

**CIMARRON HILLS SOUTHEAST MIXED USE
FILING NO. 1
WASTEWATER DISPOSAL REPORT**

Prepared for:

JOVENCHI-II
4799 N. Academy Blvd.
Colorado Springs, CO 80918
(719) 491-2158

Marathon Holdings LLP
4779 N. Academy Blvd.
Colorado Springs, CO 80918-4255

Prepared by:



2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
(719) 575-0100
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Nicole Schanel, PE
Registered Professional Engineer
State of Colorado No. 52434

August 2026

Project No. 24.1382.003

EPC Project No. SF2420

INTRODUCTION:

The Cimarron Hills Southeast Mixed Use Filing No.1 subdivision is comprised of approximately 32.68 platted acres in the Southwest $\frac{1}{4}$ of Section 8, Township 11 South, Range 65 West of the 6th P.M. in the County of El Paso, State of Colorado. More generally, the site is located south of East Fork Sand Creek and west of resident's homes to the east of Peterson Rd and to the north of U.S. Highway 24. The proposed development is to be subdivided into one (1) lot and three (3) tracts. The site is currently zoned CR (Commercial Regional) and will be rezoned under separate application, as needed.

WASTEWATER COLLECTION:

Service Provider:

The proposed development is within the Cherokee Metropolitan District's established legal boundary and therefore is eligible for service connections. Cherokee Metropolitan District provided a formal Letter of Commitment to provide sewer service for the development on April 14, 2026.

Connection Point:

The proposed system will connect to the existing Cherokee Metropolitan District's existing sanitary sewer system that is located near the southwestern corner of the site (see Exhibit B).

Estimated Demand:

The multi-family residential development proposed with Lot 1 will require wastewater disposal for 301 multi-family units, and associated amenities. Cherokee Metro District requested a potential layout for Tracts A & B, though these are not anticipated to be developed at this time (Exhibit C). As such, the total estimated use (all residential) is 442 units. Cherokee Metro District is using a conservative 0% consumptive use of domestic water, equating to a **wastewater demand of 88.4 AF/yr or 0.079 MGD (78,853 gpd)**.

Wastewater Capacity:

Per the attached Commitment Letter provided by the District (Exhibit A), the "wastewater collection and treatment infrastructure is capable of treating the maximum possible volume of wastewater generated from this development". This site represents approximately **3.4%** of Cherokee Metro District's **2.32 MGD of capacity**.

SUMMARY:

The proposed subdivision will obtain sewer service from Cherokee Metropolitan District. The applicant has obtained a wastewater disposal commitment for the current and potential future residential units, irrigation, and associated amenities. This sewer service commitment allows for a maximum disposal of 88.4 AF/yr to Cherokee Metropolitan District's wastewater collection system.

Overall, the proposed Cimarron Hills Southeast Mixed Use Filing No.1 project has been approved to distribute wastewater to Cherokee Metro Districts disposal as referenced in the sewer commitment letter.

APPENDIX A

CHEROKEE METROPOLITAN DISTRICT WATER AND SEWER SERVICE COMMITMENT LETTER



CHEROKEE METROPOLITAN DISTRICT

6250 Palmer Park Blvd., Colorado Springs, CO 80915-2842

Telephone: (719) 597-5080 Fax: (719) 597-5145

April 14th, 2026

TO: John Venezia Estate, Jovenchi II and Marathon Holdings LLP

4779 N. Academy Blvd.

Colorado Springs, CO 80918-4225

SUBJECT: Water and Sewer Service Commitment for “Cimarron Hills SE Mixed Use”

Dear Applicants

As requested, this document will serve as a formal Letter of Commitment from the Cherokee Metropolitan District to provide municipal water and sewer services for a new **Mixed Use development** located at County Parcels of Record **5408007001, 5408007004 & 5408007008**. The proposed location for this development is located within the District's established legal boundary and therefore is eligible for service connections from the District.

Cherokee Metropolitan District staff, along with the developer/owner/applicant have determined that the following will be the total water demand required by this development:

Type of Use	Demand (AF/yr)
Recreation	.06 (pool)
Residential	88.4
Irrigation	10.7
Total	99.16

Based on a conservatively low 0% consumptive use of domestic water, the development's expected wastewater produced per day represents 3.4% of CMD's wastewater capacity. This consumptive use is calculated for the purposes of ensuring CMD wastewater collection and treatment infrastructure is capable of treating the maximum possible volume of wastewater generated from this development. This is not intended in any way to limit consumptive uses of potable water on the subject property.

This water commitment is hereby made exclusively for this specific development project at this site within the District. To confirm this commitment, you must provide the District with a copy of the final plat approval from El Paso County Development Services within 12 months of the date of this letter. Otherwise, the District may use this allocation for other developments requesting a water commitment.

If the subject project is re-platted, you must submit a new commitment request prior to submitting the re-plat to El Paso County, which may result in a recalculation of the water demand for the project.

If I may be of further assistance, please contact me at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kevin Brown', written over a horizontal line.

Kevin Brown
District Manager
719-597-5080

APPENDIX B

SANITARY SEWER PLANS

CIMARRON HILLS SOUTHEAST MIXED USE FILING NO. 1
EL PASO COUNTY, COLORADO
SANITARY SEWER PLANS
JULY 2026

SHEET INDEX

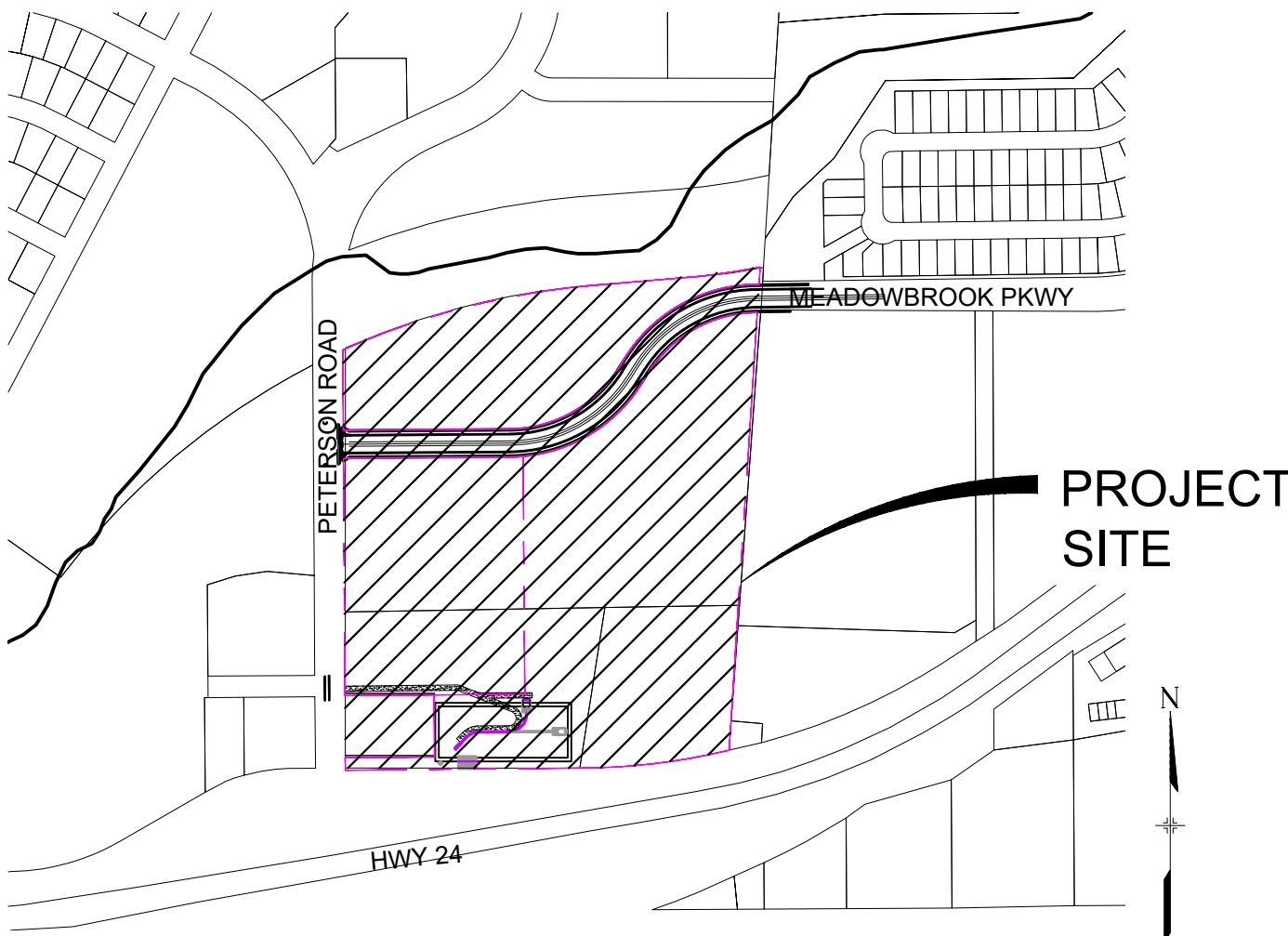
TS01	TITLE SHEET
IS01	INDEX SHEET
SS01	SANITARY SEWER PLAN & PROFILE

THE LOCATIONS OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.

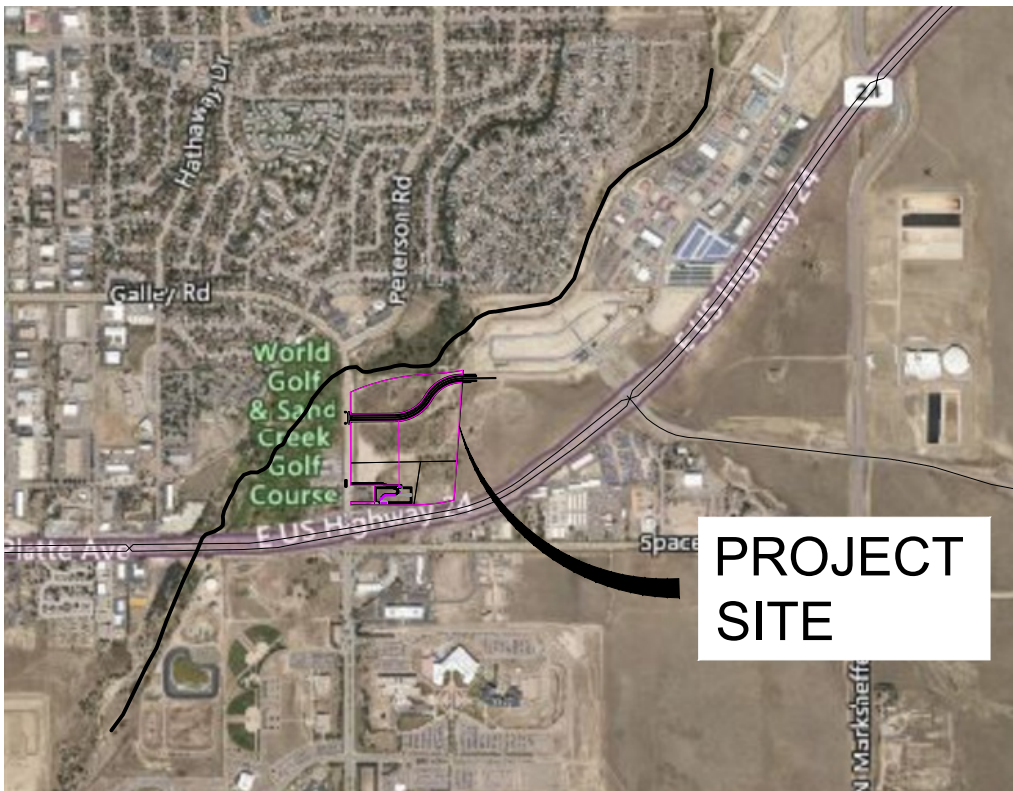


AGENCIES

SERVICE	ENTITY	P.O.C.
OWNER:	JOVENCHI-I LLC 4779 N. ACADEMY BLVD. COLORADO SPRINGS, CO 80918	(719) 491-2158
CONTRACTOR:	CONSTRUCTION MANAGEMENT & CONSULTING, INC P.O. BOX 7207 COLORADO SPRINGS, CO 80933	(719) 528-5999
CIVIL ENGINEER:	MATRIX DESIGN GROUP 2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920	(719) 575-0100
GAS:	COLORADO SPRINGS UTILITIES 111 SOUTH CASCADE AVENUE COLORADO SPRINGS, CO 80903	(719) 448-4800
ELECTRIC:	COLORADO SPRINGS UTILITIES 111 SOUTH CASCADE AVENUE COLORADO SPRINGS, CO 80903	(719) 448-4800
TELEPHONE COMPANY:	XFINITY/COMCAST 5910 BARNES ROAD COLORADO SPRINGS, CO 80922	(800) 934-6489
FIRE DEPARTMENT:	CIMARRON HILLS FIRE DEPARTMENT 1885 PETERSON RD. COLORADO SPRINGS, COLORADO, 80915	(719) 591-0960
WATER RESOURCES:	WASTEWATER: CHEROKEE METROPOLITAN DISTRICT 6250 PALMER PARK BOULEVARD COLORADO SPRINGS, COLORADO 80915	(719) 597-5080
	WATER: CHEROKEE METROPOLITAN DISTRICT 6250 PALMER PARK BOULEVARD COLORADO SPRINGS, COLORADO 80915	(719) 597-5080
SURVEYOR:	MATRIX DESIGN GROUP 2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, COLORADO 80920	(719) 575-0100



SITE MAP
1"=500'



VICINITY MAP
N.T.S.

WASTEWATER PLAN APPROVAL

THE CHEROKEE METROPOLITAN DISTRICT RECOGNIZES THE DESIGN PROFESSIONAL OF RECORD AS THE LICENSED ENGINEER HAVING RESPONSIBILITY FOR THE SUBMITTED DESIGN AND THE DISTRICT HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY. AS SUCH, THE APPROVAL GRANTED HEREIN IS FOR THE CONSTRUCTION OF THE FACILITIES AS REPRESENTED ON THESE DOCUMENTS. APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE BELOW AND RESUBMITAL OF THESE PLANS FOR REVIEW AND APPROVAL IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD.

APPROVED BY: _____ DATE: _____

DESIGN ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

BY: _____ DATE: _____

DREW DEFENDORF, PE # 65470
FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.

OWNER/DEVELOPER'S ACKNOWLEDGEMENT:

A.) THE UNDERSIGNED OWNER/DEVELOPER AGREES THAT THEY SHALL, AT THEIR EXPENSE, BE SOLELY RESPONSIBLE FOR 1) THE INSTALLATION OF THE PROPOSED UTILITY INFRASTRUCTURE IN ACCORDANCE WITH THESE PLANS, AND 2) ALL DAMAGES AND DEFECTS ARISING FROM, OR RELATED TO THE INSTALLATION, MAINTENANCE OR OPERATION OF THE PUBLIC UTILITY INFRASTRUCTURE INDICATED IN THESE PLANS FROM THE DATE OF PRELIMINARY ACCEPTANCE FOR A PERIOD OF TWO YEARS OR UNTIL FINAL ACCEPTANCE, WHICHEVER IS LATER.

B.) THE UNDERSIGNED UNDERSTANDS THAT ALL PRIVATE UTILITY INFRASTRUCTURE, AS INDICATED ON THESE PLANS, SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE MAINTAINED BY THE OWNER, AT THEIR EXPENSE.

JOVENCHI I LLC

NAME OF DEVELOPER: _____

DATE: _____

AUTHORIZED SIGNATURE: _____

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/ OR ACCURACY OF THIS DOCUMENT, FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

JOSHUA PALMER, P.E.
COUNTY ENGINEER / ECM ADMINISTRATOR

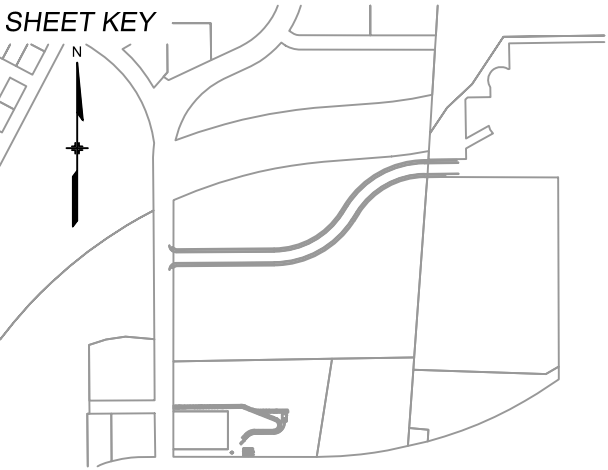
DATE: _____

LEGEND

— W — W — W —	VALVE (PROPOSED)
— W — W — W — ◆	VALVE (EXISTING)
— W — W — W — ◇	BLOWOFF (PROPOSED)
— W — W — W — ◇	BLOWOFF (EXISTING)
— W — W — W —]	PLUG (PROPOSED)
— W — W — W —]	PLUG (EXISTING)
— W — W — W —]	PROPOSED FIRE HYDRANT
— W — W — W —]	ROW/PROPERTY LINE
— W — W — W —]	CURB LINE
— W — W — W —]	EXISTING GAS MAIN
— W — W — W —]	EXISTING COMMUNICATIONS
— W — W — W —]	EXISTING WATER
— W — W — W —]	PROPOSED WATER
— W — W — W —]	EXISTING STORM DRAIN
— W — W — W —]	PROPOSED STORM DRAIN
— W — W — W —]	EXISTING SAN. SEWER
— W — W — W —]	PROPOSED SAN. SEWER
— W — W — W —]	EXISTING MANHOLE
— W — W — W —]	PROPOSED MANHOLE
— W — W — W —]	PROPOSED SAN. SERVICE
— W — W — W —]	PROPOSED WATER SERVICE

ABBREVIATIONS

ACT	ACTUAL	INV	INVERT
ARV	AIR RELEASE VALVE	LT	LEFT OF CENTER LINE
ASSY	ASSEMBLY	MIN	MINIMUM
BFV	BUTTERFLY VALVE	MJ	MECHANICAL JOINT
BOP	BOTTOM OF PIPE	N.S.E.W	NORTH SOUTH EAST WEST
BOV	BLOWOFF ASSEMBLY AND VALVE	PL	PROPERTY LINE
CMP	CORRUGATED METAL PIPE	PP	POWER POLE
CPLG.	COUPLING	PSI	POUNDS PER SQUARE INCH
(INS.)	(INSULATING)	PVC	POLYVINYL CHLORIDE PIPE
(RED.)	(REDUCING)	PVT	PRIVATE
(STR.)	(STRAIGHT)	RCF	REINFORCED CONCRETE PIPE
CRK	CONCRETE REVERSE ANCHOR	RED	REDUCER
CTRB	CONCRETE THRUST REACTION BLOCK	RSNTS	MJ RESTRAINT (i.e. MEGALUG)
DEFL	DEFLECT	RT	RIGHT OF CENTER LINE
DIP	DUCTILE IRON PIPE	SJ	SLIP JOINT
EL	ELEVATION	SS	SANITARY SEWER
EX	EXISTING	STA	STATION
FLG	FLANGE	STS	STORM SEWER
FH	FIRE HYDRANT	TOP	TOP OF PIPE
GPM	GALLONS PER MINUTE	TYP	TYPICAL
GRD BRK	V.P.I. GRADE BREAK	WL	WATER LINE
HYD ASSY	INCLUDES FIRE HYDRANT, LATERAL, VALVE, TIE RODS, AND REVERSE ANCHOR.		



BENCHMARK:
NGS MONUMENT R76, BEING MONUMENTED BY A STANDARD U.S. COAST AND GEODETIC SURVEY BENCHMARK DISK SET IN THE TOP OF CONCRETE POST, STAMPED R 76 1935. ELEVATION WAS ESTABLISHED BY G.P.S OBSERVATIONS AND IS REFERENCED TO NAVD88. ELEVATION = 6,289.86 FEET.

BASIS OF BEARING:
REFERENCED TO THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST, BEING MONUMENTED AT THE SOUTHWEST CORNER OF SECTION 8 BY A 3-1/4" ALUMINUM CAP IN RANGEBOX "LS 22573", AND AT THE WEST QUARTER CORNER OF SECTION 8 BY A 3-1/4" BRASS CAP STAMPED "BLM US DEPT INTERIOR", ASSUMED TO BEAR NORTH 00°23'14" WEST, A DISTANCE OF 2,641.77 FEET.

PREPARED BY:



SEAL

PRELIMINARY
THIS DRAWING HAS NOT
BEEN APPROVED BY
GOVERNING AGENCIES AND
IS SUBJECT TO CHANGE

FOR AND ON BEHALF OF
MATRIX DESIGN GROUP, INC.
PROJECT No. 24.1382.003

DESIGNED BY: MDF
DRAWN BY: WCG
CHECKED BY: DAD
SCALE: HORIZ. N/A
VERT. N/A
DATE ISSUED: JULY 2026
DRAWING No. 1 OF 3
TS01

CIMARRON HILLS SOUTHEAST MIXED USE FILING NO. 1

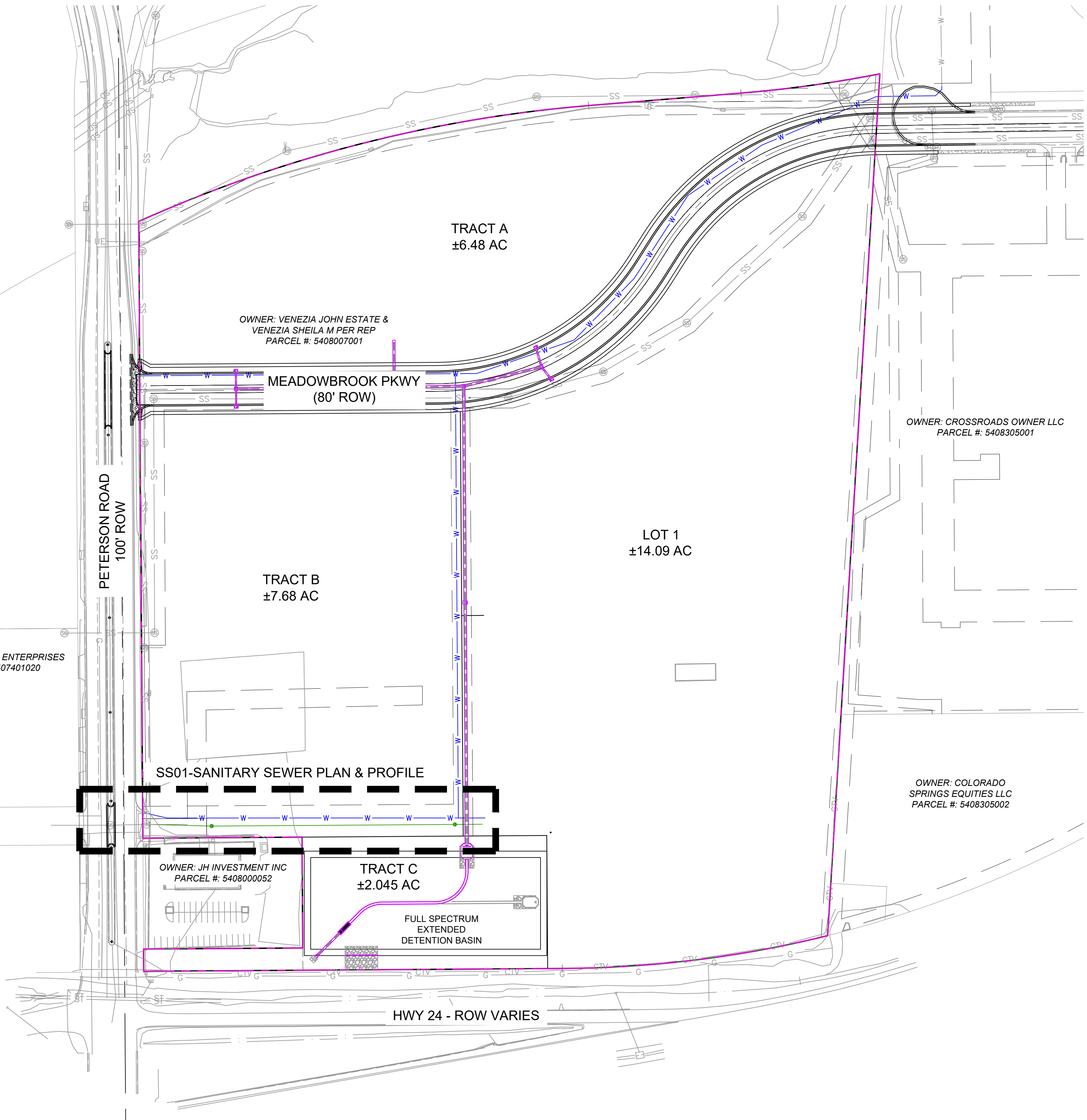
SANITARY SEWER PLANS

TITLE SHEET

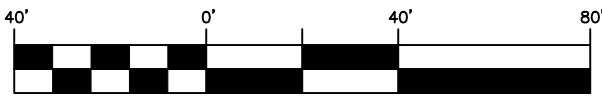
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CTB FILE: Matrix.ctb
PLOT DATE: June 26, 2026 10:57:40 AM
THIS DRAWING IS CURRENT AS OF PLOT DATE AND MAY BE SUBJECT TO CHANGE.



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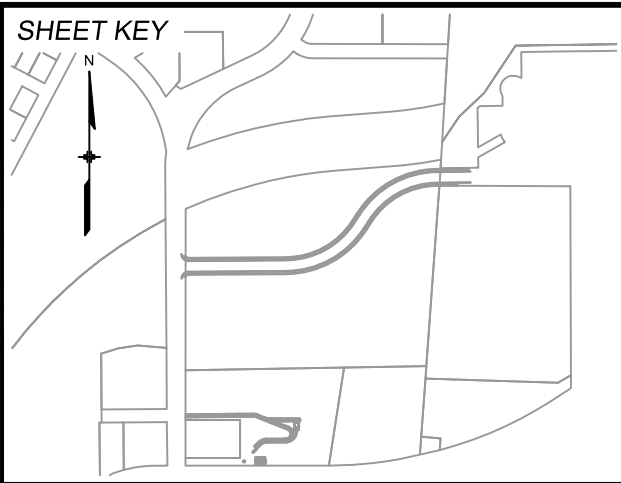


GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

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No.	DATE	DESCRIPTION	BY
REVISIONS			
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PROJECT No. 24.1382.003

CIMARRON HILLS SOUTHEAST MIXED USE FILING NO. 1

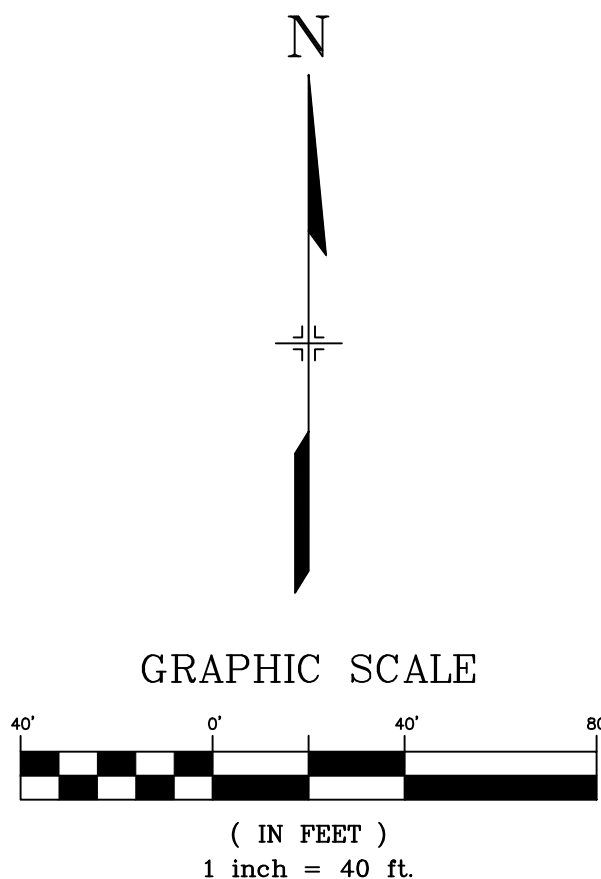
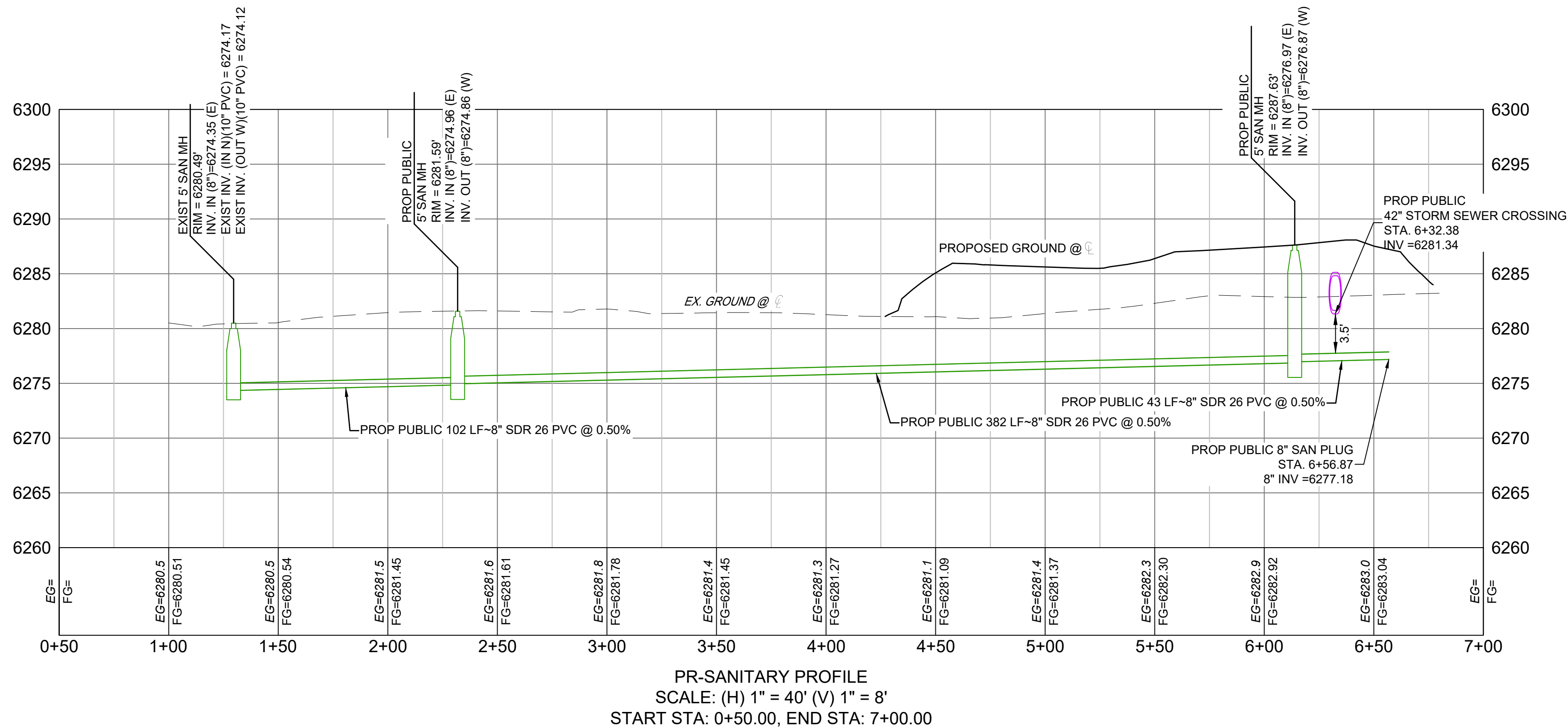
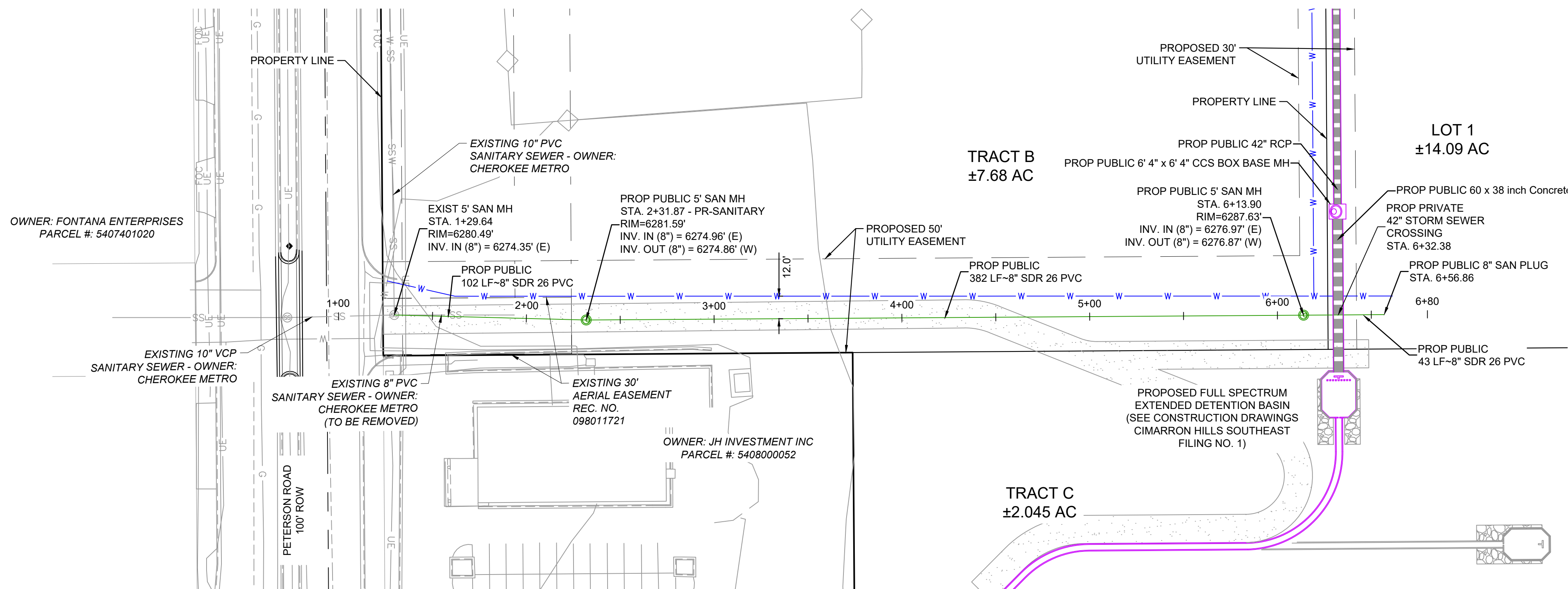
SANITARY SEWER PLANS

INDEX SHEET

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CHECKED BY:	DAD	VERT.	N/A	SHEET	2 OF 3
					IS01



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Call before you dig.



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APPENDIX C

SUBDIVISION CONCEPT PLAN

S:\24.1382.003 Peterson Road and Meadowbrook Parkway Overall Development\500 CADD\505 Exhibits\2026-04-20 Subdivision Concept Plan.dwg

PETERSON ROAD

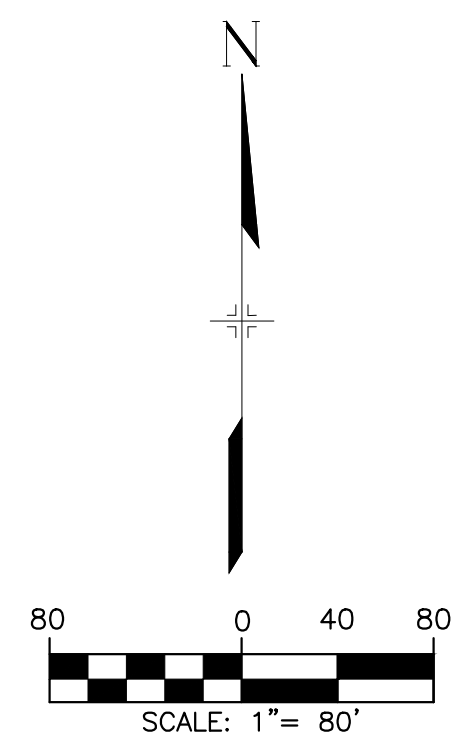
MEADOWBROOK PARKWAY

TRACT A
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60 UNITS
(FUTURE)

TRACT B
7.68 AC
81 UNITS
(FUTURE)

LOT 1
14.09 AC
301 UNITS
(PROPOSED)

TRACT C
PROPOSED
DETENTION
2.05 AC



SUBDIVISION CONCEPT PLAN

Matrix
Excellence by Design

2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Contact: DREW A. DEFENDORF, PE
Phone (719) 575-0100

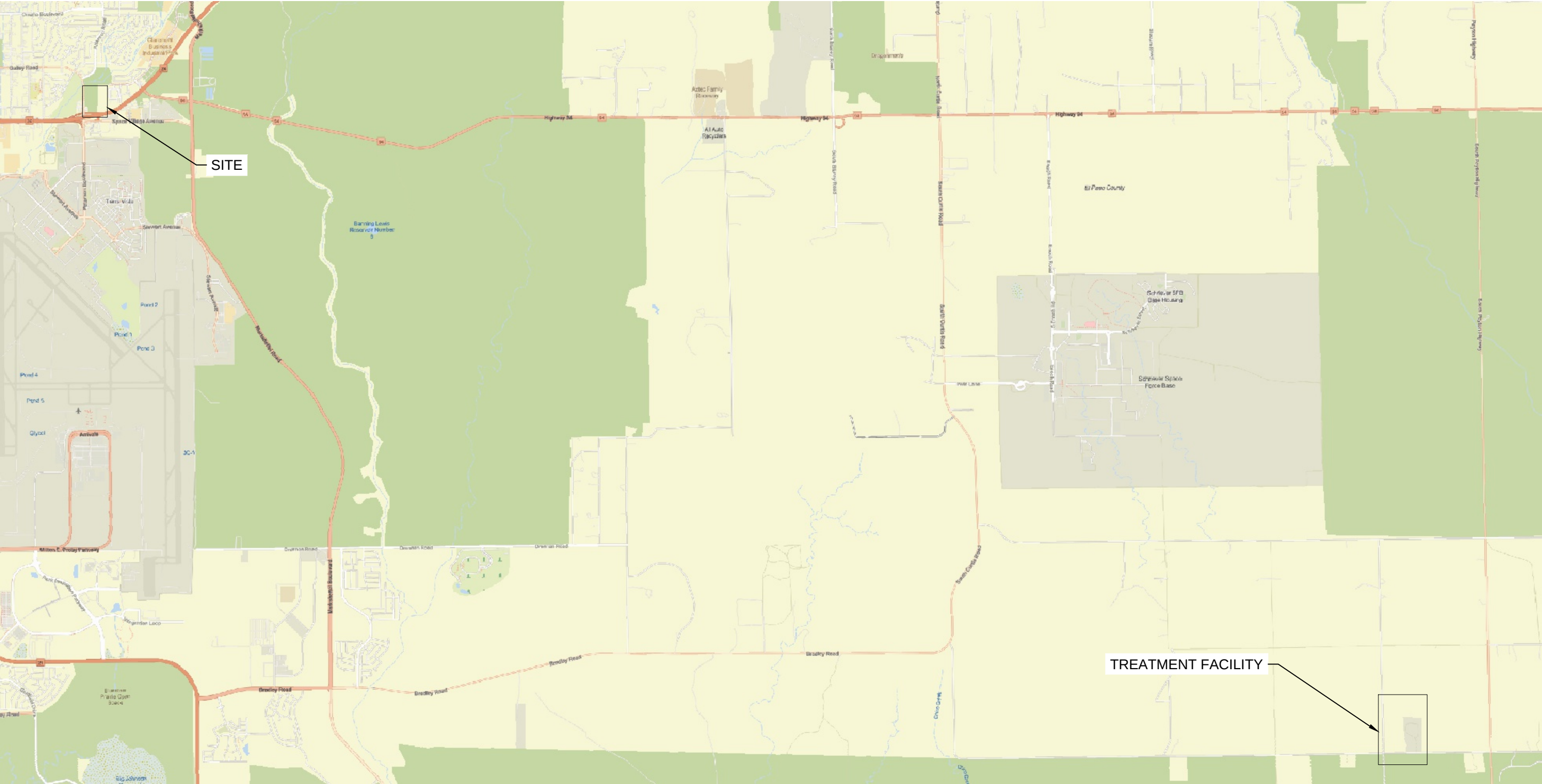
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2026-04-20 Subdivision Concept Plan

CIMARRON HILLS SOUTHEAST
MIXED USE FILING NO.1

APPENDIX D

TREATMENT FACILITY MAP

S:\24.1382.003 Pederson Road and Meadowbrook Parkway Overall Development\500 CADD\506 Exhibits\2026-06-26 TREATMENT FACILITY MAP.dwg



GRAPHIC SCALE



(IN FEET)
1 inch = 5000 ft.

CIMARRON HILLS SOUTHEAST MIXED USE FILING NO. 1

Matrix
Excellence by Design
2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Contact:
Phone (719) 575-0100

DRAWING NAME: 2026-06-26 TREATMENT FACILITY MAP

TREATMENT FACILITY MAP

DATE: JULY 2026