

August 14, 2026
Project No: SF2420

Jen Uhler
El Paso County
Planning and Community Development
2880 International Circle, Suite 110,
Colorado Springs, CO 80910

Re: **Cimarron Hills Southeast Mixed-Use Filing No. 1**
Final Plat Resubmittal
El Paso County, Colorado

Dear Jen,

This letter serves to notify you that all submittal documents have been revised in accordance with El Paso County's latest review of the Cimarron Hills Southeast Mixed-Use Filing No. 1 Final Plat. Please forward this letter to all parties involved with the review and approval of the Final Plat.

Response to Comments

The following responses address the comments noted in the referenced review:

Plat Comments

1. Comment #1. Submit Subdivision Improvement Agreement with next submittal.
Response: SIA has been included with this submittal.
2. Comment#2. Change the road impact fee resolution number in note 17.
Response: Revised
3. Comment#3. Submit the Detention Maintenance Agreement with next submittal.
Response: DMA has been included with this submittal.
4. Comment#4. Update note 22 with updated soils and geology report and add lots or areas with seasonally high groundwater.
Response: Note has been included to state the areas with seasonally high groundwater.
5. Comment#5. Comment on note 25 is a non comment, it just says see floodplain comments and there is no specific floodplain comment about this note.
Response: Notes have been revised per Floodplain Administrator comments.
6. Comment#6. The comment is to fill in the blanks but the floodplain comment says delete note 26 and replace with an attached example.
Response: Note 26 has been removed per Floodplain Administrator and replaced with a new note as requested.
7. Comment#7. Break note 29 into two separate notes.
Response: Revised and updated to reflect existing avigation easement.

8. Comment#8. Green comments to follow comments from floodplain administrator in terms of labeling no build areas and hatching flood plain.

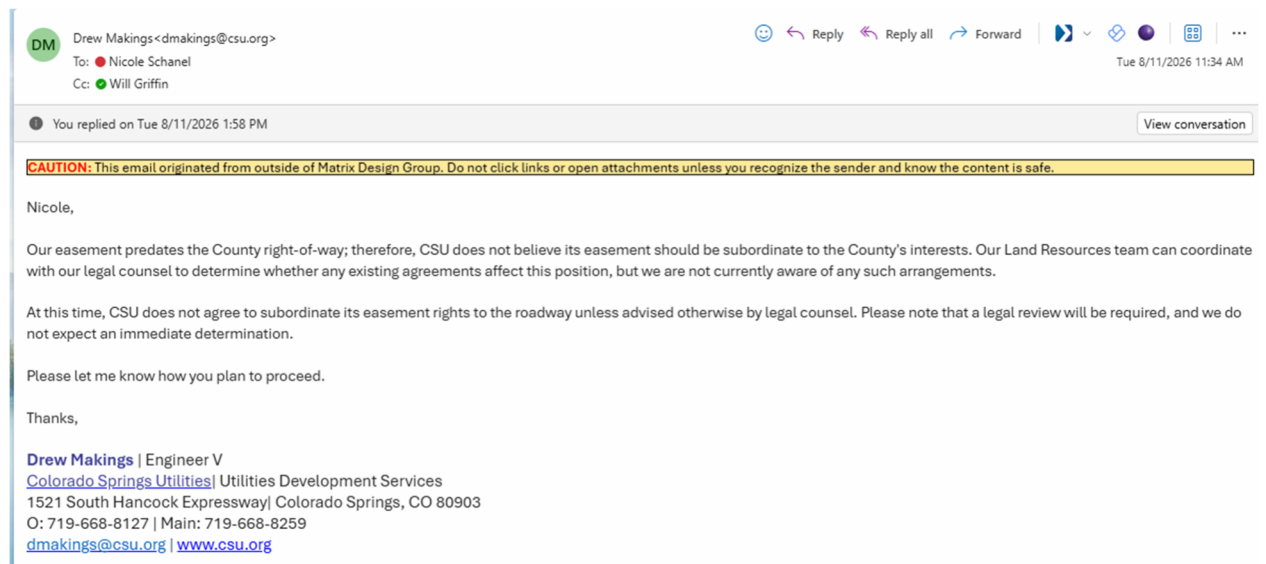
Response: Floodplain areas have been hatched and notes have been added as requested.

9. Comment#9. Unresolved ROW dedication along Peterson road.

Response: Per previous plats and confirmation email received from El Paso County, the Peterson Road ROW is 100', as shown on the plat. Therefore, no ROW dedication is required.

10. Comment#10. Unresolved, Easements within ROW need to be vacated or made Subordinate to County ROW.

Response: Per CSU response below, they are unwilling to make their easement subordinate to County ROW. In meeting with EPC, they believed that this item could continue to be resolved without holding up Planning Commission or Board of County Commissioners.



11. Comment#11. Delete note 26 and replace with something more along the lines of attached example.

Response: This has been completed as requested.

12. Comment#12. Designate the floodplain area as a no build easement, show the floodplain as hatched and label it No build and no storage materials per RBC 313.18.5.

Response: Revised.

13. Comment#13. Remove the note "Use: Future Development" from the no build floodplain area.

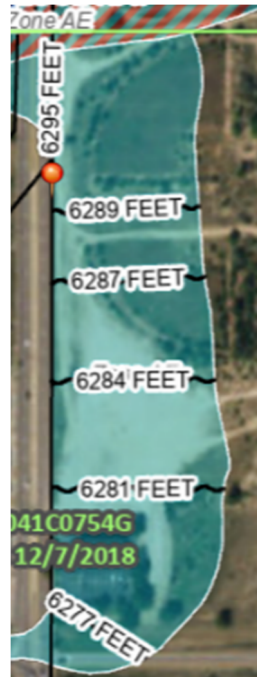
Response: Revised.

14. Comment #14. Include the Floodplain Hatch in the legend.

Response: Revised.

15. Comment#15. Floodplain Line work looks off consider adjusting according to attached screenshot.

Response: Floodplain linework was brought in directly from FEMA and has been confirmed as correct. The current FIRMette also shows the linework matching this plat.



If you have any questions or require additional information, please feel free to contact me at your earliest convenience.

Sincerely,

Alex Aguilar

Title: Survey Operations Manager

Email: Alex.aguilar@matrixdesigngroup.com