

BENT GRASS RESIDENTIAL FILING NO. 2

LOCATED IN THE NORTHWEST QUARTER AND SOUTHWEST QUARTER OF

SECTION 1 T13S R65W OF THE 6TH PRINCIPAL MERIDIAN

COUNTY OF EL PASO, STATE OF COLORADO

KNOW ALL MEN BY THESE PRESENTS:

THAT CHALLENGER COMMUNITIES, L.L.C., A COLORADO LIMITED LIABILITY COMPANY; AS THEIR INTERESTS MAY APPEAR BEING THE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

LEGAL DESCRIPTION:

PARCELS OF LAND AS DESCRIBED IN WARRANTY DEEDS RECORDED AT RECEPTION NO. 219074560 AND 219074561 OF THE EL PASO COUNTY CLERK AND RECORDER OFFICE, BEING A PORTION OF THE WEST HALF OF SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST, OF THE 6TH PRINCIPAL MERIDIAN, LOCATED IN EL PASO COUNTY, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS:

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER OF SECTION 1, T13S, R65W IS N001°3'46"W AND MONUMENTED AS SHOWN:

COMMENCING AT THE SOUTHWEST QUARTER CORNER OF SAID SECTION 1; THENCE N001°3'46"W WITH THE WEST LINE OF SAID SECTION 1, A DISTANCE OF 1928.67 FEET TO THE SOUTHWEST CORNER OF A PARCEL DESCRIBED IN WARRANTY DEED RECORDED AT RECEPTION NO. 21303554 OF THE EL PASO COUNTY CLERK AND RECORDER OFFICE; THENCE WITH THE SOUTH LINE OF SAID PARCEL, N89°47'22"E A DISTANCE OF 419.98 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL AND BEING THE SOUTHWEST CORNER OF A STRIP OF LAND DESCRIBED IN QUIT CLAIM DEED AT RECEPTION NO. 209061972 AND ALSO BEING THE POINT OF BEGINNING:

THENCE N001°3'46"W, A DISTANCE OF 206.47 FEET TO A POINT OF CURVATURE; THENCE ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 605.00 FEET, A CENTRAL ANGLE OF 23°58'12", A DISTANCE OF 253.10 FEET, A CHORD BEARING OF N11°45'20"E WITH A CHORD DISTANCE OF 251.26 FEET; THENCE N23°44'26"E, A DISTANCE OF 301.49 FEET TO A POINT OF CURVATURE; THENCE ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 605.00 FEET, A CENTRAL ANGLE OF 65°45'45", A DISTANCE OF 694.40 FEET, A CHORD BEARING OF N56°37'18"E WITH A CHORD DISTANCE OF 656.91 FEET; THENCE N89°30'12"E, A DISTANCE OF 62.90 FEET; THENCE N001°4'14"W, A DISTANCE OF 938.90 FEET TO A POINT ON THE SOUTH LINE OF THE MEADOWS FILING NO. 3, RECORDED AT RECEPTION NO. 200135677 AND ALSO BEING A POINT ON THE SOUTH LINE OF THE NORTH 1/16TH OF SAID SECTION 1; THENCE WITH SAID SOUTH LINE, N89°36'34"E, A DISTANCE OF 1431.39 FEET TO THE NORTH 1/16TH CORNER OF SAID SECTION 1; THENCE N89°36'02"E, A DISTANCE OF 28.34 FEET; THENCE S00°22'19"E, DISTANCE OF 619.54 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF BENT GRASS MEADOWS DRIVE (AN 80' PUBLIC RIGHT OF WAY) AND BEING A POINT ON THE NORTH LINE OF BENT GRASS RESIDENTIAL FILING NO. 1, RECORDED AT RECEPTION NO. 215713636; THENCE WITH SAID NORTH RIGHT OF WAY LINE AND THE NORTH LINE OF SAID BENT GRASS RESIDENTIAL FILING NO.1, S89°38'09"W, A DISTANCE OF 28.48 FEET TO THE NORTHWEST CORNER OF SAID BENT GRASS MEADOWS DRIVE RIGHT OF WAY AND BEING A POINT ON THE EAST 1/16 LINE OF SAID SECTION 1; THENCE WITH SAID EAST 1/16 LINE, S00°21'34"E, A DISTANCE OF 699.51 FEET; THENCE CONTINUING WITH SAID EAST 1/16 LINE, S00°21'50"E, A DISTANCE OF 693.63 FEET TO THE NORTHEAST CORNER OF A PARCEL DESCRIBED IN DEED AT BOOK 3233, PAGE 824 OF THE EL PASO COUNTY CLERK & RECORDER; THENCE WITH THE NORTH OF LINE OF SAID PARCEL, S89°47'22"W, A DISTANCE OF 952.75 FEET TO THE NORTHWEST CORNER OF SAID PARCEL DESCRIBED IN BOOK 3233 AT PAGE 824; THENCE ALONG THE WEST LINE OF SAID PARCEL, S00°22'01"E, A DISTANCE OF 18.25 FEET TO THE NORTHEAST CORNER OF A PARCEL DESCRIBED IN DEED AT RECEPTION NO. 208053974; THENCE WITH THE NORTH LINE OF SAID PARCEL DESCRIBED AT RECEPTION NO. 208053974, S89°47'22"W, A DISTANCE OF 179.94 FEET; THENCE N001°2'38"W, A DISTANCE OF 119.39 FEET TO A POINT OF CURVE; THENCE ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 450.00 FEET, A CENTRAL ANGLE OF 55°58'18", A DISTANCE OF 439.60 FEET, A CHORD BEARING OF N28°11'47"W WITH A CHORD DISTANCE OF 422.33 FEET; THENCE N56°10'56"W, A DISTANCE OF 198.31 FEET TO A POINT OF CURVE; THENCE ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 540.00 FEET, A CENTRAL ANGLE OF 16°06'20", A DISTANCE OF 151.79 FEET, A CHORD BEARING OF N48°07'46"W WITH A CHORD DISTANCE OF 151.29 FEET; THENCE N40°04'36"W, A DISTANCE OF 279.73 FEET TO A POINT OF NON-TANGENT CURVE; THENCE ALONG SAID NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 525.00 FEET, A CENTRAL ANGLE OF 32°26'00", A DISTANCE OF 297.18 FEET, A CHORD BEARING OF S39°57'26"W WITH A CHORD DISTANCE OF 293.23 FEET; THENCE S23°44'26"W, A DISTANCE OF 301.49 FEET TO A POINT OF CURVATURE; THENCE ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 525.00 FEET, A CENTRAL ANGLE OF 23°58'12", A DISTANCE OF 219.64 FEET, A CHORD BEARING OF S11°45'20"W WITH A CHORD DISTANCE OF 218.04 FEET; THENCE S001°3'46"E, A DISTANCE OF 206.50 FEET TO THE SOUTHEAST CORNER OF SAID STRIP OF LAND DESCRIBED IN QUITCLAIM DEED AT RECEPTION NO. 209061972; THENCE WITH SOUTH LINE OF SAID STRIP OF LAND, S89°47'22"W, A DISTANCE OF 80.00 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 2,985,862 SQUARE FEET OR 68.55 ACRES, MORE OR LESS.

DEDICATION:

THE ABOVE OWNER HAS CAUSED SAID TRACT TO BE PLATTED INTO LOTS, TRACTS, PUBLIC RIGHT OF WAY AND EASEMENTS AS SHOWN HEREON. THE UNDERSIGNED DOES HEREBY GRANT AND CONVEY TO THE COUNTY OF EL PASO ALL STREETS AND EASEMENTS FOR PUBLIC USE. THIS TRACT OF LAND HEREIN PLATTED SHALL BE KNOWN AS "BENT GRASS RESIDENTIAL, FILING NO 2". IN THE COUNTY OF EL PASO COUNTY, COLORADO.

OWNERS CERTIFICATE:

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, BENEFICIARIES OF DEEDS OF TRUST AND HOLDERS OF OTHER INTERESTS IN THE LAND DESCRIBED HEREIN, HAVE LAID OUT, SUBDIVIDED, AND PLATTED SAID LANDS INTO LOTS AND EASEMENTS AS SHOWN HEREON UNDER THE NAME AND SUBDIVISION OF **BENT GRASS RESIDENTIAL FILING NO. 2**. ALL PUBLIC IMPROVEMENTS SO PLATTED ARE HEREBY DEDICATED TO PUBLIC USE AND SAID OWNER DOES HEREBY COVENANT AND AGREE THAT THE PUBLIC IMPROVEMENTS WILL BE CONSTRUCTED TO EL PASO COUNTY STANDARDS AND THAT PROPER DRAINAGE AND EROSION CONTROL FOR SAME WILL BE PROVIDED AT SAID OWNER'S EXPENSE, ALL TO THE SATISFACTION OF THE BOARD OF COUNTY COMMISSIONERS OF EL PASO COUNTY, COLORADO. UPON ACCEPTANCE BY RESOLUTION, AL PUBLIC IMPROVEMENTS SO DEDICATED WILL BECOME MATTERS OF MAINTENANCE BY EL PASO COUNTY, COLORADO. THE UTILITY EASEMENTS SHOWN HEREON ARE HEREBY DEDICATED FOR PUBLIC UTILITIES AND COMMUNICATION SYSTEMS AND OTHER PURPOSES AS SHOWN HEREON. THE ENTITIES RESPONSIBLE FOR PROVIDING THE SERVICES FOR WHICH THE EASEMENTS ARE ESTABLISHED ARE HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO ADJACENT PROPERTIES FOR INSTALLATION, MAINTENANCE, AND REPLACEMENT OF UTILITY LINES AND RELATED FACILITIES.

CHALLENGER COMMUNITIES, LLC,
A COLORADO LIMITED LIABILITY COMPANY

BY: _____

NAME: _____
TITLE: _____

DATE: _____

STATE OF COLORADO)
COUNTY OF) ss.

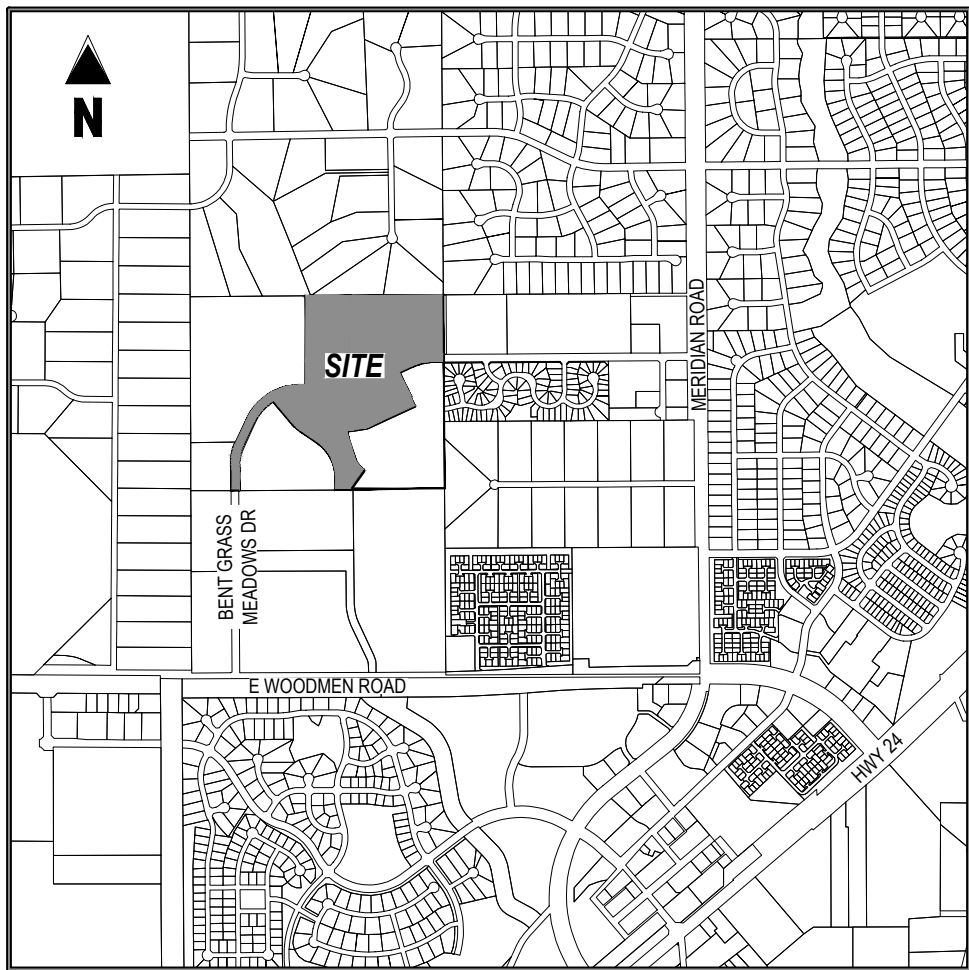
ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 2021 BY

_____ AS _____

MY COMMISSION EXPIRES _____

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC



VICINITY MAP
1" = 2000'

EASEMENTS:

UNLESS OTHERWISE INDICATED, ALL LOT LINES ARE HEREBY PLATTED WITH 5 FOOT SIDE, 10 FOOT FRONT, AND 7.5 FOOT REAR PUBLIC UTILITY AND DRAINAGE EASEMENT. ALL EXTERIOR SUBDIVISION BOUNDARIES ARE HEREBY PLATTED WITH A 20 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT. THE SOLE RESPONSIBILITY FOR MAINTENANCE OF THESE EASEMENTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNERS.

SHEET INDEX	
SHEET 2	PLAT NOTES & TRACT TABLE
SHEET 3	OVERALL BOUNDARY & EXISTING EASEMENTS MAP
SHEET 4-6	LOT CONFIGURATION
SHEET 7	CURVE TABLE

ACCEPTANCE CERTIFICATE FOR TRACTS:

WOODMEN HILLS METROPOLITAN DISTRICT

THE DEDICATION OF TRACTS A, B, C, D, E, F, G, H, I, J, K, L AND M FOR THE PURPOSES SPECIFIED IN THE TRACT TABLE (SEE SHEET 2 OF 7) ARE HEREBY ACCEPTED FOR OWNERSHIP AND MAINTENANCE BY THE BENT GRASS METROPOLITAN DISTRICT.

BY: RANDLE CASE II, PRESIDENT, BENT GRASS METROPOLITAN DISTRICT

BY: _____, EL PASO COUNTY

STATE OF COLORADO)
SS.
COUNTY OF _____)

ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 2021 BY
_____ AS _____

MY COMMISSION EXPIRES: _____

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

RECORDING:

STATE OF COLORADO)
COUNTY OF EL PASO) ss.

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD AT MY OFFICE AT ____ O' CLOCK ____ M., THIS ____ DAY OF _____, 2021 A.D. AND IS DULY RECORDED UNDER RECEPTION NUMBER _____ OF THE RECORDS OF EL PASO COUNTY, COLORADO.

CHUCK BROERMAN, RECORDER

FEE: _____ BY: _____
DEPUTY

NOTICE:

ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

ANY PERSON WHO KNOWINGLY REMOVES, ALTERS, OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT, LAND BOUNDARY MONUMENT, OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR, PURSUANT TO STATE STATUTE 18-4-508 OF THE COLORADO REVISED STATUTES.

BOARD OF COUNTY COMMISSIONERS CERTIFICATE:

THIS PLAT FOR **BENT GRASS RESIDENTIAL FILING NO. 2** WAS APPROVED FOR FILING BY THE EL PASO COUNTY, COLORADO BOARD OF COUNTY COMMISSIONERS ON THE ____ DAY OF _____, 20____, SUBJECT TO ANY NOTES SPECIFIED HEREON AND ANY CONDITIONS INCLUDED IN THE RESOLUTION OF APPROVAL. THE DEDICATIONS OF LAND TO THE PUBLIC STREETS AND EASEMENT ARE ACCEPTED, BUT PUBLIC IMPROVEMENTS THEREON WILL NOT BECOME THE MAINTENANCE RESPONSIBILITY OF EL PASO COUNTY UNTIL PRELIMINARY ACCEPTANCE OF THE PUBLIC IMPROVEMENTS IN ACCORDANCE WITH THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE AND ENGINEERING CRITERIA MANUAL, AND THE SUBDIVISION IMPROVEMENTS AGREEMENT.

CHAIR, BOARD OF COUNTY COMMISSIONERS _____ DATE _____

EXECUTIVE DIRECTOR, PLANNING AND COMMUNITY DEVELOPMENT _____ DATE _____

SURVEYOR'S CERTIFICATE:

I, BRIAN J. DENNIS, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE ON DATE OF SURVEY, BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON; THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:10,000; AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISION, OR SURVEYING OF LAND AND ALL APPLICABLE PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE.

I ATTEST THE ABOVE ON THIS ____ DAY OF _____, 2021.

BRIAN J. DENNIS _____ DATE _____
COLORADO PROFESSIONAL LAND SURVEYOR NO. 38069
FOR AND ON BEHALF OF GALLOWAY & COMPANY, INC.

CLERK AND RECORDER

STATE OF COLORADO
COUNTY OF EL PASO
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN MY OFFICE AT ____ O' CLOCK ____ M., THIS ____ DAY OF _____, 2021 A.D., AND IS DULY RECORDED AT RECEPTION NO. _____ OF THE RECORDS OF EL PASO COUNTY, COLORADO.

BY: _____
EL PASO COUNTY CLERK AND RECORDER

SUMMARY:

178 LOTS	33,904 ACRES	49.5%
13 TRACTS	19,316 ACRES	28.2%
RIGHTS-OF-WAY	15,325 ACRES	22.3%
TOTAL	68,545 ACRES	

FEES:

FEE: _____ SURCHARGE: _____

DRAINAGE FEE: _____ BRIDGE FEE: _____

SCHOOL FEE: _____ PARK FEE: _____

Galloway

1155 Kelly Johnson Blvd, Suite 305
Colorado Springs, CO 80920
719.900.7220
GallowayUS.com



FINAL PLAT
BENT GRASS RESIDENTIAL FILING NO. 2

LOCATED IN THE NORTHWEST QUARTER AND SOUTHWEST QUARTER OF
SECTION 1 T13S R65W OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF EL PASO, STATE OF COLORADO

#	Date	Issue / Description	Init.
1.	01/22/20	Add County Comments	AAY
2.	02/05/20	Add County Comments	AAY
3.	03/17/20	Add County Comments	AAY

Project No:	CLH014.20
Drawn By:	AAY
Checked By:	BJD
Date:	5/14/2019

COUNTY OF EL PASO, STATE OF COLORADO

PLAT NOTES (CONTINUED):

- THE PROPERTY IS SUBJECT TO THE TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH FOR THE EFFECT OF RESOLUTION NO. 14-259, RECORDED JULY 23, 2014, UNDER RECEPTION NO. 214065376.
- 25) THE PROPERTY IS SUBJECT TO THE TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH FOR THE EFFECT OF BENT GRASS PLANNED UNIT DEVELOPMENT PLAN AMENDMENT, RECORDED JULY 30, 2014, UNDER RECEPTION NO. 214068054.
- 26) SPECIAL DISTRICT DISCLOSURE: ALL PROPERTY WITHIN THIS SUBDIVISION IS IN A PLANNED UNIT DEVELOPMENT DISTRICT. A TITLE 32 SPECIAL DISTRICT ANNUAL REPORT AND DISCLOSURE FORM SATISFACTORY TO THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE RECORDED WITH EACH PLAT.
- 27) WOODMEN ROAD DISTRICT NOTE: ALL PROPERTY WITHIN THIS SUBDIVISION IS WITHIN THE BOUNDARIES OF THE WOODMEN ROAD METROPOLITAN DISTRICT AND, AS SUCH, IS SUBJECT TO A MILL LEVY, PLATING FEES AND BUILDING PERMIT FEES FOR THE PURPOSE OF FINANCING CONSTRUCTION OF SPECIFIED IMPROVEMENTS TO WOODMEN ROAD.
- 28) THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE FINAL PLAT FOR THIS SUBDIVISION AND ARE ON FILE AT THE COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT: PLANNED UNIT DEVELOPMENT (FILE NO. PD0142), SOILS AND GEOLOGICAL STUDY, MASTER DEVELOPMENT DRAINAGE PLAN, DRAINAGE REPORT, WATER RESOURCES REPORT, FIRE PROTECTION REPORT, NATURAL FEATURES REPORT, EROSION CONTROL REPORT, TRAFFIC IMPACT ANALYSIS.
- 29) STORMWATER DRAINAGE NOTE: ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPIDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
- 30) ENVIRONMENTAL NOTE: DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO PARKS & WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS IT RELATES TO THE LISTED SPECIES, (E.G. PREBLE'S MEADOW JUMPING MOUSE).
- 31) ADDRESS NOTE: THE ADDRESSED EXHIBITED ON THIS PLAT ARE FOR INFORMATIONAL PURPOSES ONLY, THEY ARE NOT THE LEGAL DESCRIPTION AND ARE SUBJECT TO CHANGE.
- 32) GEOLOGIC HAZARD NOTE: THE FOLLOWING PROJECT SITE HAS BEEN FOUND TO BE IMPACTED BY GEOLOGIC HAZARDS. MITIGATION MEASURES AND A MAP OF THE HAZARD AREA CAN BE FOUND IN THE REPORT GEOLOGY AND SOILS REPORT, BENT GRASS RESIDENTIAL, FILING NO. 2, EL PASO COUNTY, COLORADO BY ROCKY MOUNTAIN GROUP (RMG) DATED OCTOBER 21, 2019, AMENDED JANUARY 13, 2020 AND SUBSURFACE SOIL INVESTIGATION DATED JANUARY 21, 2020, FILE BENT GRASS RESIDENTIAL, FILING NO. 2, #SF-19-014 AVAILABLE AT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT:
- FAULTS/SEISMICITY: (LOTS 1-178)
 - RADIOACTIVITY/RADON GAS: (LOTS 1-178)
 - EXPANSIVE/COMPRESSIBLE SOILS (LOTS 1-178)
 - BED ROCK (LOTS 1-178)
- THE GEOLOGIC CONDITIONS ENCOUNTERED AT THIS SITE ARE RELATIVELY COMMON TO THE IMMEDIATE AREA AND MITIGATION CAN BE ACCOMPLISHED BY IMPLEMENTING COMMON ENGINEERING AND CONSTRUCTION PRACTICES. NONE OF THESE CONDITIONS ARE ANTICIPATED TO PRECLUDE THE PROPOSED DEVELOPMENT.
- 33) ACCESS NOTE: NO DRIVEWAY SHALL BE ESTABLISHED UNLESS AN ACCESS PERMIT HAS BEEN GRANTED BY EL PASO COUNTY.
- 34) MAILBOXES: MAILBOXES SHALL BE INSTALLED IN ACCORDANCE WITH ALL EL PASO COUNTY AND UNITED STATES SERVICE REGULATIONS.
- 35) NO LOT OR INTEREST THEREIN, SHALL BE SOLD, CONVEYED, OR TRANSFERRED WHETHER BY DEED OR BY CONTRACT, NOR SHALL BUILDING PERMITS BE ISSUED, UNTIL AND UNLESS EITHER THE REQUIRED PUBLIC AND COMMON DEVELOPMENT IMPROVEMENTS HAVE BEEN CONSTRUCTED AND COMPLETED AND PRELIMINARILY ACCEPTED IN ACCORDANCE WITH THE SUBDIVISION IMPROVEMENTS AGREEMENT BETWEEN THE APPLICANT/OWNER AND EL PASO COUNTY AS RECORDED UNDER RECEPTION NUMBER _____ IN THE OFFICE OF THE CLERK AND RECORDER OF EL PASO COUNTY, COLORADO
- OR, IN THE ALTERNATIVE, OTHER COLLATERAL IS PROVIDED TO MAKE PROVISION FOR THE COMPLETION OF SAID IMPROVEMENTS IN ACCORDANCE WITH THE EL PASO COUNTY LAND DEVELOPMENT CODE AND ENGINEERING CRITERIA MANUAL, ANY SUCH ALTERNATIVE COLLATERAL MUST BE APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OR, IF PERMITTED BY THE
- SUBDIVISION IMPROVEMENTS AGREEMENT, BY THE COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DIRECTOR AND MEET THE POLICY AND PROCEDURE REQUIREMENTS OF EL PASO COUNTY PRIOR TO THE RELEASE BY THE COUNTY OF ANY LOTS FOR SALE, CONVEYANCE OR TRANSFER.
- 36) TRACTS SHALL BE MAINTAINED AS SPECIFIED IN THE TRACT TABLE, AS SHOWN. OWNERSHIP AND UTILIZATION OF ALL TRACTS SHALL BE VESTED TO THE BENT GRASS METROPOLITAN DISTRICT.
- 37) WILDFIRE NOTE: AT THE TIME OF APPROVAL OF THIS PROJECT, THIS PROPERTY IS LOCATED WITHIN THE FALCON FIRE PROTECTION DISTRICT, WHICH HAS ADOPTED A FIRE CODE REQUIRING RESIDENTIAL FIRE SPRINKLER REQUIREMENTS FOR CODED STRUCTURES OVER 6000 SQUARE FEET IN SIZE, AND OTHER FIRE MITIGATION REQUIREMENTS DEPENDING UPON THE LEVEL OF FIRE RISK ASSOCIATED WITH THE PROPERTY AND STRUCTURES. THE OWNER OF ANY LOT SHOULD CONTACT THE FIRE DISTRICT TO DETERMINE THE EXACT DEVELOPMENT REQUIREMENTS RELATIVE TO THE ADOPTED FIRE CODE.
- DUE TO WILDFIRE CONCERNS, HOMEOWNERS ARE ENCOURAGED TO INCORPORATE WILDFIRE FUEL BREAK PROVISIONS AS RECOMMENDED BY THE COLORADO STATE FOREST SERVICE AND ILLUSTRATED THROUGH PUBLICATIONS AVAILABLE THROUGH THE STATE FOREST SERVICE.

- ADJACENT INDUSTRIAL AREAS; THIS PROPERTY MAY BE ADVERSELY IMPACTED BY NOISE, DUST, FUMES, AND LIGHT POLLUTION CAUSED BY ADJACENT INDUSTRIAL PROPERTIES AND ACTIVITIES. THE BUYER SHOULD RESEARCH AND BE AWARE OF THIS POTENTIALITY AND THE RAMIFICATIONS THEREOF.
- 39) A BLANKET ACCESS EASEMENT IS HEREBY CREATED, OVER AND ACROSS TRACTS G & J, AND DEDICATED TO EL PASO COUNTY, FOR THE PURPOSES OF INSPECTION AND MAINTENANCE OF TRACTS H & K (DRAINAGE CHANNEL). THE PROPERTY OWNER OR BENT GRASS METROPOLITAN DISTRICT SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE DRAINAGE CHANNEL UNTIL THE NECESSARY CHANNEL STABILIZATION IMPROVEMENTS ARE CONSTRUCTED AND ACCEPTED FOR MAINTENANCE BY EL PASO COUNTY.
- 40) LOT RESTRICTION NOTE: LOTS 34, 35, 36 & 37 ARE RESTRICTED TO A SINGLE-STORY SINGLE FAMILY HOME PER PUD 14-2.
- 41) GROUNDWATER NOTE: GROUNDWATER MEDIATION SHALL INCLUDE INDIVIDUAL LOT UNDERDRAINS WITH PUMP PUMPS. PUMP DISCHARGES SHALL BE INSTALLED ALONG REAR LOT LINES. PUMP DISCHARGE SHALL NOT BE DIRECTED TO THE STREET RIGHT OF WAY.
- 42) SET BACKS NOTE:
- FRONT: 20 FEET
 - SIDE: 5 FEET
 - REAR: 20 FEET MINIMUM; LOTS 157, 144, 135, TRACT G, TRACT H AND TRACT I SHALL HAVE A 50 FOOT SET BACK ALONG THE NORTH PROPERTY LINE.
 - CORNER LOTS: 'FRONT' SHALL BE DESIGNATED AS THE LOT LINE WHERE DRIVEWAY ACCESS POINT IS LOCATED AND THE 'SIDE YARD SETBACK' FOR THE SIDE STREET SHALL BE 10 FEET.
 - SUBDIVISION PERIMETER: 20 FEET
- 43) BUILDING HEIGHT RESTRICTION NOTE: LOTS 34, 35, 36, 37 ARE RESTRICTED TO A MAXIMUM HEIGHT OF 25 FEET.
- 44) FLOODPLAIN NOTE: PER THE FEMA FLOOD INSURANCE RATE MAP (FIRM), MAP NO. 08041005533G WITH AN EFFECTIVE DATE OF DECEMBER 07, 2018, INDICATES THE MAJORITY OF THE SUBJECT PROPERTY IS DESIGNATED AS ZONE X (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN). A PORTION OF THE PROJECT SITE LIES WITHIN ZONE AE (SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD WITH BASE FLOOD ELEVATIONS DETERMINED). THE AREA OF THIS PROJECT SITE DESIGNATED AS ZONE AE ARE CONTAINED WITHIN TRACTS H AND K. NO STRUCTURES OR FENCES ARE PERMITTED IN THIS AREA.
- 45) THE BASE FLOOD ELEVATIONS SHOWN ON THIS PLAT ARE SOLELY BASED ON THE FEMA FLOOD MAPS NOTED ABOVE. THE BASE FLOOD ELEVATIONS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT FIELD VERIFIED BY THIS SURVEY.

The El Paso County Board of County Commissioners disclaims any interest in the temporary turn around easement purported to be conveyed to El Paso County by quitclaim deed recorded at Reception No. 214078281, as such easement was never accepted by the County in accordance with legal requirements. To the extent that El Paso County may nonetheless have an interest in such easement, the Board of County Commissioners hereby consents to the vacation of such easement.

- LIST OF CONTACTS

APPLICANT/DEVELOPER
CHALLENGER HOMES, INC.
13570 NORTHGATE ESTATES DR.
COLORADO SPRINGS, CO 80921
CONTACT: JIM BYERS
EMAIL: JIM@MYCHALLENGERHOMES.COM
TEL: (719) 598-5190

ENGINEER/CONSULTANT

GALLOWAY & COMPANY, INC.
1155 KELLY JOHNSON BLVD., SUITE 303
COLORADO SPRINGS, CO 80920
CONTACT: GRANT DENNIS, P.E.
EMAIL: GRANTDENNIS@GALLOWAYUS.COM
TEL: (719) 900-7220

EL PASO COUNTY
EL PASO COUNTY, PLANNING & COMMUNITY DEVELOPMENT
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
TEL: (719) 520-6300

SURVEYOR
GALLOWAY & COMPANY, INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
CONTACT: LYLE BISSEGGER
EMAIL: LYLEBISSEGGER@GALLOWAYUS.CO
TEL: (719) 900-7220

UTILITY REVIEW – WATER/WASTEWATER

WOODMEN HILLS METRO DISTRICT
8046 EASTONVILLE ROAD
FALCON, CO 80831
CONTACT: JERRY JACOBSON
EMAIL: JERRY@WHMD.ORG
TEL: (719) 495-2500

UTILITY REVIEW – GAS

COLORADO SPRINGS UTILITIES
1521 HANCOCK EXPY #4801
COLORADO SPRINGS, CO 80909
CONTACT: RYNE SOLBERG
EMAIL: RSOLBERG@CSU.ORG
TEL: (719) 668-8267

ELECTRIC

MOUNTAIN VIEW ELECTRIC
11140 E WOODMEN RD
FALCON, CO 80831
TEL: (719) 495-2283

FIRE DISTRICT

FALCON FIRE PROTECTION DISTRICT
7030 OLD MERIDIAN ROAD
PEYTON, CO 80831
EMAIL: FALCONFIRE@FALCONFIREPD.ORG
TEL: (719) 495-4050

TRACT NO.	TRACT USE	ACREAGE	TRACT OWNERSHIP AND MAINTENANCE
TRACT A	POCKET PARK	0.18	BENT GRASS METROPOLITAN DISTRICT
TRACT B	DRAINAGE/OPEN SPACE/UTILITIES	0.63	BENT GRASS METROPOLITAN DISTRICT
TRACT C	DRAINAGE/OPEN SPACE	0.64	BENT GRASS METROPOLITAN DISTRICT
TRACT D	POCKET PARK	0.22	BENT GRASS METROPOLITAN DISTRICT
TRACT E	DRAINAGE/OPEN SPACE	0.37	BENT GRASS METROPOLITAN DISTRICT
TRACT F	OPEN SPACE	0.09	BENT GRASS METROPOLITAN DISTRICT
TRACT G	FUTURE DEVELOPMENT	3.47	BENT GRASS METROPOLITAN DISTRICT
TRACT H	DRAINAGE	1.94	OWNERSHIP: BENT GRASS METROPOLITAN DISTRICT MAINTENANCE: SEE NOTE #39
TRACT I	FUTURE DEVELOPMENT	4.81	BENT GRASS METROPOLITAN DISTRICT
TRACT J	OPEN SPACE	3.82	BENT GRASS METROPOLITAN DISTRICT
TRACT K	DRAINAGE	2.42	OWNERSHIP: BENT GRASS METROPOLITAN DISTRICT MAINTENANCE: SEE NOTE #39
TRACT L	OPEN SPACE	0.16	BENT GRASS METROPOLITAN DISTRICT
TRACT M	OPEN SPACE	0.56	BENT GRASS METROPOLITAN DISTRICT

*SEE NOTE #39

#	Date	Issue / Description	Init.
1	01/22/20	Add County Comments	AAV
2	02/05/20	Add County Comments	AAV
3	03/17/20	Add County Comments	AAV

Project No:	CLH014.20
Drawn By:	AAY
Checked By:	BJD
Date:	5/14/2019

LOCATED IN THE NORTHWEST QUARTER AND SOUTHWEST QUARTER OF
SECTION 1 T13S R65W OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF EL PASO, STATE OF COLORADO

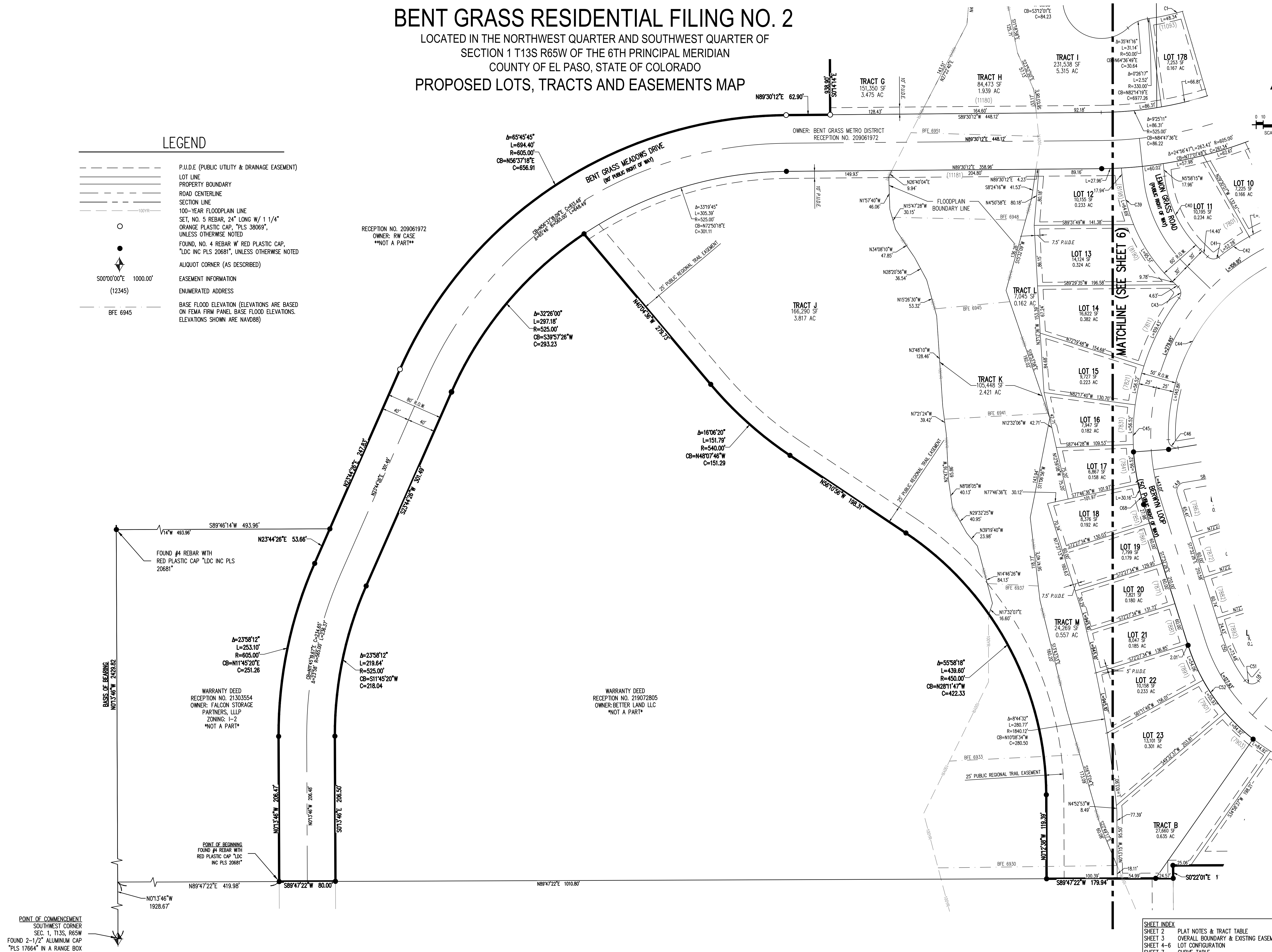
[illegible]

P.U.D.E (PUBLIC UTILITY & DRAINAGE EASEMENT)
 LOT LINE
 PROPERTY BOUNDARY
 ROAD CENTERLINE
 SECTION LINE
 100-YEAR FLOODPLAIN LINE
 SET, NO. 5 REBAR, 24" LONG W/ 1 1/4" ORANGE PLASTIC CAP, "PLS 38069", UNLESS OTHERWISE NOTED
 FOUND, NO. 4 REBAR W/ RED PLASTIC CAP, "LDC INC PLS 20681", UNLESS OTHERWISE NOTED
 ALIQUOT CORNER (AS DESCRIBED)
 EASEMENT INFORMATION
 ENUMERATED ADDRESS
 BASE FLOOD ELEVATION (ELEVATIONS ARE BASED ON FEMA FIRM PANEL BASE FLOOD ELEVATIONS.

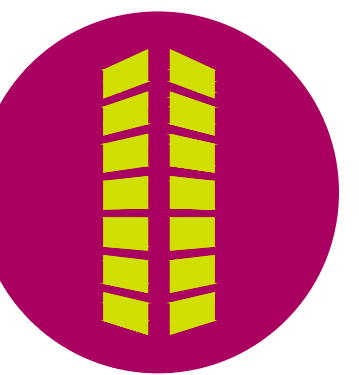
<u>SHEET INDEX</u>	
SHEET 2	PLAT NOTES & TRACT TABLE
SHEET 3	OVERALL BOUNDARY & EXISTING EASEMENTS MAP
SHEET 4-6	LOT CONFIGURATION
SHEET 7	CURVE TABLE

LOCATED IN THE NORTHWEST QUARTER AND SOUTHWEST QUARTER OF
SECTION 1 T13S R65W OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF EL PASO, STATE OF COLORADO

P.U.D.E. (PUBLIC UTILITY & DRAINAGE EASEMENT)
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 ALIQUOT CORNER (AS DESCRIBED)
 EASEMENT INFORMATION
 ENUMERATED ADDRESS
 BASE FLOOD ELEVATION (ELEVATIONS ARE BASED
 ON FEMA FIRM PANEL BASE FLOOD ELEVATIONS.
 ELEVATIONS SHOWN ARE NAVD88)



155 Kelly Johnson Blvd, Suite 305
Colorado Springs, CO 80920
19.900.7220
GallowayUS.com

[illegible]

Project No:	CLH014.20
Drawn By:	AAY
Checked By:	BJD
Date:	5/14/2019

LOCATED IN THE NORTHWEST QUARTER AND SOUTHWEST QUARTER OF
SECTION 1 T13S R65W OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF EL PASO, STATE OF COLORADO
PROPOSED LOTS, TRACTS AND EASEMENTS MAP

NORTH $\frac{1}{16}$ CORNER SEC. 1, T13S, R65W
SET 1-1/2" ALUMINUM CAP
N $\frac{1}{16}$ C ST
"2019 PLS 38069"



FINAL PLAT
BENT GRASS RESIDENTIAL FILING NO. 2
LOCATED IN THE NORTHWEST QUARTER AND SOUTHWEST QUARTER
SECTION 1 T13S R6SW OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF EL PASO, STATE OF COLORADO

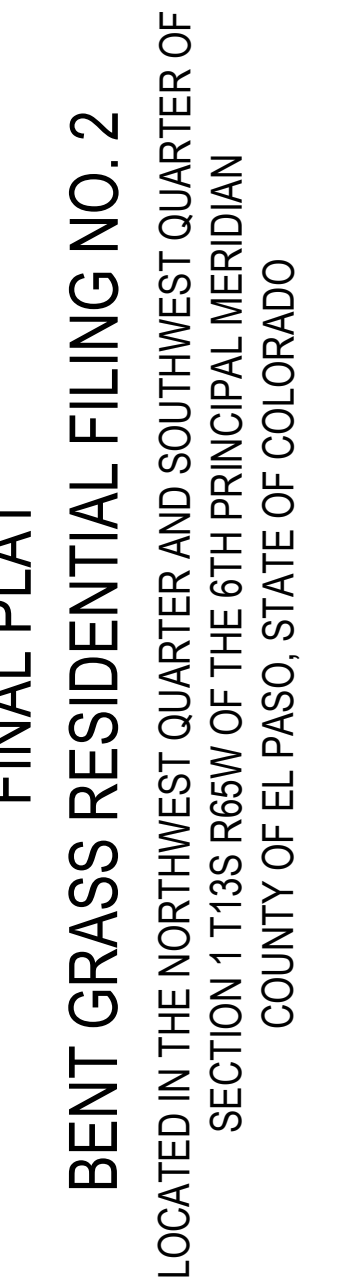
FINAL PLAT

[illegible]

5
SHEET 5 OF 7

LOCATED IN THE NORTHWEST QUARTER AND SOUTHWEST QUARTER OF
SECTION 1 T13S R65W OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF EL PASO, STATE OF COLORADO
PROPOSED LOTS, TRACTS AND EASEMENTS MAP

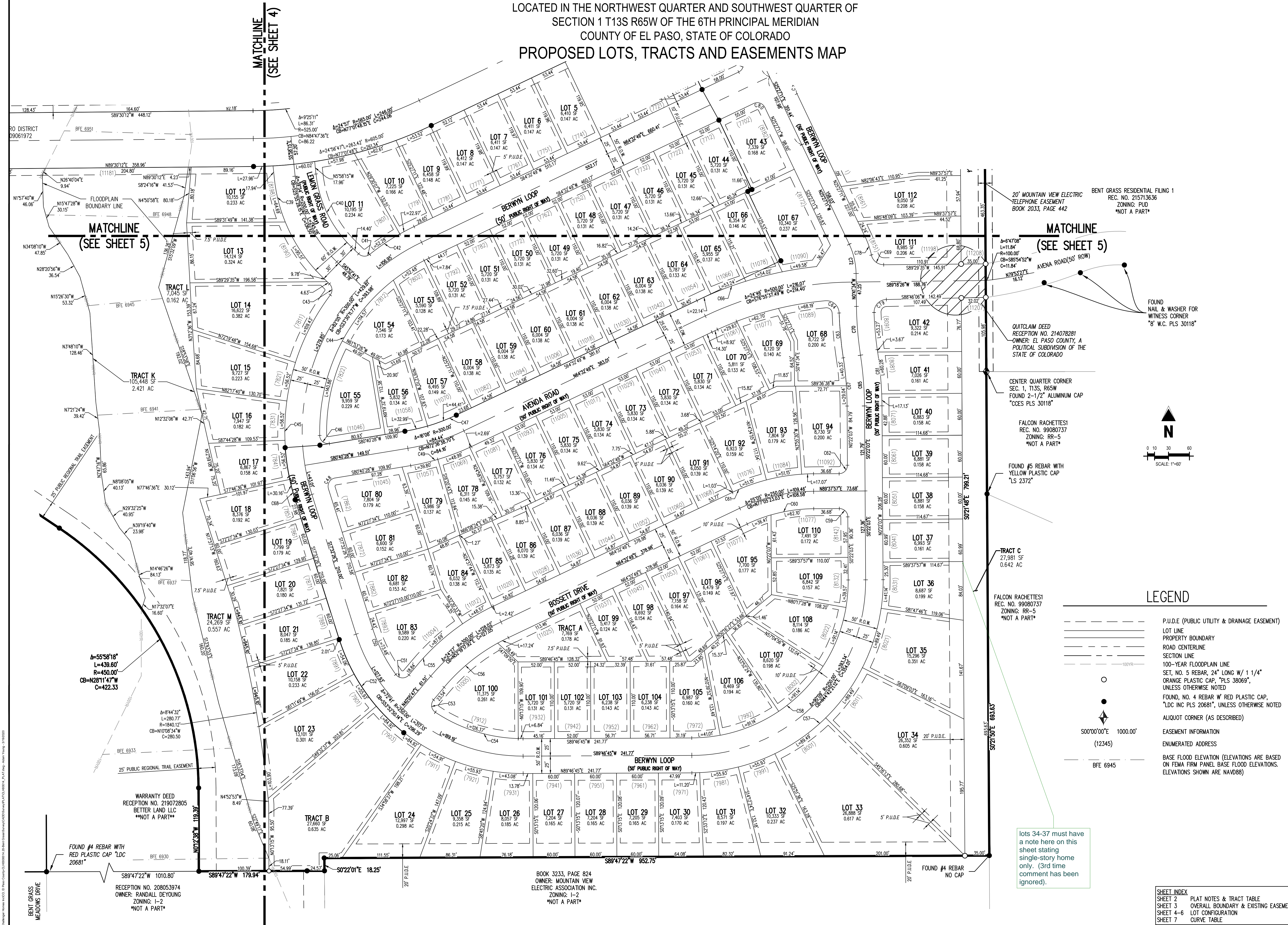
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BENT GRASS RESIDENTIAL FILING NO. 2
FINAL PLAT
 LOCATED IN THE NORTHWEST QUARTER AND SOUTHWEST QUARTER
 SECTION 1 T13S R65W OF THE 6TH PRINCIPAL MERIDIAN
 COUNTY OF EL PASO, STATE OF COLORADO

Project No:	CLH014.20
Drawn By:	AAY
Checked By:	BJD
Date:	5/14/2019

6
SHEET 6 OF 7



COUNTY OF EL PASO, STATE OF COLORADO

CURVE TABLE

PARCEL CURVE SEGMENT TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
C1	17°28'21"	100.63	330.00	S73°17'00"W	100.25
C2	13°49'23"	65.14	270.00	S71°27'31"W	64.98
C3	90°00'00"	18.85	12.00	S19°32'42"W	16.97
C4	86°47'51"	18.18	122.00	S59°06'41"E	16.49
C5	12°36'34"	50.83	225.00	N70°10'06"E	50.72
C6	12°36'34"	62.12	275.00	S71°00'06"W	61.99
C7	85°18'00"	17.87	12.00	N34°50'23"E	16.26
C8	6°28'57"	59.40	525.00	S4°34'09"E	59.37
C9	44°24'55"	38.76	50.00	N22°42'52"W	37.80
C10	268°49'50"	258.06	55.00	S89°29'35"W	78.57
C11	44°24'55"	38.76	50.00	S21°42'03"W	37.80
C12	24°56'46"	206.81	475.00	S12°58'48"E	205.18
C13	90°00'00"	18.85	12.00	N70°27'11"W	16.97
C14	24°56'46"	100.14	230.00	S77°01'12"W	99.35
C15	90°00'00"	18.85	12.00	N44°29'35"E	16.97
C17	268°49'50"	258.06	55.00	S89°29'35"W	78.57
C18	44°24'55"	38.76	50.00	S21°42'03"W	37.80
C19	88°11'13"	18.47	12.00	S43°36'01"E	16.70
C20	25°24'01"	99.75	225.00	N75°59'37"W	98.93
C21	26°22'14"	80.54	175.00	S76°28'44"E	79.84

PARCEL CURVE SEGMENT TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
C22	90°58'30"	19.05	12.00	N44°50'54"W	17.11
C23	4°30'31"	41.47	527.00	S1°36'54"W	41.46
C24	4°30'31"	37.22	473.00	S1°36'54"W	37.21
C25	46°27'28"	28.38	35.00	N19°21'34"W	27.61
C26	27°25'43"	261.98	55.00	N86°10'50"W	75.78
C27	46°27'28"	28.38	35.00	S27°05'54"W	27.61
C28	89°49'07"	18.81	12.00	S45°28'33"E	16.94
C29	44°24'55"	38.76	50.00	N67°24'26"E	37.80
C30	268°49'50"	258.06	55.00	N02°3'07"W	78.57
C31	44°24'55"	38.76	50.00	N68°10'39"W	37.80
C32	27°06'12"	106.43	225.00	S76°50'45"E	105.45
C33	24°34'36"	75.07	175.00	N75°34'55"W	74.49
C34	92°38'11"	19.40	12.00	S45°48'41"W	17.36
C35	24°56'46"	76.19	175.00	S1°25'48"E	75.59
C36	24°56'46"	74.02	170.00	S77°01'12"W	73.43
C37	83°06'42"	17.41	12.00	N48°57'03"W	15.92
C38	18°03'29"	70.91	225.00	N16°25'26"W	70.62
C39	39°54'27"	160.20	230.00	S25°55'28"E	156.98
C40	39°54'27"	118.41	170.00	N25°55'28"W	116.03
C41	82°50'26"	17.35	12.00	N87°17'55"W	15.88

PARCEL CURVE SEGMENT TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
C42	13°15'57"	75.25	325.00	S57°54'51"W	75.08
C43	82°50'28"	17.35	12.00	S42°27'28"E	15.82
C44	64°09'09"	307.91	275.00	S30°50'18"W	298.08
C45	54°30'11"	309.16	325.00	S9°42'40"W	297.63
C46	98°05'15"	20.54	12.00	S50°16'54"E	18.13
C47	16°07'39"	77.41	275.00	S72°36'39"W	77.15
C48	98°12'54"	20.57	12.00	S31°34'01"W	18.14
C49	15°39'11"	88.79	325.00	S72°50'52"W	88.51
C50	18°42'40"	73.48	225.00	S26°53'47"E	73.15
C51	103°39'06"	21.71	12.00	S88°04'41"E	18.87
C52	72°40'49"	348.84	275.00	S53°52'50"E	325.92
C53	96°23'46"	20.19	12.00	N8°08'06"W	17.89
C54	33°55'15"	133.21	225.00	N7°31'53"W	131.27
C55	24°27'03"	138.69	325.00	S52°19'18"W	137.64
C56	20°51'31"	100.11	275.00	N50°31'32"E	99.56
C57	90°08'49"	432.67	275.00	N44°42'21"E	308.49
C58	90°08'49"	354.01	225.00	S44°42'21"W	318.61
C59	90°00'00"	18.85	12.00	S45°22'03"E	16.97
C60	25°05'07"	98.51	225.00	N77°05'23"E	97.73
C61	25°05'07"	120.40	275.00	S77°05'23"W	119.44

PARCEL CURVE SEGMENT TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
C62	90°00'00"	18.85	12.00	N44°37'57"E	16.87
C63	67°18'42"	64.57	586.17	S51°2'38"E	64.54
C64	93°28'28"	29.37	18.00	N48°25'26"W	26.22
C65	82°22'02"	73.02	500.00	N4°33'04"W	72.95
C66	11°42'20"	107.26	525.00	S72°39'49"W	107.07
C67	82°22'02"	69.37	475.00	N4°33'04"W	69.30
C68	57°19'02"	30.16	325.00	S14°52'55"E	30.15
C69	77°42'32"	24.41	18.00	N51°39'08"W	22.58
C70	87°02'30"	70.18	500.00	N44°2'49"W	70.12
C71	90°00'00"	18.85	12.00	N19°32'49"E	16.87
C72	24°45'36"	43.21	100.00	N137°42'37"W	42.88
C73	51°46'05"	31.62	35.00	S89°34'08"E	30.56
C74	90°00'00"	18.85	12.00	S19°32'49"W	16.87
C75	27°22'53.5"	261.48	55.00	N19°53'03.5"W	76.14
C76	6°11'03"	100.38	930.00	S25°28'44"E	100.33
C77	40°37'48"	24.82	35.00	S44°13'55"W	24.30
C78	12°39'18"	27.61	125.00	N19°07'32"W	27.55
C79	90°32'43"	28.85	18.00	S43°29'45"W	25.58
C80	90°00'00"	18.85	12.00	N70°27'11"W	16.87
C81	6°34'27"	60.28	525.33	N53°1'30"W	6977.52

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FINAL PLAT

SECTION 1 T13S R65W OF THE 6TH PRINCIPAL MERIDIAN

COUNTY OF EL PASO, STATE OF COLORADO

COUNTY OF EL PASO, STATE OF COLORADO

#	Date	Issue / Description	Init.
1	01/22/20	Add County Comments	AAY
2	02/05/20	Add County Comments	AAY
3	03/17/20	Add County Comments	AAY

Project No:	CLH014.20
Drawn By:	AAY
Checked By:	BJD
Date:	5/14/2019

dsdparsons (3)

RESTRICTION NOTE: LOTS 34, 35, 36, 37 ARE RESTRICTED TO "single-story" homes and 25 feet.

"single-story" homes and 25 feet.

[illegible]

The El Paso County Board of County Commissioners disclaims any interest in the temporary turn around easement purported to be conveyed to El Paso County by quitclaim deed recorded at Reception No. 214078281, as such easement was never accepted by the County in accordance with legal requirements. To the extent that El Paso County may nonetheless have an interest in such easement, the Board of County Commissioners hereby consents to the vacation of such easement.



lots 34-37 must have a note here on this sheet stating single-story home only. (3rd time comment has been ignored).