

SHORETTE DETACHED GARAGE

ADD26380
RR-5
PLAT - 5946



This parcel is in a low/moderate/high intensity fire risk area. Please reach out to the local fire district regarding recommendations for compliance with the WRC code.

APPROVED Plan Review

07/22/2026 9:42:25 AM
dsdmaes

EPC Planning & Community
Development Department



ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT OBLIVATE THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATION

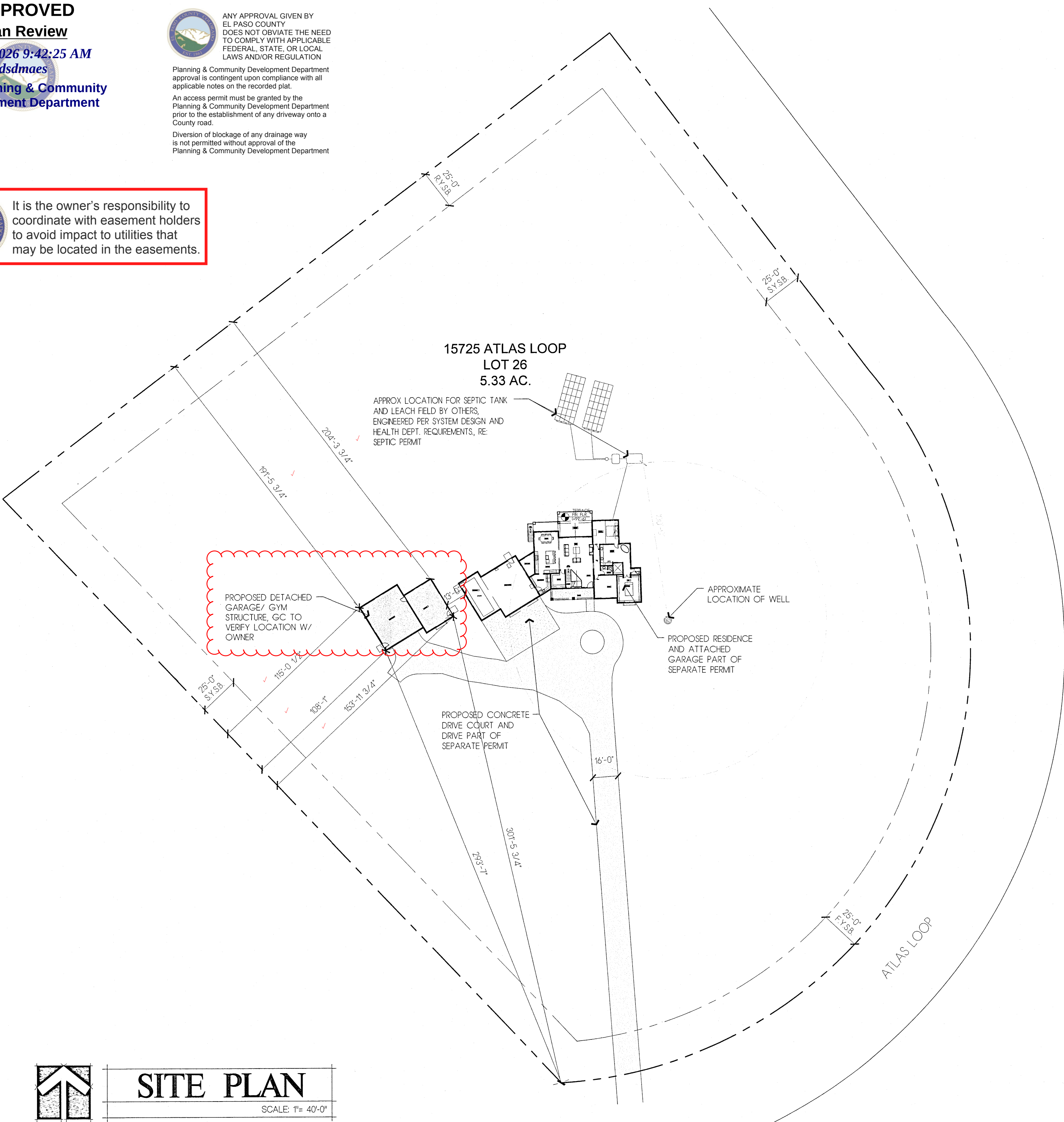
Planning & Community Development Department approval is contingent upon compliance with all applicable notes on the recorded plat.

An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road.

Division of blockage of any drainage way is not permitted without approval of the Planning & Community Development Department



It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.



GENERAL NOTES

1. Applicable Codes:
 - 2023 PIKES PEAK REGIONAL BUILDING CODE (PPRBC)
 - 2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
 - 2021 INTERNATIONAL MECHANICAL CODE (IMC)
 - 2021 INTERNATIONAL PLUMBING CODE (IPC)
 - 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 - 2023 NATIONAL ELECTRICAL CODE (NEC)
 - 2021 INTERNATIONAL FUEL GAS CODE (IFGC)
2. REFERENCE, DISCREPANCIES AND OMISSIONS: THESE NOTES SHALL APPLY TO ALL DRAWINGS UNLESS OTHERWISE SHOWN OR NOTED. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND THEY SHALL APPLY GENERALLY THROUGHOUT SIMILAR CONDITIONS. IN THE EVENT OF OMISSIONS, THEIR CONSTRUCTION SHALL BE SIMILAR TO CONDITIONS SHOWN AND DETAILED.
3. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE RULES AND REGULATIONS OF THE APPLICABLE CODES AND ALL LOCAL CODES AND ORDINANCES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
4. DIMENSIONS:
 - A. DO NOT SCALE THESE DRAWINGS.
 - B. CONTRACTOR TO VERIFY OVERALL BUILDING LAYOUT DIMENSIONS PRIOR TO CONSTRUCTION.
 - C. UNLESS OTHERWISE INDICATED, DIMENSIONS SHOWN ARE TO FACE OF CONCRETE, FACE MASONRY, FACE OF STUD LINES; OR, IN CASE OF STEEL CONSTRUCTION, TO THE CENTER LINE OF MEMBER.
5. UPON COMPLETION OF EACH SUB-CONTRACTOR'S WORK, REMOVE ALL WASTE, DEBRIS, EXCESS MATERIALS, TOOLS AND EQUIPMENT FROM THE PREMISES. LEAVE ENTIRE STRUCTURE AND INVOLVED PORTIONS OF THE SITE IN A NEAT, CLEAN AND ACCEPTABLE CONDITION.
6. ALL ROOFING AND FLASHING MATERIALS SHALL BE INSTALLED TO FORM A WATERPROOF SYSTEM.
7. INSULATE TO CONFORM WITH CURRENT ENERGY STANDARDS.
8. LATHING, PLASTERING AND DRYWALL CONSTRUCTION, SHALL BE IN FULL ACCORDANCE WITH THE HANDBOOK OF RECOMMENDED SPECIFICATIONS FOR LATHING, FURRING AND PLASTERING OF THE NATIONAL FOUNDATION FOR LATHING AND PLASTERING, INC.

GENERAL SITE NOTES

1. VERIFY EXACT LOCATION & FINISH FLOOR HEIGHT OF RESIDENCE WITH CONTRACTOR AND ARCHITECT PRIOR TO CONSTRUCTION.
2. PROVIDE 4" THK. CONCRETE PAD FOR GROUND MOUNTED H.V.A.C. EQUIPMENT. VERIFY SIZE & LOCATION WITH MECH. CONTRACTOR.
3. SLOPE GRADE MINIMUM 10% AWAY FROM RESIDENCE TO DRAIN. OVER FIRST 10'
4. PROVIDE UNDERGROUND UTILITIES TO RESIDENCE PER SERVICING AGENCY REQUIREMENTS
5. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH NATIVE GRASSES AS SOON AS POSSIBLE.
6. CONTRACTOR SHALL FIELD VERIFY AND CONFIRM STAKE OUT OF BUILDING CORNERS PRIOR TO EXCAVATION AND CONSTRUCTION.
7. LOCATION OF NEW AND EXISTING UTILITIES TO BE FIELD VERIFIED.
8. ALL EASEMENTS, SETBACKS, GRADES AND HEIGHTS SHALL BE FIELD VERIFIED BY TITLE SEARCH AND CONTRACTOR.
9. USE EROSION CONTROL FENCE DURING EXCAVATION TO STABILIZE AND PREVENT THE EROSION OF SOILS.

PROJECT TEAM

OWNER

CORY & EMILY SHORETTE
9818 MORNING VISTA DR.
PEYTON, COLORADO 80831

CONTRACTOR

CHARLES ROGERS
RETHINK ENTERPRISE
62495 US HIGHWAY 40, GRANBY, CO
(719) 445-6695
(719) 661-9162
CROGERS@RETHINKENTERPRISE.COM

ARCHITECT

BUCHER DESIGN STUDIO, INC.
BRIAN K. BUCHER, AIA, NCARB
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COLORADO SPRINGS, CO
(719) 484-0480

HVAC DESIGN

ROGERS HEATING AND COOLING
(719) 339-7949

STRUCTURAL / FOUNDATION ENGINEERS

MIBAR ENGINEERING LTD.
MOLLY TOLLE
6825 SILVER POND HEIGHTS, SUITE 101
COLORADO SPRINGS, CO 80908
(719) 487-0812
MSTOLLE@MIBARLTD.COM

SHEET INDEX

SHT. # DESCRIPTION

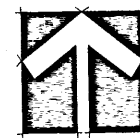
A0	COVER SHEET/ SITE PLAN
A1.1	MAIN FLOOR PLAN
A2.1	EXTERIOR ELEVATIONS
A3.1	ROOF PLAN
A4.1	BUILDING SECTIONS

S1.1	FRAMING PLAN
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PROJECT DATA

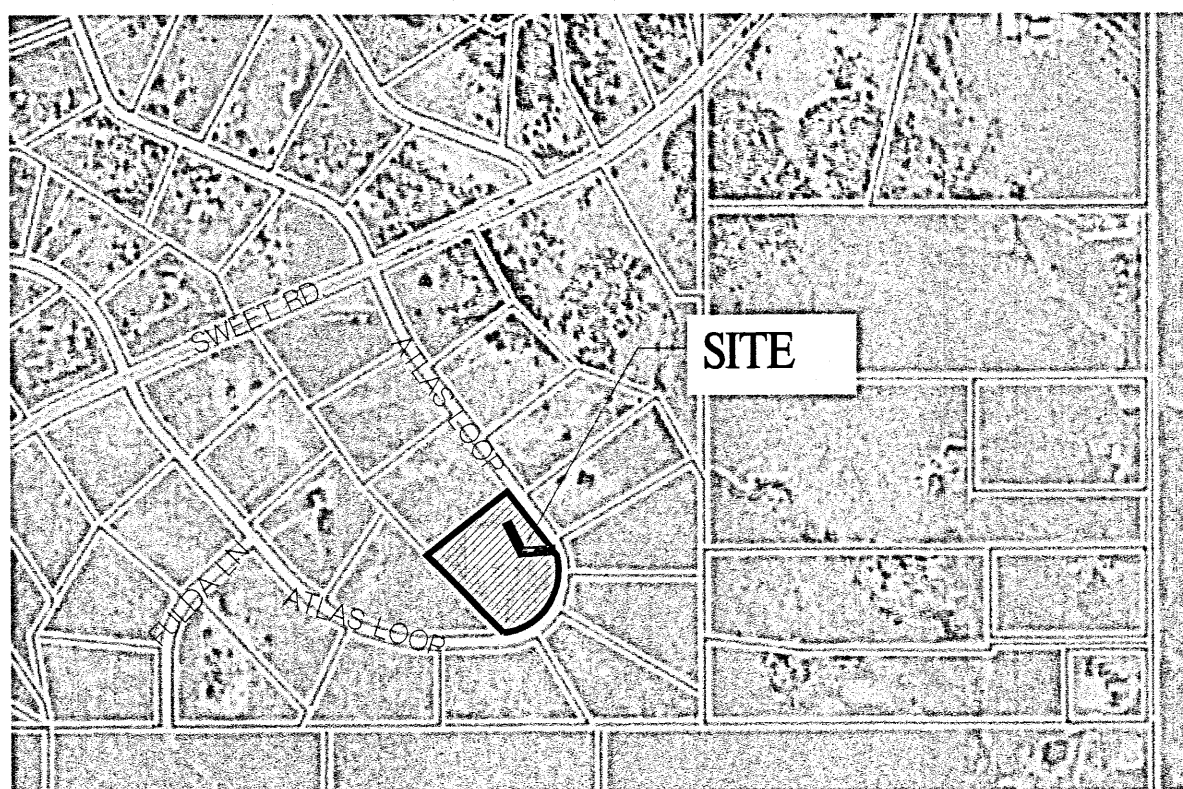
PROJECT ADDRESS:	15725 ATLAS LOOP PEYTON, COLORADO 80831
TAX PARCEL NO:	4125008006
LEGAL DESCRIPTION:	LOT 26 TIBORIA ESTATES FIL NO. 2
JURISDICTION:	EL PASO COUNTY
ZONE:	RR-5
PROJECT DESCRIPTION:	PROPOSED DETACHED GARAGE **RESIDENCE PART OF SEPARATE PERMIT**

AREA CALCULATIONS:	
SITE AREA:	232,175 SF. 5.33 AC
PROJECT AREA:	GARAGE 898 SF. WORKSHOP 560 SF.
TOTAL PROJECT AREA:	1,458 SF.
BLDG. FOOTPRINT:	DETACHED GARAGE 1,458 SF.
LOT COVERAGE:	1,458 SF/ 232,175 SF. = 6%

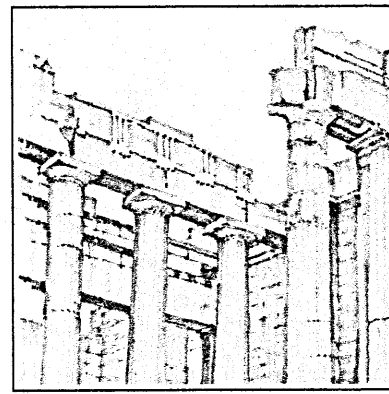


VICINITY MAP

NOT TO SCALE



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BUCHER
DESIGNSTUDIO
architecture • planning

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Colorado Springs, CO 80919
(719) 484-0480

Brian K. Bucher, AIA
Architect
CO license no. C-4889

A PROPOSED
PLAN
FOR THE

SHORETTE
DETACHED
GARAGE

15725 ATLAS LOOP
PEYTON, CO.

Sheet Title:

COVER SHEET/
SITE PLAN

Drawing Status:

CD SET

Revisions:

No. Description By Date

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6/24/26

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Released for Permit

JUN 30 2026

DC
RBD Construction