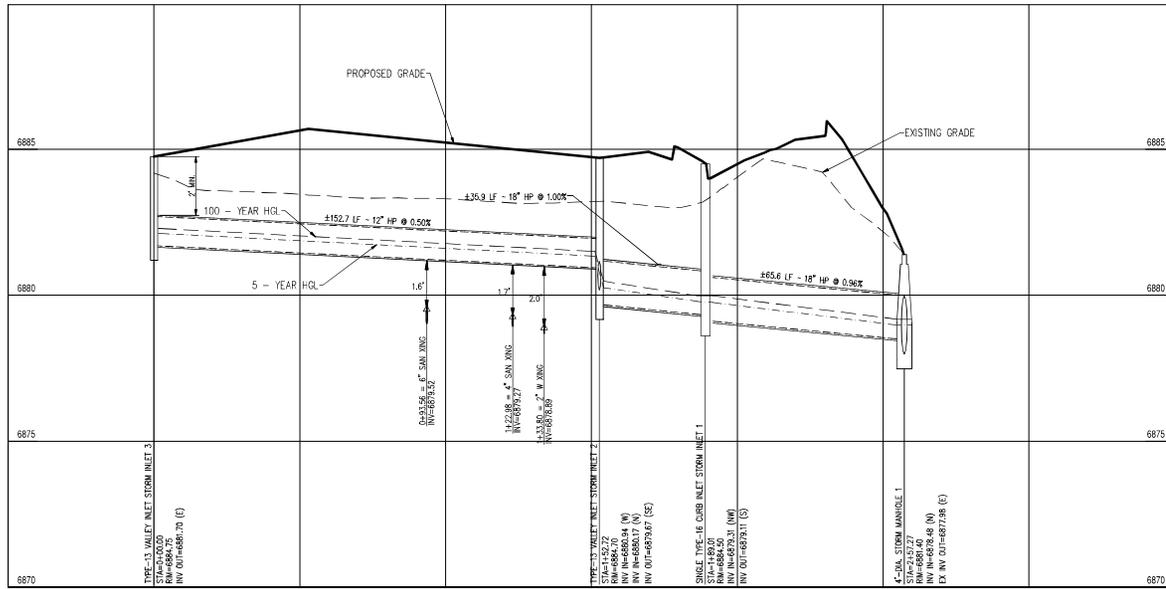
GRADING PLAN
SUPER STAR CAR WASH - FALCON MARKETPLACE LOT 10
GRADING AND EROSION CONTROL PLAN
 COLORADO
 EL PASO COUNTY



| DESIGN | DRAWN | CHECK |
|-----------------------|-------|-------|
| SWJK | SWJK | TOP |
| SCALE: H: 1" = 20' | | |
| SCALE: V: 1" = 200' | | |
| JOB No. 020441-01-001 | | |
| DATE: 02/09/2021 | | |
| SHEET | | |
| C4.0 | | |



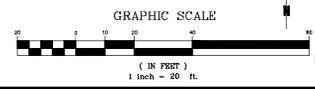
| EXISTING | LEGEND DESCRIPTION | PROPOSED |
|----------|--------------------------------|----------|
| --- | PROPERTY LINE | --- |
| --- | ADJACENT PROPERTY LINE | --- |
| --- | LOT LINE | --- |
| --- | RIGHT OF WAY | --- |
| --- | EASEMENT | --- |
| --- | VERTICAL CURB AND GUTTER | --- |
| --- | CONCRETE SIDEWALK | --- |
| --- | WATER LINE | --- |
| --- | WATER METER | --- |
| --- | WATER VALVE | --- |
| --- | FIRE HYDRANT | --- |
| --- | SANITARY LINE | --- |
| --- | SANITARY MANHOLE | --- |
| --- | SANITARY CLEANOUT | --- |
| --- | STORM SEWER PIPE | --- |
| --- | STORM SEWER MANHOLE | --- |
| --- | STORM SEWER INLET | --- |
| --- | STORM SEWER FLARED END SECTION | --- |
| --- | STORM SEWER HEADWALL | --- |
| --- | UNDERGROUND ELECTRIC | --- |
| --- | STREET LIGHT | --- |
| --- | TELECOM SERVICE | --- |
| --- | NATURAL GAS SERVICE | --- |



Alignment - Storm Inlet 2 PROFILE VIEW
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=2'

EPC 2/22/22

NOTES:
 1. RIM ELEVATION AT CURB INLETS ARE FLOW LINE ELEVATION



| REVISION | DESCRIPTION | DATE |
|----------|---|------------|
| 1 | SSM - FALCON MARKETPLACE - LOT 10 - 3RD SSP SUBMITTAL | 10/23/2021 |
| 2 | SSM - FALCON MARKETPLACE - LOT 10 - 4TH SSP SUBMITTAL | 07/28/2022 |

STORM PLAN & PROFILE
 SUPER STAR CAR WASH - FALCON MARKETPLACE LOT 10
 GRADING AND EROSION CONTROL PLAN
 EL PASO COUNTY
 COLORADO



| DESIGN | DRAWN | CHKD |
|-----------------------|-------|------|
| SWK | SWK | TOP |
| SCALE: H: 1" = 20' | | |
| SCALE: V: 1" = 2' | | |
| JOB No. 020441-01-001 | | |
| DATE: 02/09/2021 | | |
| SHEET | | |
| C5.0 | | |