

GENERAL NOTES

1. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE LOCAL JURISDICTION MUNICIPAL CODE, TECHNICAL MANUALS, AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE TECHNICAL MANUAL OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY PUBLIC WORKS OR UTILITIES INSPECTOR.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE.
3. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE TOWN/CITY AND ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
5. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE CRITERIA AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB ON-SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
7. IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT PUBLIC WORKS INSPECTOR IMMEDIATELY.
8. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD UNLESS SPECIFICALLY STATED OTHERWISE.
9. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN IN ACCORDANCE WITH MUTCD TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY (TOWN/CITY, COUNTY OR STATE) FOR APPROVAL PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN OR AFFECTING THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR AS DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED UNLESS SPECIFICALLY NOTED OTHERWISE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE AND AVAILABLE TO PUBLIC WORKS INSPECTOR AT ALL TIMES.
13. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE CONSULTANT ENGINEER FOR CLARIFICATION AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
14. THE CONTRACTOR SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE COLORADO PERMIT FOR STORM WATER DISCHARGE (IF APPLICABLE), THE STORM WATER MANAGEMENT PLAN, AND THE EROSION CONTROL PLAN.
15. ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION PRIOR TO ANY OTHER EARTH-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREA IS STABILIZED WITH HARD SURFACE OR LANDSCAPING.
16. THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF THE WATER LINES AND DRY UTILITIES.
17. THERE SHALL BE NO SITE CONSTRUCTION ACTIVITIES ON SATURDAYS UNLESS SPECIFICALLY APPROVED BY PUBLIC WORKS INSPECTOR AND NO SITE CONSTRUCTION ACTIVITIES ON SUNDAYS OR HOLIDAYS UNLESS THERE IS PRIOR WRITTEN APPROVAL BY THE PUBLIC WORKS DIRECTOR.
18. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS AND TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS, SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.

BENCHMARK

ELEVATIONS ARE BASED ON COLORADO SPRINGS UTILITIES FACILITIES INFORMATION SYSTEM (FIMS) "BLT 167", A 2" ALUMINUM CAP IN CONCRETE LOCATED ON AN ELECTRIC TRANSFORMER PAD AT THE SOUTHEAST CORNER OF WOODMEN ROAD AND MERIDIAN ROAD, WITH AN ELEVATION OF 6873.18 (NGVD 29).

BASIS OF BEARING

S 89° 49'00" W BETWEEN SOUTHEAST CORNER, SECTION 1, T13S, R65W, SIXTH P.M. AND THE SOUTH ½ CORNER, SECTION T13S, R65W, SIXTH P.M.

LEGAL DESCRIPTION

LOT 10, FALCON MARKETPLACE, ACCORDING TO THE PLAT AS RECORDED DECEMBER 23, 2019 AT RECEPTION NO. 219744441, COUNTY OF EL PASO, STATE OF COLORADO.

GRADING AND EROSION CONTROL PLANS
FOR
SUPER STAR CAR WASH
FALCON MARKETPLACE LOT 10
LOCATED IN A PORTION OF THE SE ¼ OF SECTION 1, TOWNSHIP 13 SOUTH,
RANGE 65 WEST OF THE 6TH P.M.
EL PASO COUNTY, STATE OF COLORADO



VICINITY MAP

SCALE= 1" = 500'

PROPERTY OWNER

SUPER STAR CAR WASH
1810 N 80TH AVE, SUITE 106
PHOENIX, AZ 85037
CONTACT: TIM VARLEY
PHONE: (602) 651-1748

ENGINEER

BOWMAN CONSULTING
1508 COLE BLVD, SUITE 100
LAKEWOOD, CO 80401
CONTACT: THOMAS PANNELL, SR. PROJECT MANAGER
PHONE: (303) 801-2900

SURVEYOR

BOWMAN CONSULTING
1508 COLE BLVD, SUITE 100
LAKEWOOD, CO 80401
CONTACT: BRIAN GARRETT, SR. PROJECT MANAGER-SURVEY
PHONE: (303) 801-2900

DEVELOPER

EVERGREEN
2390 EAST CAMELBACK ROAD,
PHOENIX, AZ 85016
CONTACT: KAREN LEVITT ORTIZ, DEVELOPMENT MANAGER
PHONE: (602) 858-8600

ARCHITECT

CRAWLEY ARCHITECTS
730 NORTH 52ND STREET, SUITE 203
PHOENIX, AZ 85008
CONTACT: CHRISTOPHER BARTA, SENIOR PROJECT MANAGER
PHONE: (602) 393-5060

COUNTY

EL PASO COUNTY
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80909
CONTACT: RYAN HOWER, PLANNER 1
PHONE: (719) 526-6300

NOTES

OWNER IS AWARE THAT THE ACCESS PERMITS (AP211569, AP211570) ARE SUBJECT OF CONDITIONS OF APPROVAL.

Sheet List Table	
SHEET NUMBER	SHEET TITLE
C1.0	COVER SHEET
C1.1	GENERAL NOTES
C2.0	INITIAL EROSION CONTROL PLAN
C2.1	INTERIM EROSION CONTROL PLAN
C2.2	FINAL EROSION CONTROL PLAN
C2.3	EROSION CONTROL DETAILS
C2.4	EROSION CONTROL DETAILS
C2.5	EROSION CONTROL DETAILS
C2.6	EROSION CONTROL DETAILS
C3.0	SITE PLAN
C4.0	GRADING PLAN
C5.0	STORM PLAN & PROFILE

ENGINEERS STATEMENT:

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

Thomas Pannell

Digitally signed by Thomas Pannell
DN: cn=Thomas Pannell, o=Bowman Consulting, ou=Engineering Department, email=tpannell@bowmanconsulting.com, c=US
Date: 2022.01.31 10:37:30-700

ENGINEER OF RECORD SIGNATURE

DATE

OWNERS STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

Tim Varley

1/28/2022

OWNER SIGNATURE

DATE

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.10, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

APPROVED

Engineering Department

Jennifer Irvine, PE/County Engineer/
ECM Administrator

DATE

02/22/2022
J.Irvine
EPC Planning & Community
Development Department

POD FILING NO.:
PPR-21-008

COVER SHEET

SUPER STAR CAR WASH - FALCON MARKETPLACE LOT 10
GRADING AND EROSION CONTROL PLAN

EL PASO COUNTY

SCALE



DESIGN
SWK

DRAWN
SWK

CHECK
TOP

SCALE
H: 1" = 300'

V: 1" = 300'

JOB No. 020441-01-001

DATE : 02/09/2021

SHEET

C1.0

1526 Cole Blvd, Suite 100
Lakewood, CO 80401

Phone: (303) 801-2900
www.bowmanconsulting.com

Bowman

CONSULTING INC. DOES NOT GUARANTEE THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON. CONTRACTOR TO BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF AND PROTECTING ALL EXISTING UTILITIES, INCLUDING THOSE NOT SHOWN OR SHOWN INCORRECTLY ON THE PLANS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED IN A TIMELY FASHION TO THE SATISFACTION OF THE APPROPRIATE GOVERNING AGENCY AND THE OWNER OF THE IMPACTED UTILITY AT THE CONTRACTOR'S EXPENSE.

- [illegible]

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF HIS WORKERS ACCORDING TO FEDERAL AND STATE LAWS. THE TOTAL LIABILITY OF THE WORKER REQUIRED TO MAKE THE PROPOSED WORK CONFORM TO THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, CONDITIONS, AND COMPROMISE AND CONDITION OF EXISTING GROUND SURFACE AND THE CHARACTER OF THE EQUIPMENT AND FACILITIES NEEDED PRIOR TO AND DURING EXECUTION OF THE WORK. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE CHARACTER, QUANTITY AND QUALITY OF SURFACE AND SUBSURFACE MATERIALS OR OBSTACLES TO BE ENCOUNTERED. ANY INADEQUACIES OR

- [illegible]

RIGHTS-OF-WAY OF THE APPROPRIATE GOVERNING AGENCY AS A RESULT OF THIS CONSTRUCTION PROJECT, SAID REMOVAL SHALL BE CONDUCTED IN A THIRTY (30) DAY PERIOD.

2. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS, AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL CONSTRUCTION AND MAINTENANCE ACTIVITIES THAT TAKE PLACE ON THE PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY POLLUTION OR CONTAMINATION OCCURRING THAT TAKES PLACE ON THE PROJECT.

- [illegible]

1. **STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITES/WATERS, INCLUDING WETLANDS.**

- [illegible]

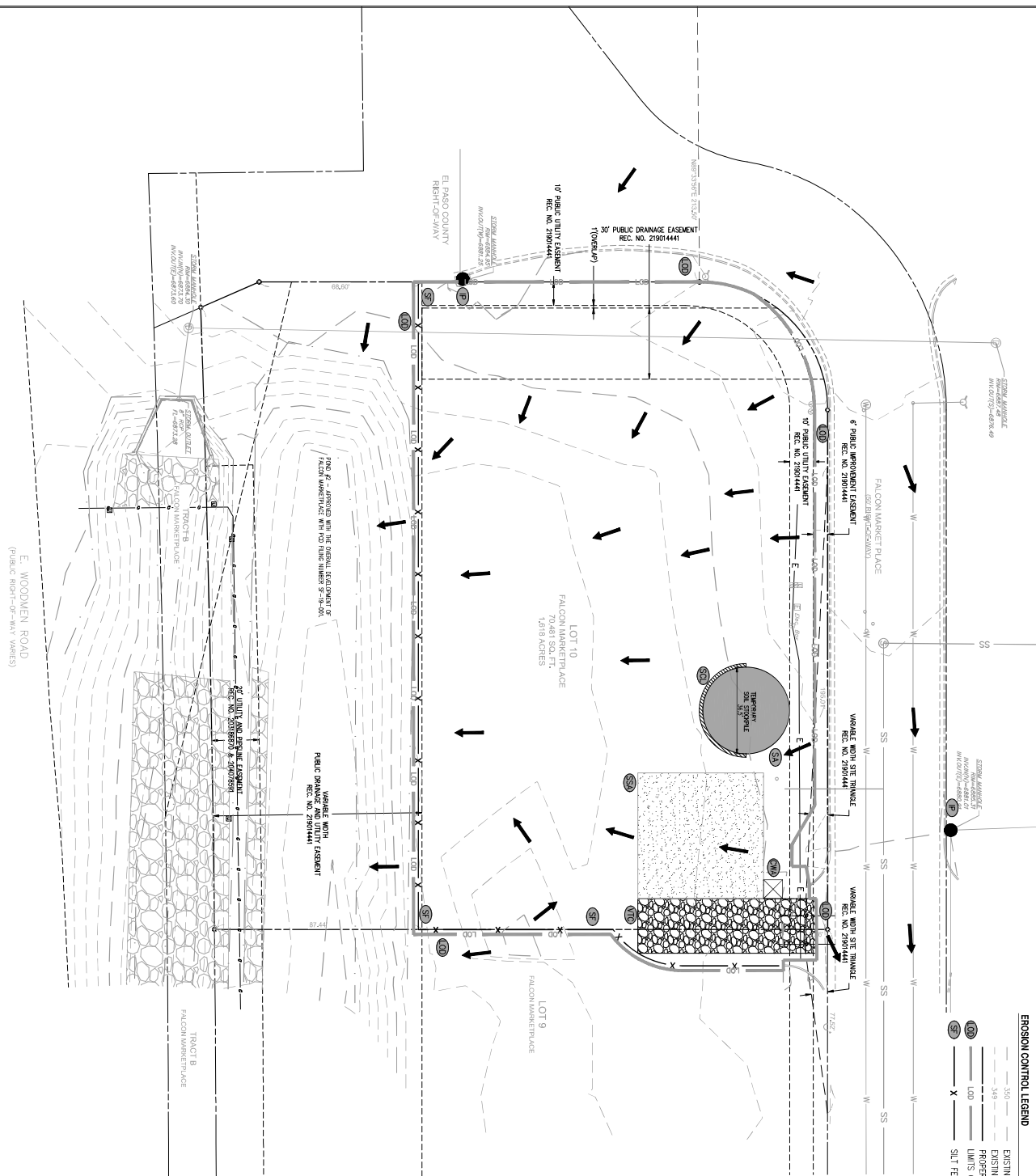
COI ORADO

REVISIONS		
REVISION	DESCRIPTION	DATE
1	SSCW - FALCON MARKETPLACE - LOT 10 - 3RD SDP SUBMITTAL	10/13/2021
2	SSCW - FALCON MARKETPLACE - LOT 10 - 4TH SDP SUBMITTAL	01/28/2022

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EROSION CONTROL LEGEND

	---	350	---	EXISTING GROUND MAJOR CONTOUR
	---	349	---	EXISTING GROUND MINOR CONTOUR
	---		---	PROPERTY LINE
	---	L.O.D.	---	LIMITS OF CONSTRUCTION/DISTURBANCE
	X			SILT FENCE

SSA
VTC
CMA

STABILIZED STAGING AREA
VEHICLE TRACKING CONTROL
CONCRETE WASHOUT AREA

FLOW ARROW

LIMITS OF DISTURBANCE = 1.08 ACRES

REVISIONS

REVISIONS		
REVISION	DESCRIPTION	DATE
1	SSCW – FALCON MARKETPLACE – LOT 10 – 3RD SDP SUBMITTAL	10/13/2021
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INITIAL EROSION CONTROL PLAN

SUPER STAR CAR WASH - FALCON MARKETPLACE LOT 10
GRADING AND EROSION CONTROL PLAN

EL PASO COUNTY

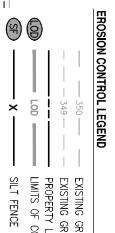
COLORADO

EPC 2/22/22

GRAPHIC SCALE

Know what's below.
Call before you dig.

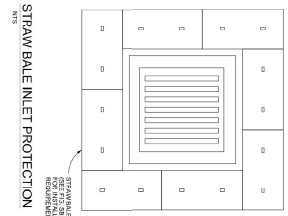
SHEET 030



STOCKPILE AREA
SEDIMENT CONTROL LOG
INLET PROTECTION

REVISIONS		
REVISION	DESCRIPTION	DATE
1	SSOW - FALCON MARKETPLACE - LOT 10 - 3RD SDP SUBMITTAL	10/13/2022
2	SSOW - FALCON MARKETPLACE - LOT 10 - 4TH SDP SUBMITTAL	01/28/2023

What's under the hood?



STRAW BALE INLET PROTECTION

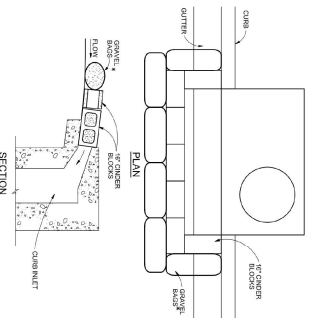
STRAW BALE INLET PROTECTION NOTES

- INSTALLATION REQUIREMENTS**
1. STRAW BALE INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY AFTER THE CONSTRUCTION OF THE INLET.
 2. STRAW BALE INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY AFTER THE CONSTRUCTION OF THE INLET.
 3. STRAW BALE INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY AFTER THE CONSTRUCTION OF THE INLET.
 4. STRAW BALE INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY AFTER THE CONSTRUCTION OF THE INLET.

City of Colorado Springs
Stormwater Quality

3.26

Figure 3P-2
Straw Bale Inlet Protection
Construction Details and Dimensions



BLOCK AND GRAVEL BAG CURB INLET PROTECTION

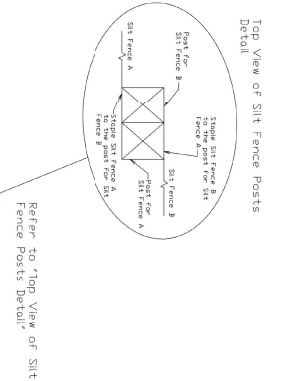
BLOCK AND GRAVEL BAG CURB INLET PROTECTION NOTES

- INSTALLATION REQUIREMENTS**
1. BLOCK AND GRAVEL BAG CURB INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY AFTER THE CONSTRUCTION OF THE INLET.
 2. BLOCK AND GRAVEL BAG CURB INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY AFTER THE CONSTRUCTION OF THE INLET.
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 4. BLOCK AND GRAVEL BAG CURB INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY AFTER THE CONSTRUCTION OF THE INLET.

City of Colorado Springs
Stormwater Quality

3.27

Figure 3P-3
Block & Gravel Bag Curb Inlet Protection
Construction Details and Dimensions



Top View of Silt Fence Posts

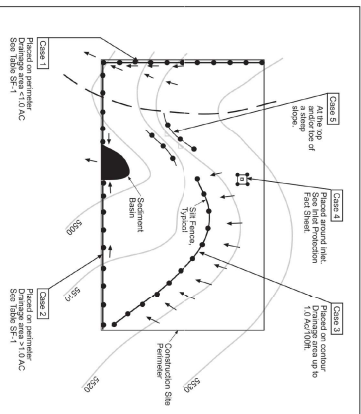
Top View of Silt Fence Posts

1. TOP VIEW OF SILT FENCE POSTS SHALL BE INSTALLED IMMEDIATELY AFTER THE CONSTRUCTION OF THE INLET.
2. TOP VIEW OF SILT FENCE POSTS SHALL BE INSTALLED IMMEDIATELY AFTER THE CONSTRUCTION OF THE INLET.
3. TOP VIEW OF SILT FENCE POSTS SHALL BE INSTALLED IMMEDIATELY AFTER THE CONSTRUCTION OF THE INLET.
4. TOP VIEW OF SILT FENCE POSTS SHALL BE INSTALLED IMMEDIATELY AFTER THE CONSTRUCTION OF THE INLET.

City of Colorado Springs
Stormwater Quality

3.28

Figure 3P-4
Silt Fence Joint Tying
Construction Details and Dimensions



RECOMMENDED ANNUAL GRASSES

Grass	Seeding Rate (lb/1000 sq ft)	Establishment Rate (lb/1000 sq ft)
1. BROME	2000	1000
2. FESCUE	2000	1000
3. KYBLUE	2000	1000
4. PERENNIAL	2000	1000
5. RYEGRASS	2000	1000
6. SETBACK	2000	1000
7. TALL FESCUE	2000	1000
8. TALL FESCUE	2000	1000
9. TALL FESCUE	2000	1000
10. TALL FESCUE	2000	1000

City of Colorado Springs
Stormwater Quality

3.29

Figure 3P-5
Silt Fence
Construction Details and Dimensions

TEMPORARY SEEDING NOTES

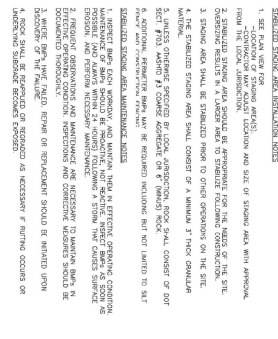
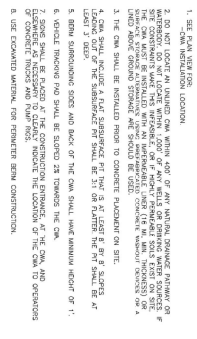
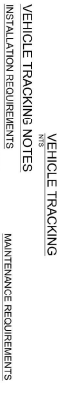
- INSTALLATION REQUIREMENTS**
1. TEMPORARY SEEDING SHALL BE INSTALLED IMMEDIATELY AFTER THE CONSTRUCTION OF THE INLET.
 2. TEMPORARY SEEDING SHALL BE INSTALLED IMMEDIATELY AFTER THE CONSTRUCTION OF THE INLET.
 3. TEMPORARY SEEDING SHALL BE INSTALLED IMMEDIATELY AFTER THE CONSTRUCTION OF THE INLET.
 4. TEMPORARY SEEDING SHALL BE INSTALLED IMMEDIATELY AFTER THE CONSTRUCTION OF THE INLET.

City of Colorado Springs
Stormwater Quality

3.47

Figure 3P-6
Temporary Seeding
Construction Details and Dimensions

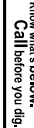
REVISION	DESCRIPTION	DATE
1	SSCW - FALCON MARKETPLACE - LOT 10 - 3RD SEP SUBMITTAL	01/28/2022
2	SSCW - FALCON MARKETPLACE - LOT 10 - 4TH SEP SUBMITTAL	01/28/2022



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Mulching (MU)

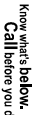
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After mulching, the bare ground surface should not be more than 10 percent exposed. Reapply mulch, as needed, to cover bare areas.

June 2012

Code File Name: H:\020441 - Super Star Car Wash\020441-01-001 (DWG) - Super Star Car Wash - Fabon, CO\Engineering\Engineering Plans\SEC\020441-01-001-ESD.dwg

EPC 2/22/22



SHEET
C2.6

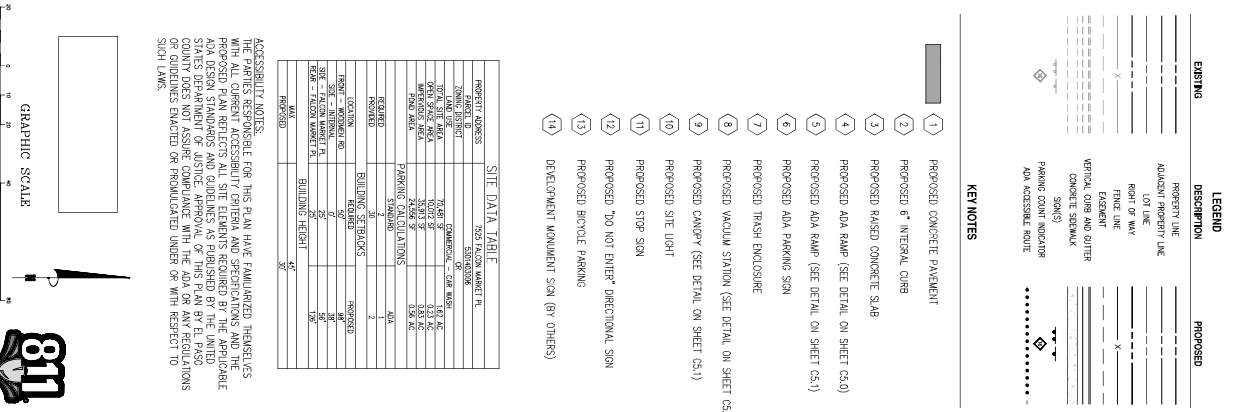
SUPER STAR CAR WASH - FALCON MARKETPLACE LOT 10
 GRADING AND EROSION CONTROL PLAN

COLORADO

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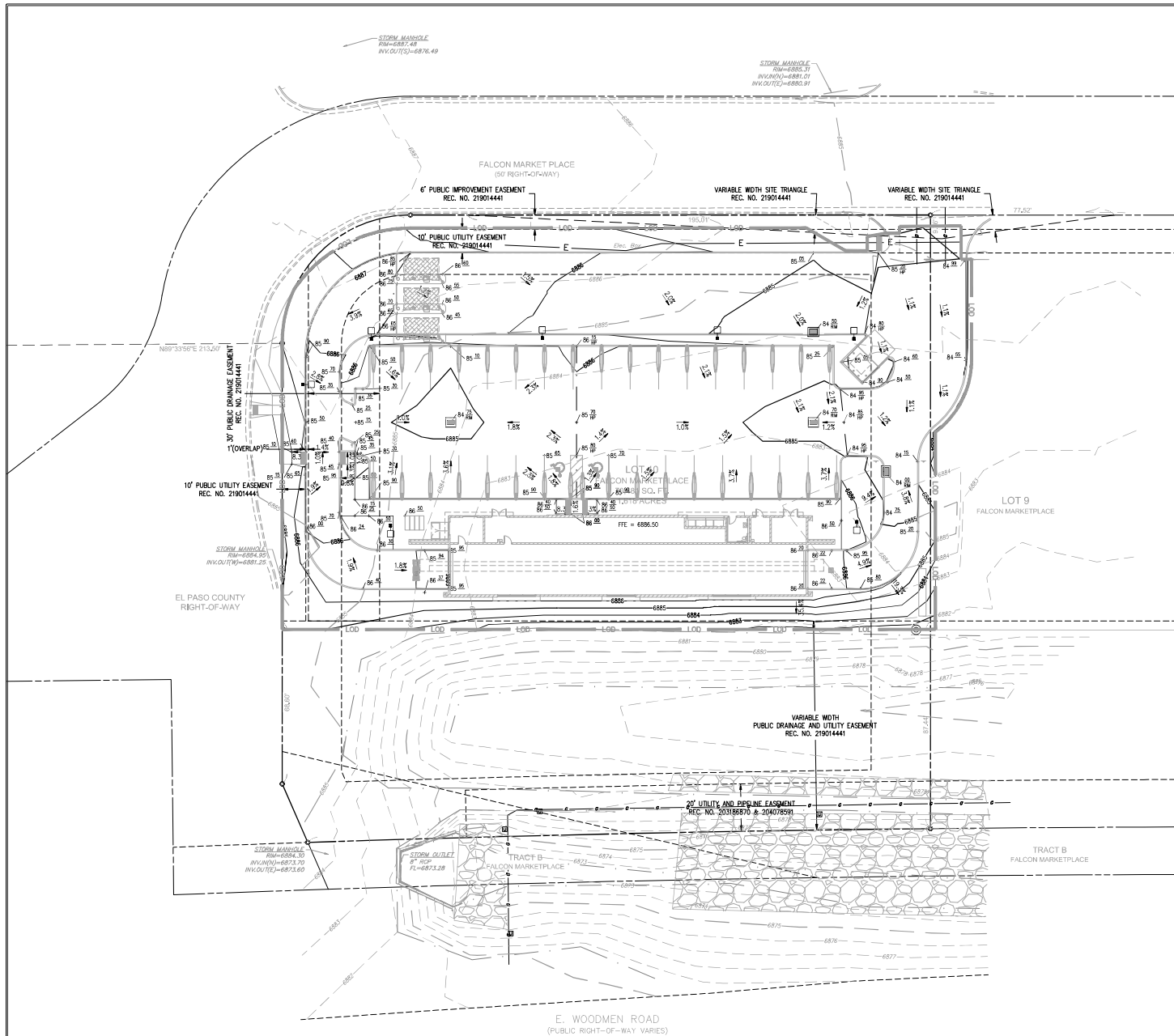


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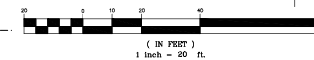


EXISTING	LEGEND DESCRIPTION	PROPOSED
---	PROPERTY LINE	---
---	ADJACENT PROPERTY LINE	---
---	LOT LINE	---
---	RIGHT OF WAY	---
---	LIMITS OF DISTURBANCE	---
---	FENCE LINE	---
---	EASEMENT	---
---	VERTICAL CURB AND GUTTER	---
---	CONCRETE SIDEWALK	---
---	MAJOR CONTOUR	---
---	MINOR CONTOUR	---
---	GRADE BREAK	---
---	SPOT ELEVATION	---
---	STORM SEWER MANHOLE	---
---	STORM SEWER INLET	---
---	TREE	---

- NOTES:
1. ALL SPOT GRADES REPRESENT FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
 2. "TO" ON SPOT GRADES REPRESENTS FINISHED GRADE BEHIND EXPOSED BACK OF CURB.

EPC 2/22/22

GRAPHIC SCALE



Bowman

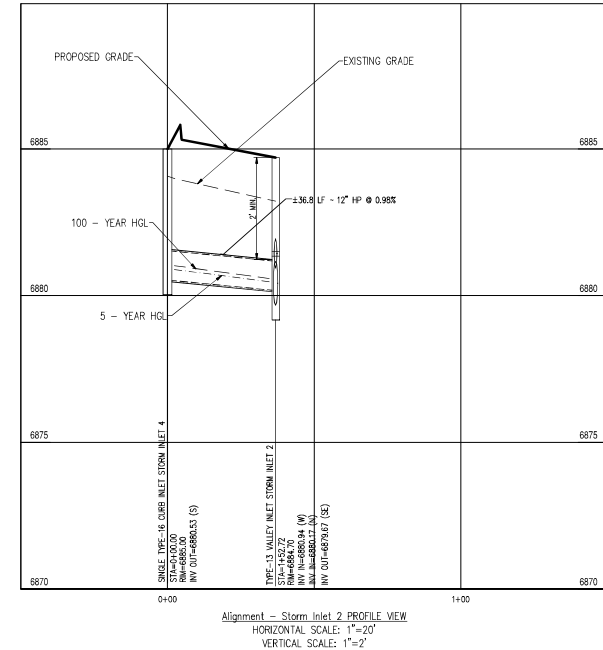
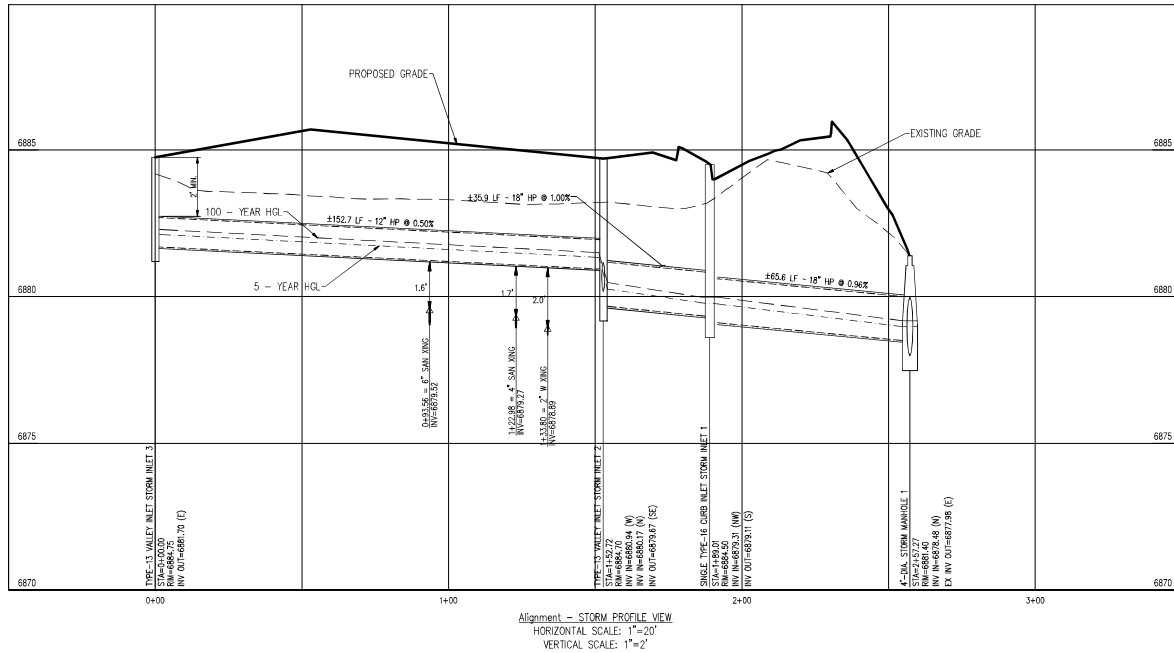
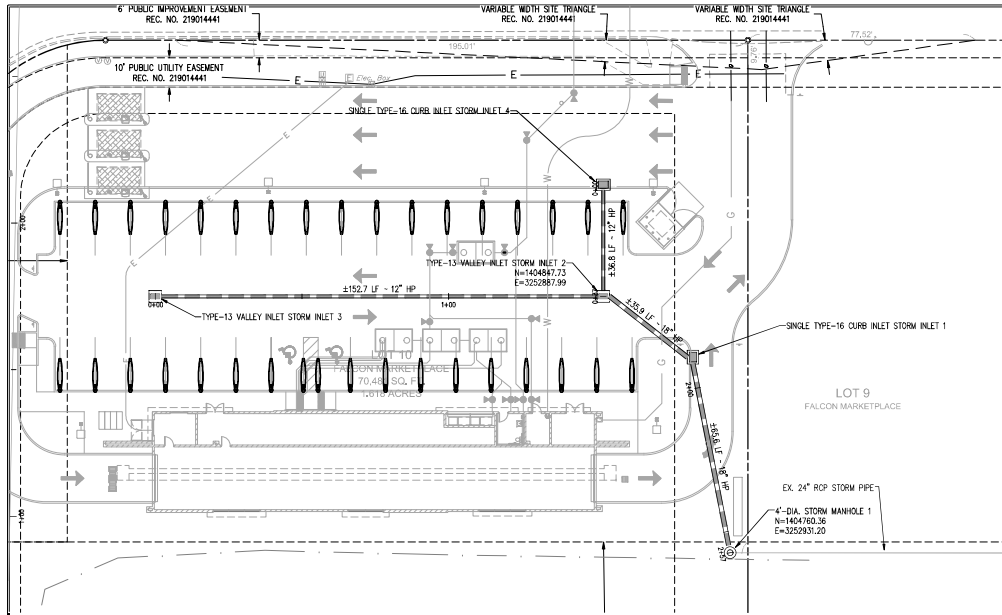
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REVISION	DESCRIPTION	DATE
1	SSM - FALCON MARKETPLACE - LOT 10 - 3RD SPD SUBMITTAL	10/23/2021
2	SSM - FALCON MARKETPLACE - LOT 10 - 4TH SPD SUBMITTAL	01/28/2022

GRADING PLAN
SUPER STAR CAR WASH - FALCON MARKETPLACE LOT 10
GRADING AND EROSION CONTROL PLAN
EL PASO COUNTY

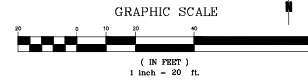


DESIGN	DRAWN	CHECK
SWK	SWK	TOP
SCALE: H: 1" = 20'		
V: 1" = 100'		
JOB No. 020441-01-001		
DATE: 02/09/2021		
SHEET		
C4.0		



NOTES:
1. RIM ELEVATION AT CURB INLETS ARE FLOW LINE ELEVATION

EPC 2/22/22



811
Know what's below.
Call before you dig.

EXISTING	LEGEND	PROPOSED
	PROPERTY LINE	
	ADJACENT PROPERTY LINE	
	LOT LINE	
	RIGHT OF WAY	
	EASEMENT	
	VERTICAL CURB AND GUTTER	
	CONCRETE SIDEWALK	
	WATER LINE	
	WATER METER	
	WATER VALVE	
	FIRE HYDRANT	
	SANITARY LINE	
	SANITARY CLEANOUT	
	SANITARY MANHOLE	
	STORM SEWER PIPE	
	STORM SEWER MANHOLE	
	STORM SEWER INLET	
	STORM SEWER FLARED END SECTION	
	STORM SEWER HEADWALL	
	UNDERGROUND ELECTRIC	
	STREET LIGHT	
	TELECOM SERVICE	
	NATURAL GAS SERVICE	

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Lakewood, CO 80401
Phone: (303) 840-2900
www.bowmanengineering.com

REVISION	DESCRIPTION	DATE
1	SSM - FALCON MARKETPLACE - LOT 10 - 3RD SPP SUBMITTAL	10/23/2021
2	SSM - FALCON MARKETPLACE - LOT 10 - 4TH SPP SUBMITTAL	01/28/2022

STORM PLAN & PROFILE

SUPER STAR CAR WASH - FALCON MARKETPLACE LOT 10

GRADING AND EROSION CONTROL PLAN

COLORADO

EL PASO COUNTY

DESIGN	DRAWN	CHECKED
SWK	SWK	TOP

SCALE: H: 1" = 20'
V: 1" = 2'

JOB No. 020441-01-001

DATE: 02/09/2021

SHEET
C5.0