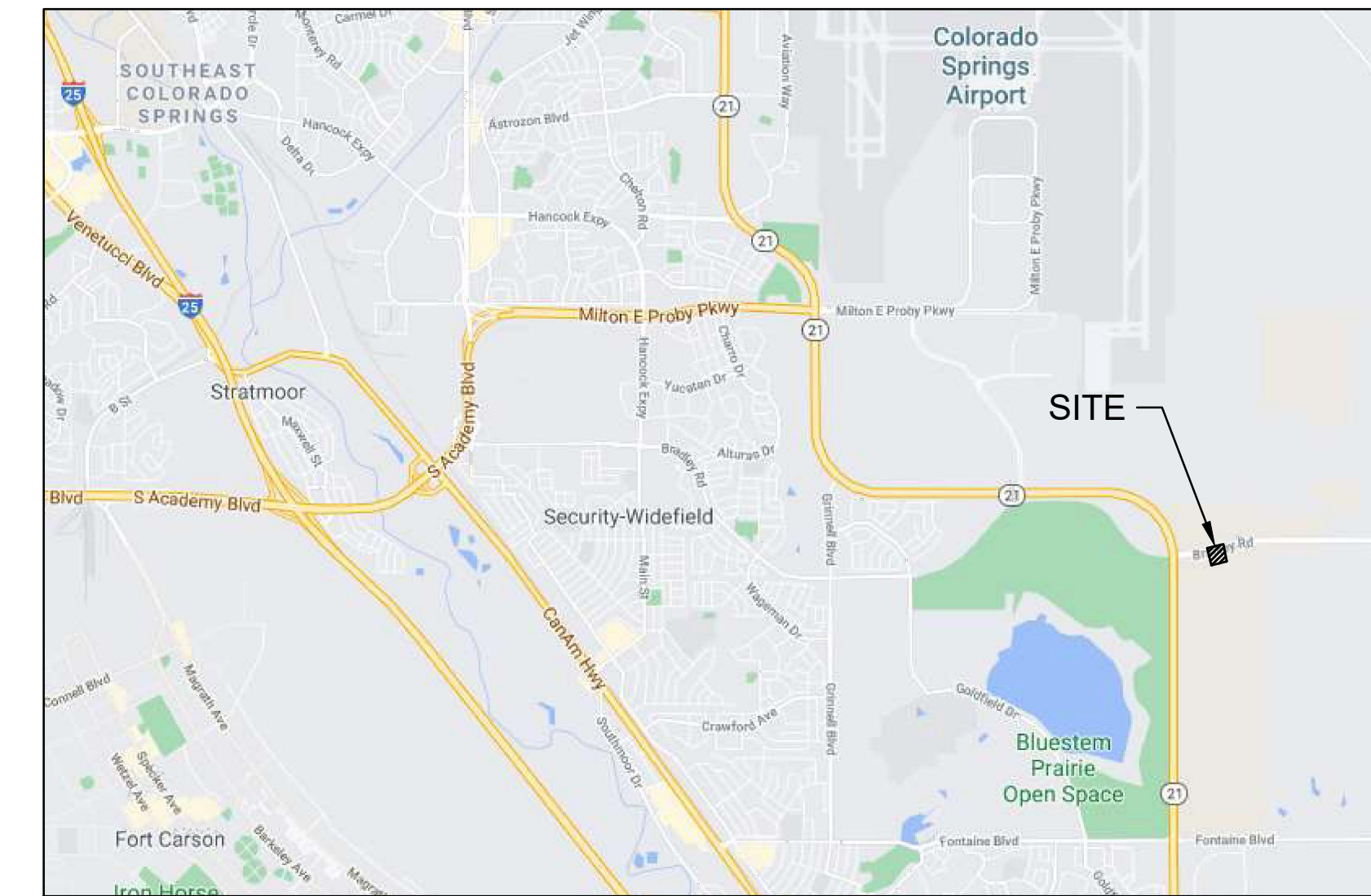


VILLAS AT ASPEN TRAILS PRELIMINARY PLAN

LOCATED IN PORTION OF SECTION 9,
TOWNSHIP 15 S, RANGE 65 W, OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO



VICINITY MAP



LOCATION MAP

Add the following note:
Private Roads:
The private roads as shown on this plat will not be maintained by El Paso County until and unless the streets are constructed in conformance with El Paso County standards in effect at the date of the request for dedication and maintenance.

Update note to include the following information:
Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 10 foot (use 5 feet for lots smaller than 2.5 acres) public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries are hereby platted with a 20 foot (use 7 feet for lots smaller than 2.5 acres) public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.

Add the following note:
Water and wastewater service for this subdivision is provided by the _____ (District or provider name(s)) subject to the District's (Providers) rules, regulations and specifications. (Combined note, which can be broken into separate notes for water or sewer in the case of different providers)

Add the following note:
Mailboxes shall be installed in accordance with all El Paso County and United States Postal Service regulations.

Add the following note Gas and Electric:
The subdivider/developer is responsible for extending utilities to each lot, tract or building site.
Gas and electric service for this subdivision is provided by _____ (Provider name(s)) subject to the District's (Providers) rules, regulations and specifications. (Combined note, which can be broken into separate notes for gas or electric in the case of different providers)

Add the following note:
Addresses:
The addresses exhibited on this plat are for informational purposes only. They are not the legal description and are subject to change.

LEGAL DESCRIPTION

A TRACT OF LAND LOCATED IN A PORTION OF SECTION 9, IN TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO, MORE OR LESS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 9, BEING THE SOUTHERLY R.O.W. LINE OF THE RECORDS OF SAID EL PASO COUNTY; THENCE S00°19'32"E, ALONG THE NORTH-SOUTHERLY R.O.W. LINE OF THE RECORDS OF SAID EL PASO COUNTY; THE FOLLOWING 3 COURSES ARE ALONG THE SOUTHERLY R.O.W. LINE OF THE RECORDS OF SAID EL PASO COUNTY:
1. THENCE S89°30'29"W A DISTANCE OF 3.14 FEET TO A POINT OF BEGINNING;
2. THENCE ON SAID CURVE, HAVING A RADIUS OF 15'09'41", WHOSE LONG CHORD BEARS N75°37'00"W A DISTANCE OF 75.08 FEET;
3. THENCE S74°20'48"W A DISTANCE OF 385.14 FEET TO THE POINT OF BEGINNING;
THENCE S15°39'12"E DEPARTING SAID RIGHT-OF-WAY LINE, A DISTANCE OF 449.99 FEET;
THENCE S74°20'48"W A DISTANCE OF 160.21 FEET;
THENCE N15°39'12"W A DISTANCE OF 20.00 FEET;
THENCE S74°20'48"W A DISTANCE OF 199.80 FEET TO A POINT OF CURVE TO THE SOUTHERLY R.O.W. LINE OF THE RECORDS OF SAID EL PASO COUNTY, HAVING A RADIUS OF 75.00 FEET, AN ARC LENGTH OF 60°04'25", WHOSE LONG CHORD BEARS N75°37'00"W A DISTANCE OF 75.08 FEET;
THENCE N15°39'12"W A DISTANCE OF 392.40 FEET, RETURNING TO SAID SOUTHERLY R.O.W. LINE OF THE RECORDS OF SAID EL PASO COUNTY;
THENCE S74°20'48"W, ALONG SAID SOUTHERLY R.O.W. LINE OF BRADLEY ROAD, A DISTANCE OF 160.21 FEET TO THE POINT OF BEGINNING.
PARCEL CONTAINS 1,852.42 SQUARE FEET OR 4.25 ACRES MORE OR LESS

Informational comment: please note that El Paso County Planning and Community Development cannot and will not accept collateral or escrow (use whichever necessary) payment until plat recording (for plats), financial assurance form is signed and approved (for FAE no plat). Any collateral or escrow payments that are received prior to the appropriate conditions being met will not be accepted and will be returned until such time payment is deemed as appropriate. Please coordinate with PCD Project Manager prior to making any collateral or escrow payments.

Add the following note:
Public and Common Subdivision Improvements:
No lot or interest therein, shall be sold, conveyed, or transferred whether by deed or by contract, nor shall building permits be issued, until and unless either the required public and common development improvements have been constructed and completed and preliminarily accepted in accordance with the Subdivision Improvements Agreement between the applicant/owner and El Paso County as recorded under Reception Number _____ in the Office of the Clerk and Recorder of El Paso County, Colorado or, in the alternative, other collateral is provided to make provision for the completion of said improvements in accordance with the policy and procedure requirements of El Paso County prior to the release by the County of any lots for sale, conveyance or transfer.
This plat restriction may be removed or rescinded by the Board of County Commissioners or, if permitted by the Subdivision Improvements Agreement, by the Planning and Community Development Department Director upon either approval of an alternative form of collateral or completion and preliminary acceptance by the El Paso Board of County Commissioners of all improvements required to be constructed and completed in accordance with said Subdivision Improvements Agreement. The partial release of lots for sale, conveyance or transfer may only be granted in accordance with any planned partial release of lots authorized by the Subdivision Improvements Agreement.

Add Note:
The Subdivider(s) agrees on behalf of him/herself and any developer or builder successors and assignees that Subdivider and/or said successors and assigns shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program Resolution (Resolution No. 19-471), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on plat notes to ensure that a title search would find the fee obligation before sale of the property.

GENERAL NOTES

- UNLESS SHOWN OTHERWISE, ALL FRONT LOT LINES SHALL HEREBY BE PLATTED WITH A (5') AND (10') WIDE PUBLIC UTILITY AND DRAINAGE EASEMENT RESPECTIVELY.
- ALL STRUCTURAL FOUNDATIONS SHALL BE LOCATED AND DESIGNED BY A PROFESSIONAL ENGINEER WHO IS CURRENTLY REGISTERED IN THE STATE OF COLORADO.
- BEFORE CONSTRUCTION REFER TO THE GEOLOGIC HAZARD STUDY PREPARED BY ENTECH ENGINEERING INC. COMMON HAZARDS WILL BE MITIGATED THROUGH SITE GRADING TECHNIQUES.
- PUBLIC IMPROVEMENTS TO BE GUARANTEED BY METHODS DESCRIBED BY THE ENGINEERING CRITERIA MANUAL AND SHALL BE GUARANTEED WITH A LETTER OF CREDIT IF APPLICABLE.
- NO PART OF THIS PROPERTY FALLS IN THE 500 YEAR FLOOD PLAIN (EST. BY FEMA).
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED AND APPROVED IN WRITING TO BE ACCEPTABLE.
- BUILDERS ARE STRONGLY ENCOURAGED TO PROVIDE INDUSTRY STANDARD SOUND PROOFING MATERIALS FOR HOMES BUILT IN AREAS IMPACTED BY AIRCRAFT OPERATIONS.
- THE DEVELOPER, HOME BUILDERS AND HOA SHALL TRY TO THE BEST OF THEIR ABILITIES TO INCORPORATE THE COLORADO DIVISION OF WILDLIFE RECOMMENDATIONS FOR GARBAGE CONTAINMENT, WEED CONTROL AND RIPARIAN/WETLAND PROTECTION/BUFFER ZONES (CONTACT NUMBER: 303-2097-1192).
- THE WIDEFIELD WATER AND SANITATION DISTRICT HAS APPROVED 42 LOTS FOR THE VILLAS AT ASPEN TRAILS DEVELOPMENT. THE DEVELOPER SHALL OBTAIN WRITTEN AUTHORIZATION FROM THE WATER DISTRICT AND SANITATION DISTRICT PRIOR TO PLATTING OVER 42 LOTS.

COLORADO SPRINGS AIRPORT STANDARD NOTES

- THE APPLICANT SHALL VOLUNTARILY MAKE A 30-DB REDUCTION IN EXTERIOR NOISE PENETRATION BY SOUNDPROOFING (UTILIZING FAA-RECOMMENDATIONS) CONSTRUCTION TECHNIQUES AND PREFORMED BY A CERTIFIED ACOUSTICAL ENGINEER.

DEDICATION & TRACT MAINTENANCE

TRACTS NOTED BELOW ARE TO BE OWNED AND MAINTAINED BY ROS EQUITY HOLDINGS--INDEPENDENCE, LLC:
TRACTS A, B, C, D, AND E: OPEN SPACE, DRAINAGE, ACCESS & UTILITIES (MAY INCLUDE: RECREATIONAL EQUIPMENT, LIGHTS, SIGNAGE, MAIL BOXES AND UTILITIES/DRAINAGE).

NOTE: ALL TRACTS CAN BE USED FOR PUBLIC UTILITY IMPROVEMENTS WITH RECORDED EASEMENT.

There shall be no direct lot access to Road.

Provide note for who's maintaining private facilities.
Provide proof from state engineer of submission of "State Non-Jurisdictional Impoundment Form"

- Add following notes:**
- The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.
 - The following reports have been submitted in association with the PUD Preliminary Plan for this subdivision and are on the file at the County Planning and Community Development Department:
 - This property may be adversely impacted by noise, dust, fumes and light pollution caused by adjacent industrial and airport properties and activities. The buyer should research and be aware of this potentiality and the ramifications thereof.
 - The property is located in the airport overlay zone. This serves as notice of potential aircraft overflight and noise impacts on this property due to its close proximity to an airport, which is being disclosed to all prospective purchasers considering the use of this property. This property is subject to the overflight and associated noise of arriving and departing aircraft during the course of normal airport operations. All property within the subdivision is subject to an aviation easement as recorded in book 2478 at page 304 of the records of the El Paso County Clerk and Recorder.
 - Developer shall comply with Federal and State laws, regulations, ordinances, review and permit requirements and other agency requirements, if any, of applicable agencies including, but not limited to, the Colorado Division of Wildlife, Colorado Department of Transportation, U.S. Army Corps of Engineers, and the U.S. Fish and Wildlife Service regarding the endangered species act, particularly as related to the listed species identified in the projects environmental assessment.
 - No driveways shall be established along public streets unless an access permit has been granted by El Paso County.

LAND OWNER

ROS EQUITY HOLDINGS
17 S WAHSATCH AVE
COLORADO SPRINGS, CO 80903
719-491-1590

PETITIONER/SUBDIVIDER

DAKOTA SPRINGS ENGINEERING, LLC
31 N TEJON ST, SUITE 518
COLORADO SPRINGS, CO 80903
719-227-7388

PREPARED BY

Where the Property is Located in the Airport Overlay Zone
NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACT ASSOCIATED WITH AIRPORT: This serves as notice of potential aircraft overflight and noise impacts on this property due to its close proximity to an airport, which is being disclosed to all prospective purchasers considering the use of this property for residential and other purposes. This property is subject to the overflight and associated noise of arriving and departing aircraft during the course of normal airport operations. (Use when this plat is to provide the notice)
All property within this subdivision is subject to a Notice of Potential Aircraft Overflight and Noise Impact recorded at Reception No. _____ of the records of the El Paso County Clerk and Recorder. (Use when the Notice has previously been recorded)
All property within this subdivision is subject to an Aviation Easement as recorded at Reception No. _____ of the records of the El Paso County Clerk and Recorder. (Use only when the property is subject to an existing aviation easement as reflected in the title policy)

REAR: 25' OVERALL SUBDIVISION BUILDING HEIGHT: 30' MAX. USES: ALL RM-12 ZONE USES ARE PERMITTED.

PUD Modification Table

Provide Soils & Geology Conditions, Constraints & Hazards note

Provide Geohazard map

Dedication statements for streets, parks, trails, open space, schools, or other uses and dedication of public streets, alleys and easements to the County. All rights-of-way being dedicated to El Paso County shall be clearly labeled with the following statement: "Dedicated to El Paso County for right-of-way purposes by this plat".

Add the following note:
Easement and Tract Maintenance:
Tract _____ shall be utilized as _____ (park, neighborhood park, school site, fire station, drainage tract, etc.). Ownership and maintenance of Tract _____ shall be vested to (name the entity: El Paso County, Special District, Homeowners Association, etc.) (Where multiple tracts are included in a single PUD plan or plat, the use of a tract table is encouraged.)
Lot _____ (or Tract _____) (or entire property) of this property is subject to a Private Detention Basin/Stormwater Quality BMP Maintenance Agreement and Easement as recorded at Reception No. _____ of the records of El Paso County. The _____ HOA (or Owner or District) is responsible for maintenance of the subject drainage facilities. Watershed Dam Note (To be used when the subdivision affects or is located in areas which are inundated by the high water line of a watershed dam, or downstream in the impacted area.) No improvements shall be placed within the high water line of the reservoir or in the spillway or spillway channel. If development activities associated with this subdivision result in required modifications, repairs, enlargements to, or replacement of, any dam, spillway, spillway channel, or other water detention facility located within, or associated with, this development, developer, the homeowners' association, and/or the dam owner shall be responsible or liable for such modifications, repairs, enlargements, or replacement and the costs thereof. However, El Paso County shall not be responsible or liable for such modifications, repairs, enlargements, or replacement and the costs thereof by virtue of this subdivision approval.

Add Note When the Property is Subject to Existing or Proposed Covenants:
All property within this subdivision is subject to a Declaration of Covenants as recorded at Reception No. _____ of the records of the El Paso County Clerk and Recorder.

SP-23-004

SHEET LIST

NO.	TITLE
1	COVER
2	LOT & TRACT MAP
3	SITE PLAN
4	GRADING PLAN
5	UTILITY PLAN
6	ELEVATIONS (3--UNIT BUILDING)
7	ELEVATIONS (4--UNIT BUILDING)

NO.	DESCRIPTION	DATE

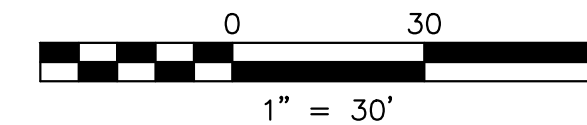
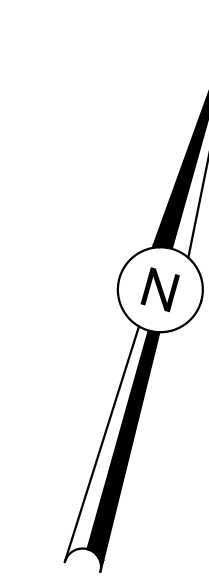
Z:\0001--Dakota Springs\02--Water\view Partners\19-08 Roy O S\CAD\Plan\sheet\ Prelim Plans\ROS - Cover.dwg

Show and label POC and POB

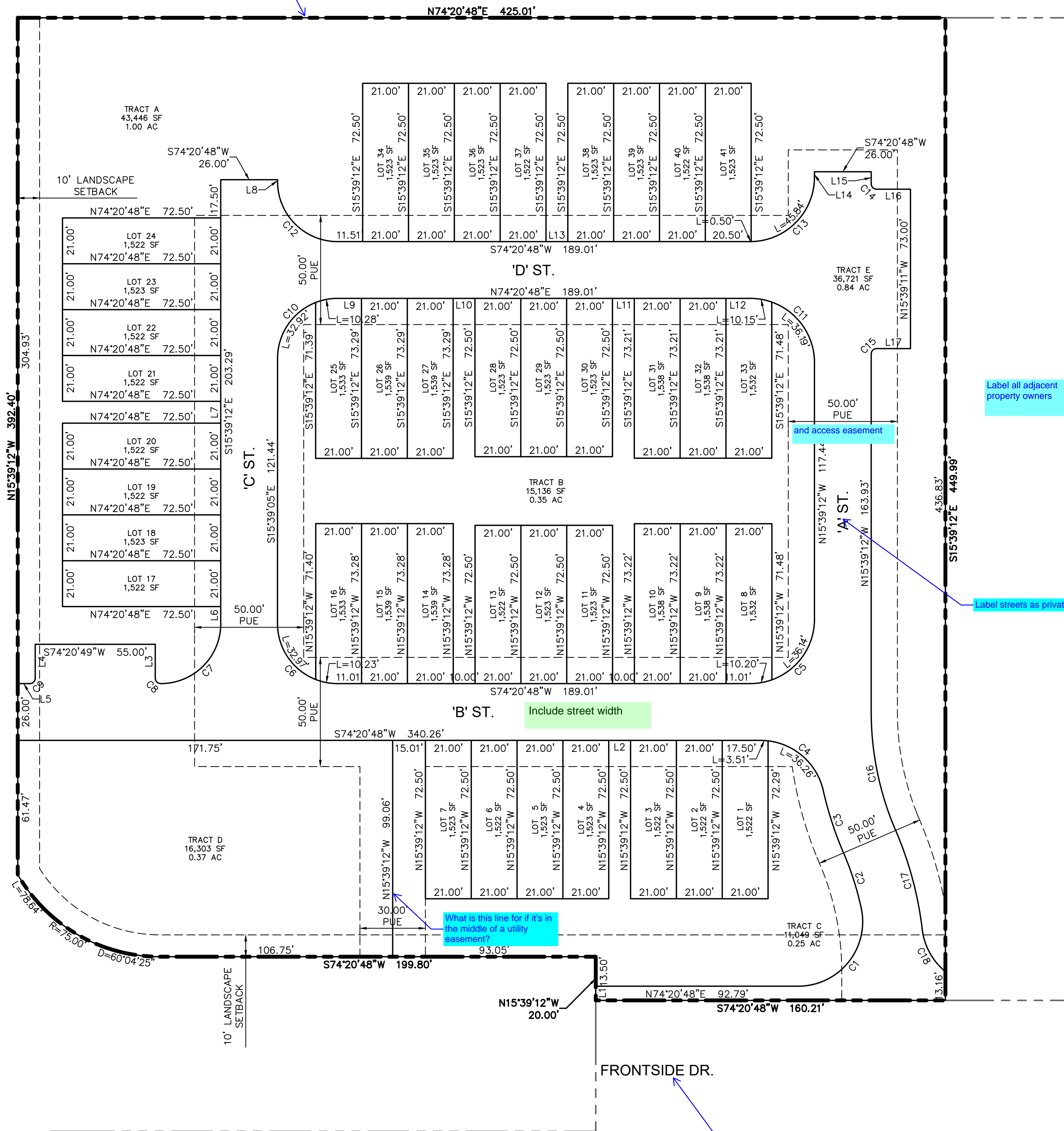
Label property boundary

LEGACY HILL DR.

BRADLEY RD.



Include legend that denotes linework



LINE TABLE		
LINE #	LENGTH	BEARING
L1	6.50'	N15°39'12"W
L2	10.00'	S74°20'47"W
L3	15.50'	N15°39'11"W
L4	15.50'	S15°39'11"E
L5	5.50'	S74°20'48"W
L6	7.79'	S15°39'12"E
L7	10.00'	S15°39'12"E
L8	0.85'	N15°39'19"W
L9	10.96'	S74°20'48"W
L10	10.00'	S74°20'48"W
L11	10.00'	S74°20'48"W
L12	11.05'	S74°20'48"W
L13	10.00'	S74°20'47"W
L14	2.50'	S15°39'12"E
L15	5.50'	N15°39'12"W
L16	15.50'	S74°20'49"W
L17	15.50'	N74°20'49"E

CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	52.62'	29.50'	102°11'34"
C2	26.61'	137.00'	11°07'41"
C3	30.06'	163.00'	10°33'57"
C4	39.77'	29.50'	77°14'43"
C5	46.34'	29.50'	90°00'00"
C6	43.20'	27.50'	89°59'59"
C7	43.20'	27.50'	90°00'33"
C8	3.93'	2.50'	89°59'42"
C9	3.93'	2.50'	89°59'10"
C10	43.20'	27.50'	90°00'00"
C11	46.34'	29.50'	90°00'04"
C12	43.20'	27.50'	90°00'00"
C13	46.34'	29.50'	90°00'00"
C14	3.93'	2.50'	90°00'00"
C15	3.93'	2.50'	90°00'01"
C16	55.76'	137.00'	23°19'14"
C17	47.07'	163.00'	16°32'47"
C18	22.64'	29.50'	43°58'31"

Label all adjacent property owners

and access easement

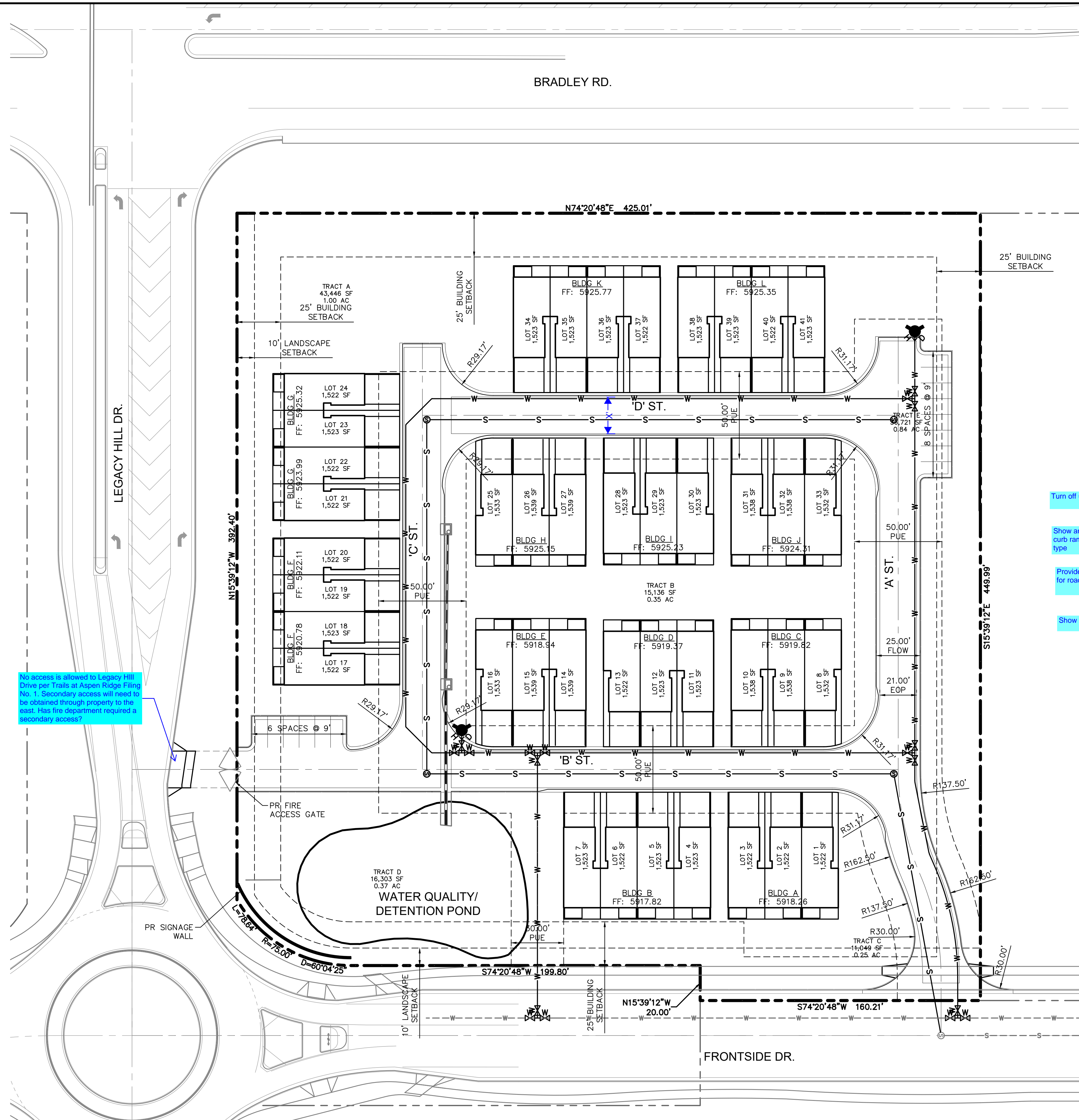
Label streets as private

Include street width

What is this line for if it's in the middle of a utility easement?

Show & label all easements

Include ROW width and roadway classification for all roads



No access is allowed to Legacy Hill Drive per Trails at Aspen Ridge Filing No. 1. Secondary access will need to be obtained through property to the east. Has fire department required a secondary access?

OPEN SPACE CALCULATIONS

PROVIDED OPEN SPACE	
TOTAL AREA =	185,242 SF
UNIT AREA =	62,586 SF (33.8%)
DRIVE AND PARKING	36,721 SF (19.8%)
TOTAL OPEN SPACE	85,935 SF (46.4%)

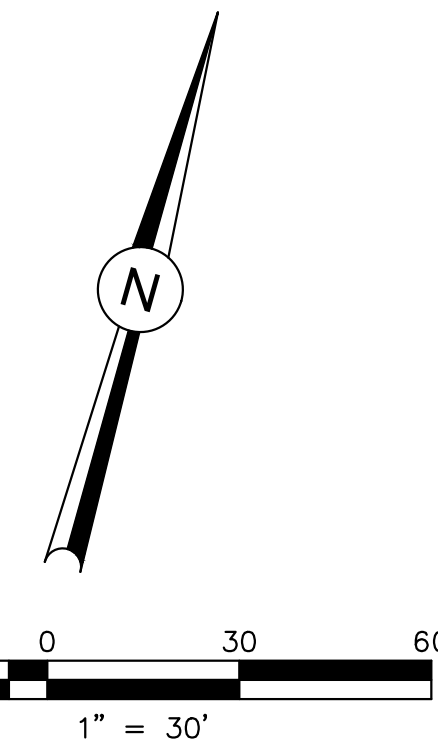
Include cross section of roads

Turn off utilities on this sheet

Show and label all sidewalk, curb ramps, cross pans, curb type

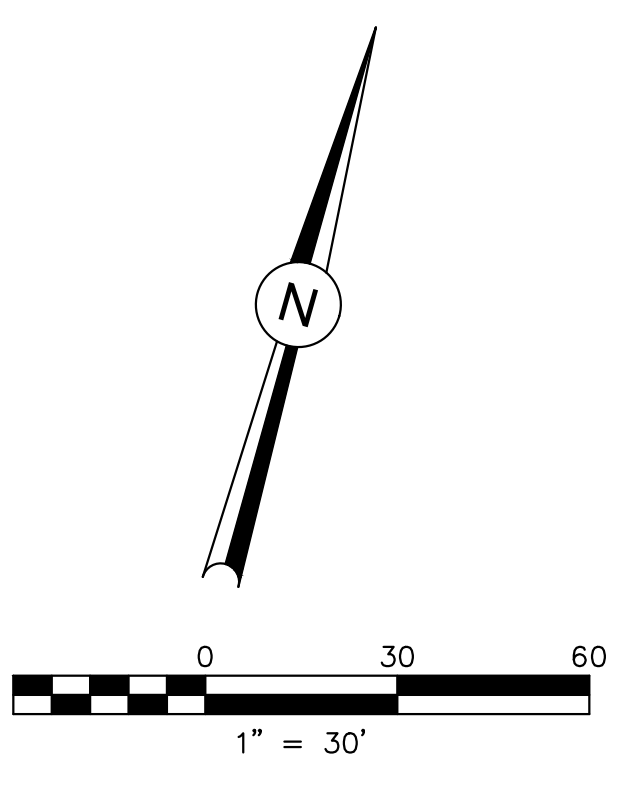
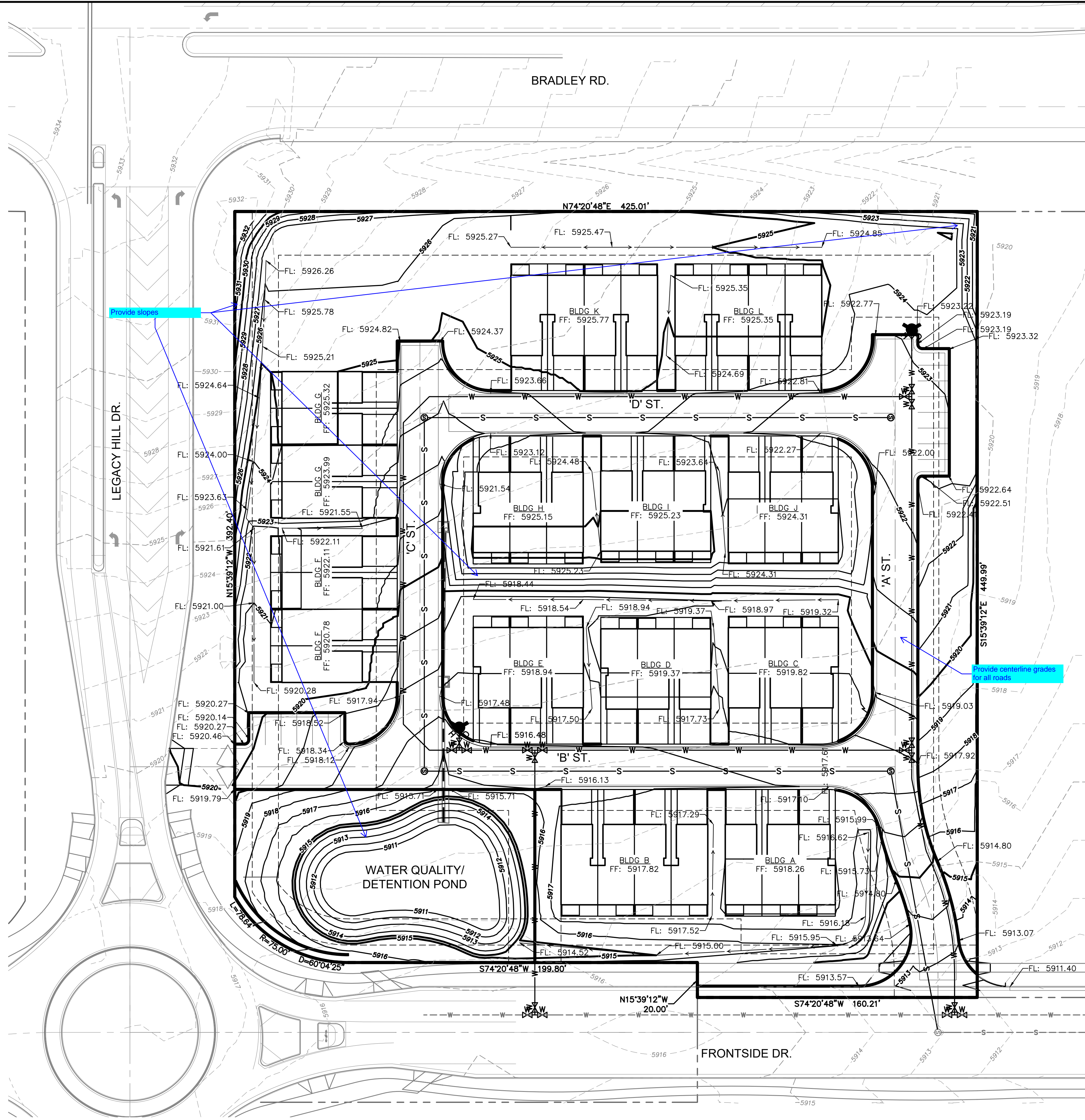
Provide centerline information for roads.

Show and label sidewalk



REVISIONS:	NO.	DESCRIPTION	DATE
PROJECT NUMBER:	0219-06		
SHEET	3	OF	7

Z:\0001-Dakota Springs\02-Waterview Partners\19-06 Roy O S\CAD\Plansheets\Prelim Plans\RD5 - Grading.dwg



Provide legend

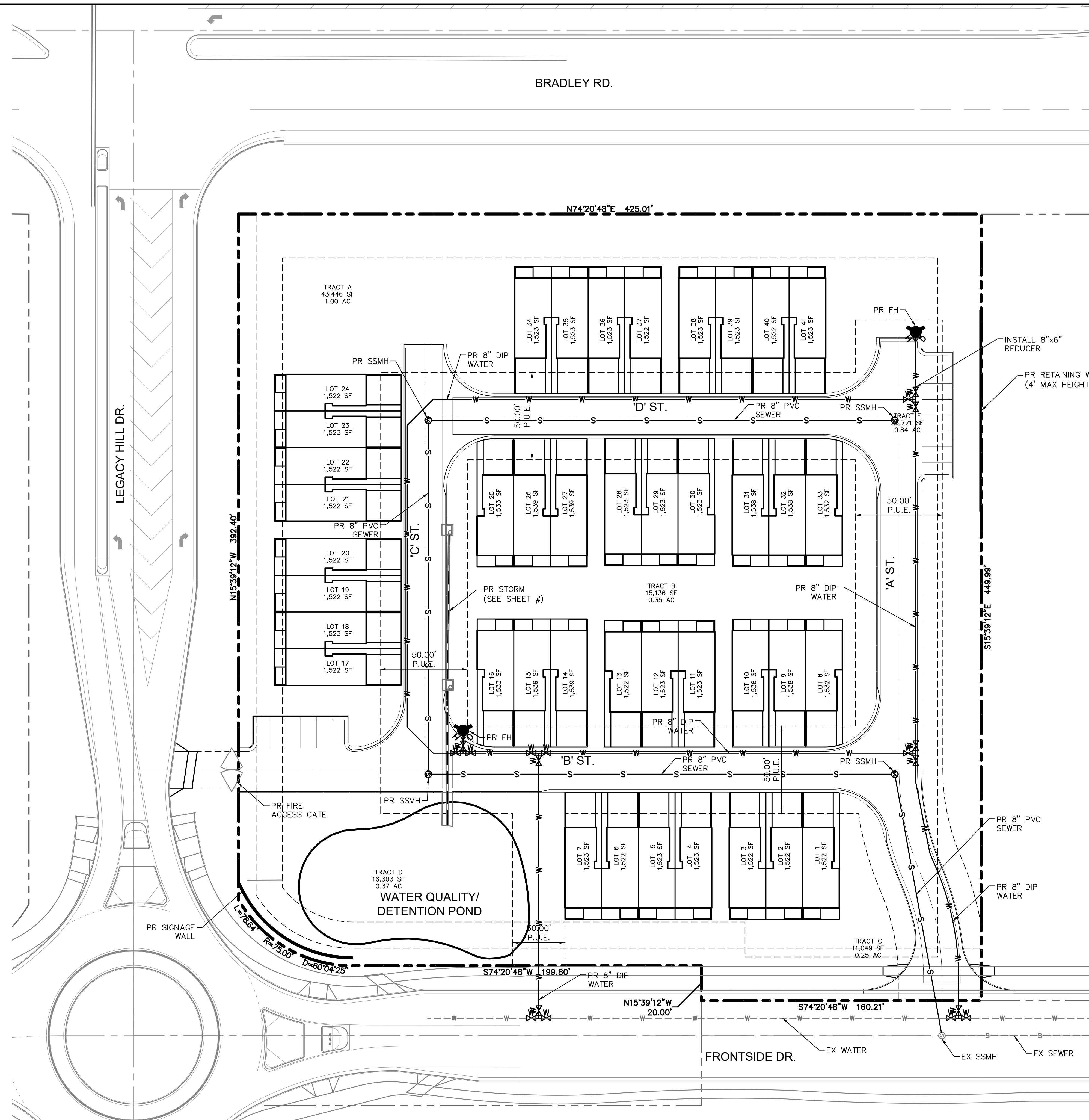
Turn off utilities on this sheet.

VILLAS AT ASPEN TRAILS
 PRELIMINARY PLAN
 GRADING PLAN

NO.	DESCRIPTION	DATE

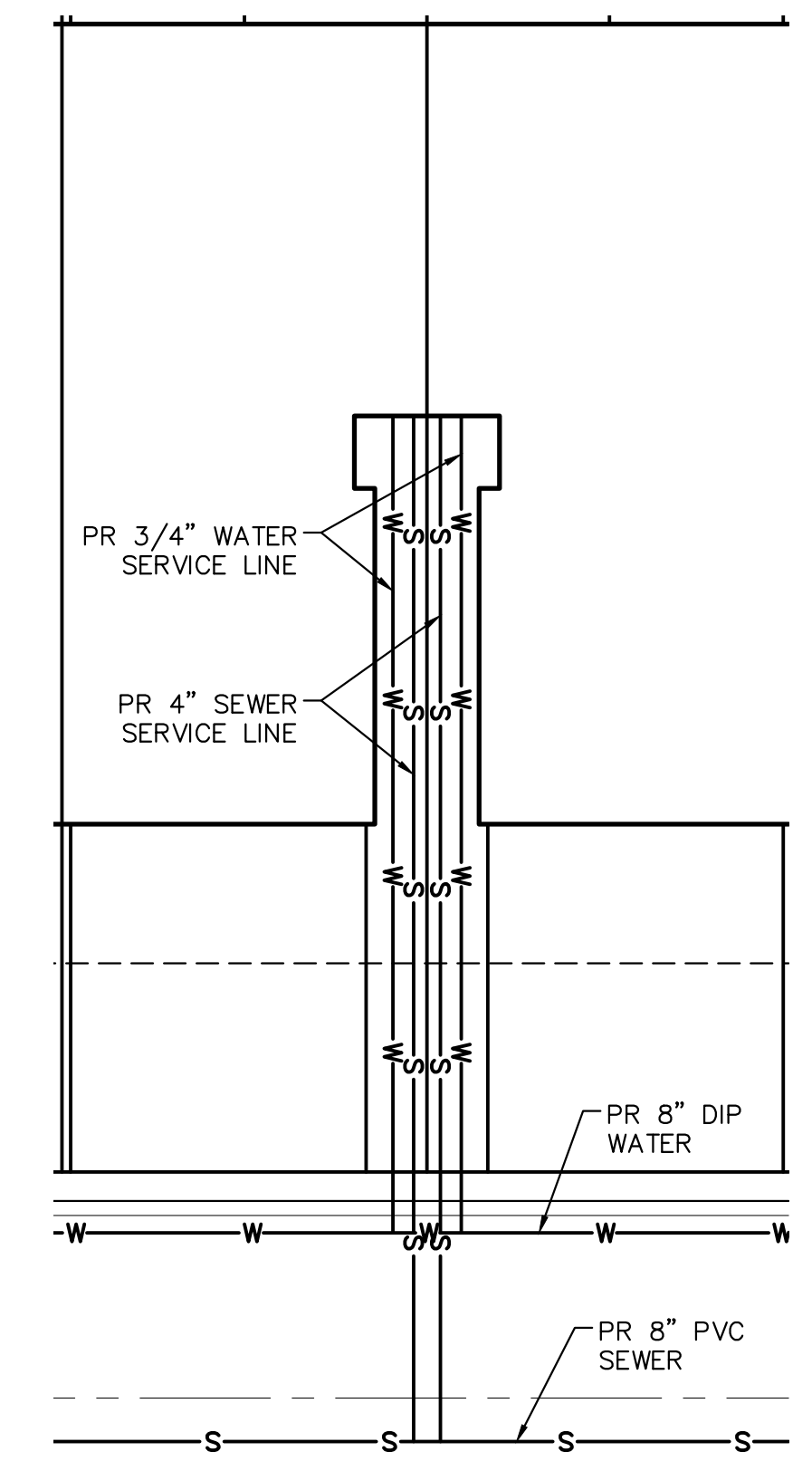
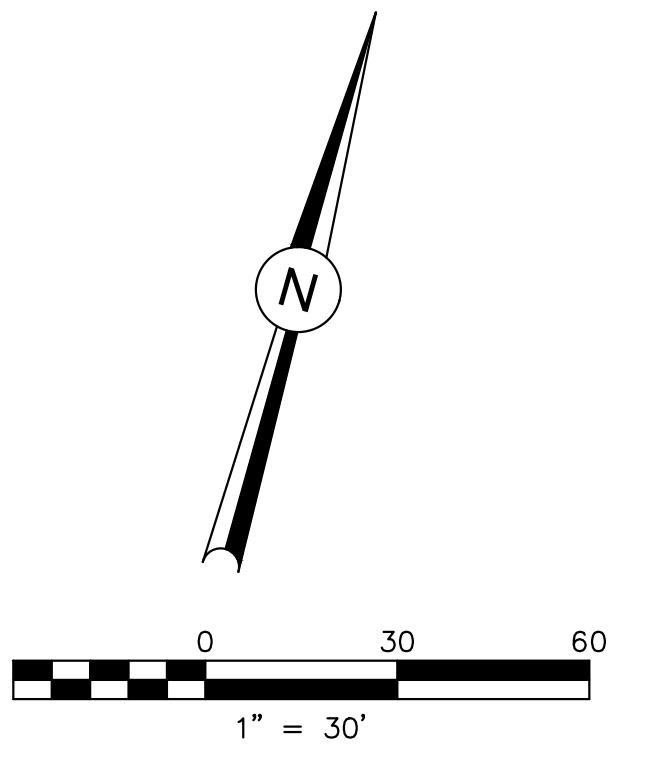
PROJECT NUMBER: 0219-06
 SHEET 4 OF 7

Z:\0001-Dakota Springs\02-Waterview Partners\19-08 Roy O S\CAD\Plansheets\Prelim Plans\RO5 - Utility.dwg



FIRE LANE NOTES

1. ALL CURB NOT LOCATED WITHIN A STALL TO BE PAINTED AND HAVE "NO PARKING FIRE LANE" PAINTED IN REFLECTIVE WHITE PAINT.



UTILITY SERVICE CONNECTION DETAIL

- SERVICE CONNECTION NOTES**
1. MAINTAIN 12" SEPARATION FROM OUTSIDE EDGE OF FOUNDATION WALL AND OUTSIDE EDGE OF 3/4" WATER SERVICE LINE.
 2. MAINTAIN 12" SEPARATION FROM OUTSIDE EDGE OF 3/4" WATER SERVICE LINE AND 4" SEWER SERVICE LINE.

Dakota Springs Engineering
Engineering Consultants
 31 N. TEJON, SUITE 518
 COLORADO SPRINGS, CO 80903
 P: (719) 427-7388 F: (719) 427-7392

811 Know what's below. Call 811 before you dig.

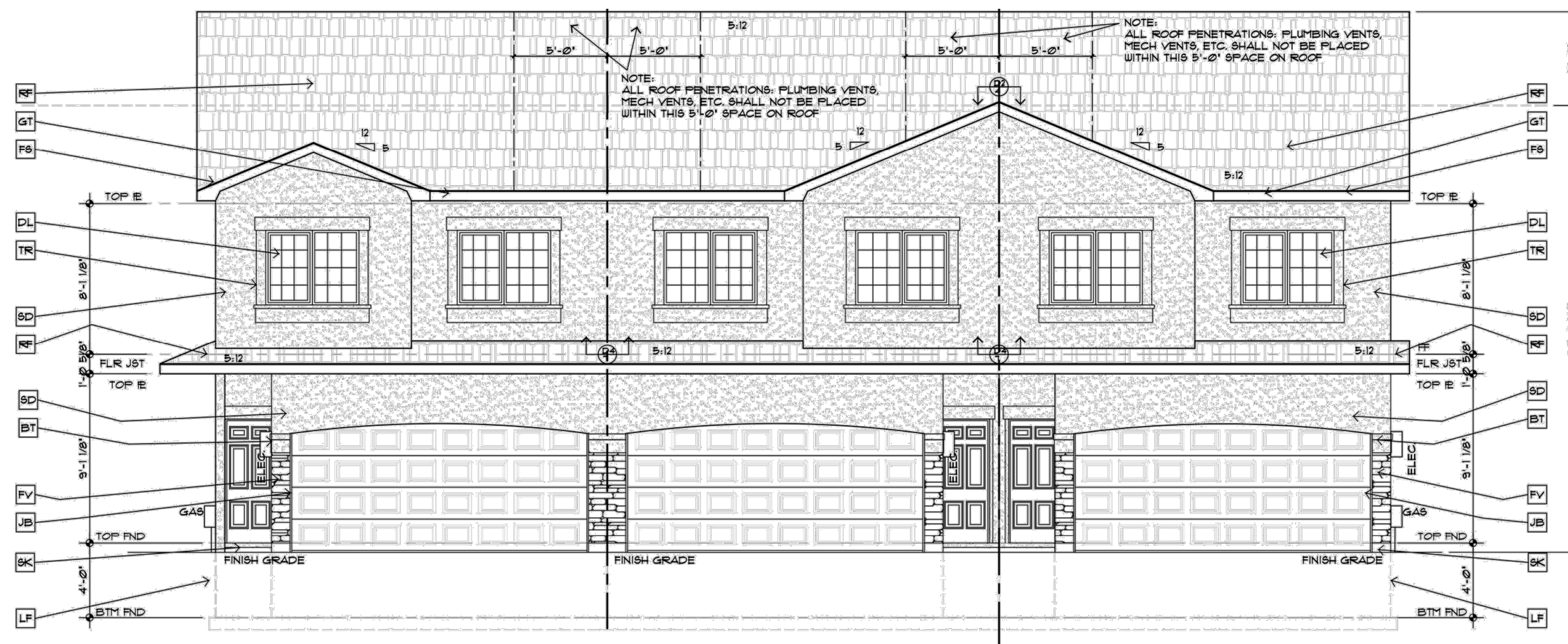
SCALE: 1"=30'
 VERT:
 STATION:
 FROM:
 TO:

DESIGNED BY: J.M. DATE: 10.22.22
 DRAWN BY: J.M. DATE: 10.25.22
 CHECKED BY: DATE:

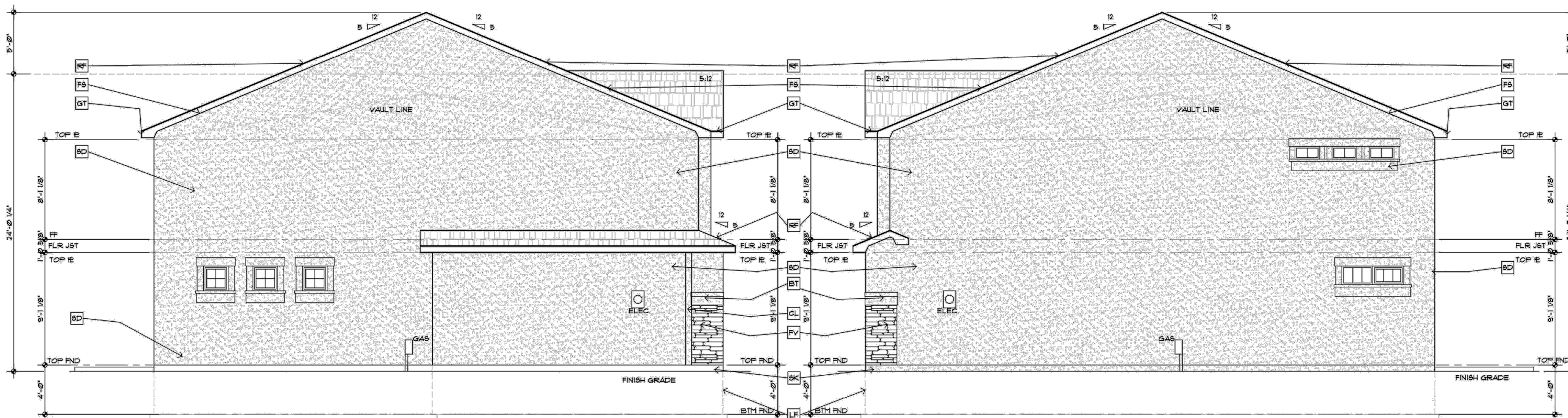
VILLAS AT ASPEN TRAILS
PRELIMINARY PLAN
UTILITY PLAN

NO.	DESCRIPTION	DATE

PROJECT NUMBER: **0219-06**
 SHEET **5** OF **7**

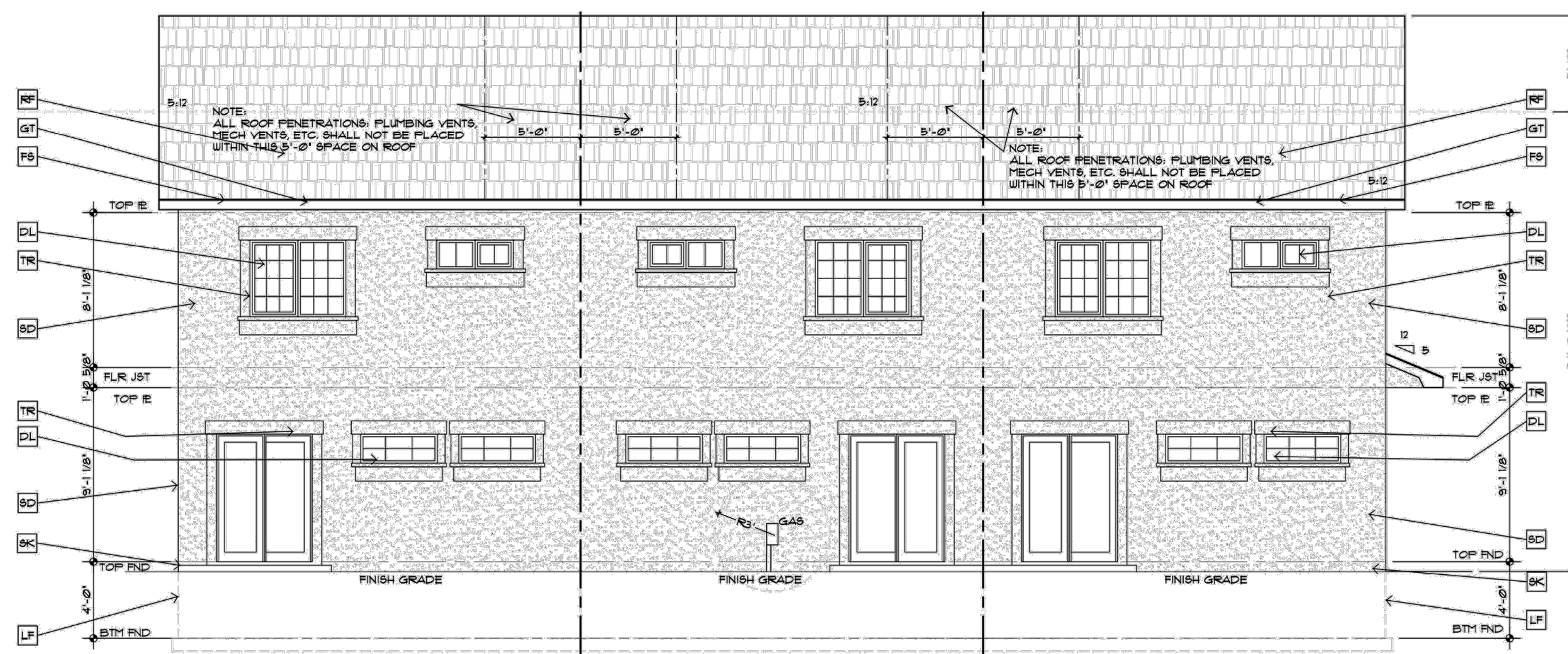


FRONT ELEVATION
SCALE 3/16"=1'-0"



LEFT SIDE ELEVATION
SCALE 3/16"=1'-0"

RIGHT SIDE ELEVATION
SCALE 3/16"=1'-0"



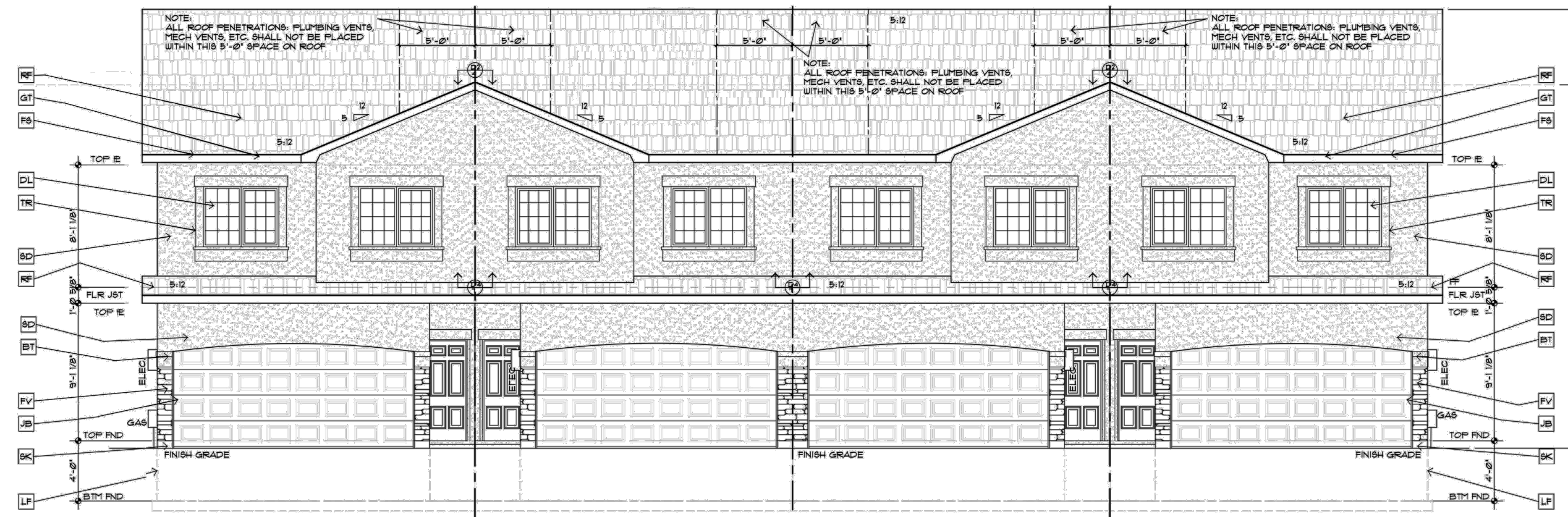
REAR ELEVATION
SCALE 3/16"=1'-0"

ELEVATION KEY NOTES:

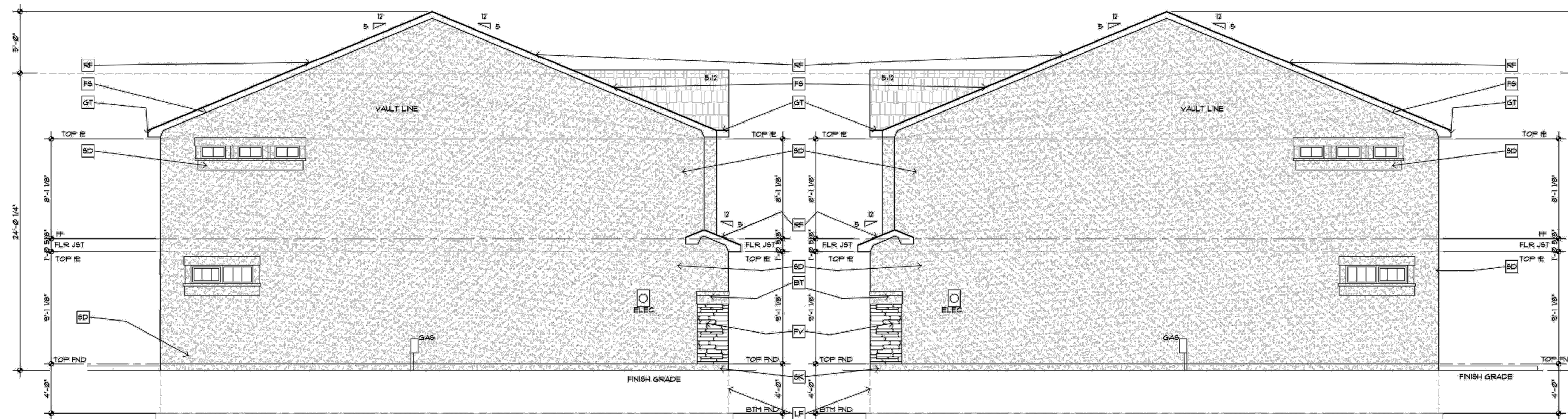
- RF ASPH SHINGLE ROOFING (CLASS A) OVER 30" BUILDING FELT OVER 1/16" APA RATED ROOF SHTG. OVER FACTORY BUILT ROOF TRUSSES OR RAFTERS.
- FS 1x8 SMOOTH CEDAR FASCIA OVER 2x4 SUB-FASCIA w/3/4" SMOOTH AOX FLYWOOD SOFFIT
- GT 6" GUTTER OVER FASCIA w/DRAIN SPOUTS, FIELD LOCATED. (MAX. ROOF AREA TO DRAIN @ SPOUTS SHALL BE 100 SF.)
- FV FALSE STONE VENEER
- TR 1x6 SIDE 4 2x8 TOP 4 BTM BUILT-UP STUCCO BOARD
- SD 3-COAT 3/4" COLOR STUCCO OVER 1/16" OSB SHTG w/15" BUILDING FELT
- BT BUILT-UP STUCCO TRIM
- BL 2x6 BALLOON WALL BUILD PER STD SPACING CHART TO BTM CHORD OF MFG. TRUSS OR RAFTER
- JB 2x6 FIR JAMB MATERIAL
- SK STUCCO SKIM COAT FINISH OVER EXPOSED FND
- DL DIVIDED LITES PER OWNER/CONTRACTOR
- CL STUCCO WRAP COLUMN
- FT PROVIDE FOOTING AS NECESSARY PER ENGINEER ALSO PROVIDE FOUNDATION DRAIN
- LF LINE OF FOUNDATION WALL
- CP CONC. PIER PER ENGINEER

GENERAL NOTES TO EXTERIOR:
 1) OVERHANGS SHALL BE 24" EAVES, 12" GABLE ENDS, PROVIDE 6" MIN GUTTERS, TROUS FAST BACKFILL AREAS
 2) ROOF VENTILATION SHALL COMPLY WITH IBC 1503.3, 175 SQ. FT. UPPER ROOF AND OR 35 SQ. FT. UPPER ROOF TOTAL EQUAL SPACED FOR ROOF AREAS.
 3) ALL NOTES ON SECTIONS AND ELEVATIONS SHALL APPLY TO ALL OTHER SECTIONS AND/OR ELEVATIONS OF LIKE OR SIMILAR APPLICATIONS.

Z:\0001-Dakota Springs\02-Waterview Partners\19-08 Roy O S\CAD\plansheets\Prelim Plans\RO5 - Elevations.dwg

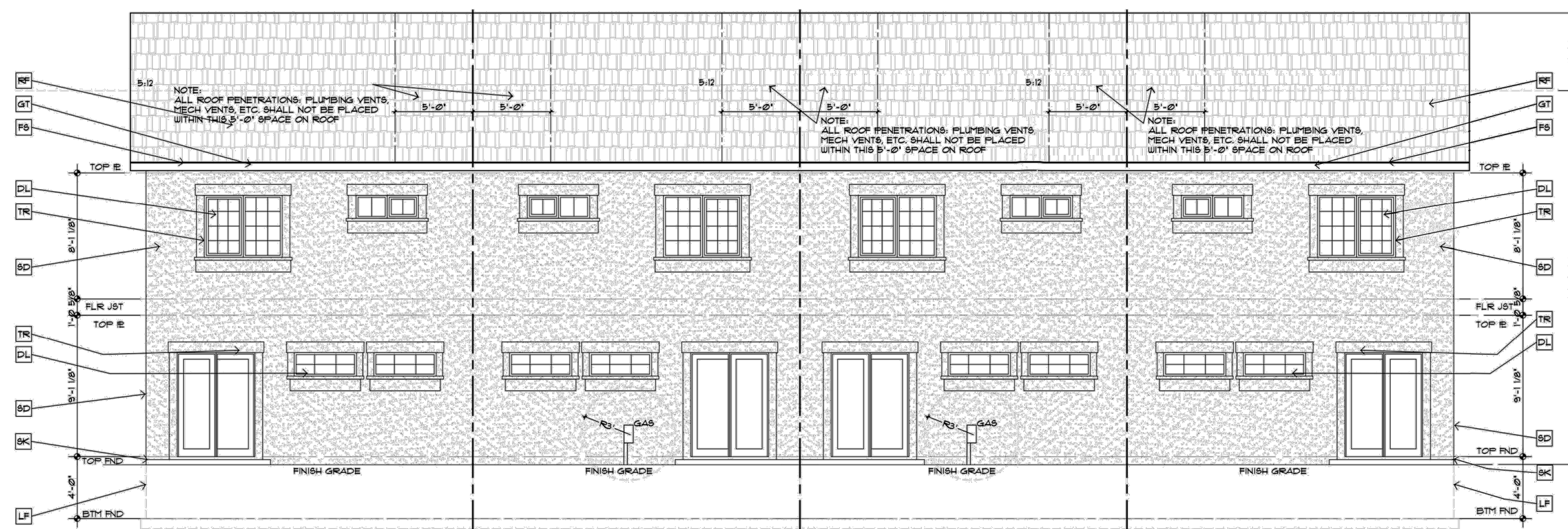


FRONT ELEVATION
SCALE 3/16"=1'-0"



LEFT SIDE ELEVATION
SCALE 3/16"=1'-0"

RIGHT SIDE ELEVATION
SCALE 3/16"=1'-0"



REAR ELEVATION
SCALE 3/16"=1'-0"

ELEVATION KEY NOTES:

- RF** ASPH SHINGLE ROOFING (CLASS A) OVER 30" BUILDING FELT OVER 1/16" APA RATED ROOF SHTG. OVER FACTORY BUILT ROOF TRUSSES OR RAFTERS.
- FS** 1x8 SMOOTH CEDAR FASCIA OVER 2x4 SUB-FASCIA w/3/8" SMOOTH A/CX FLYWOOD SOFFIT
- GT** 6" GUTTER OVER FASCIA w/DOWN SPOUTS, FIELD LOCATED. (MAX. ROOF AREA TO DRAIN @ SPOUTS SHALL BE 100 SF.)
- FV** FALSE STONE VENEER
- TR** 1x6 SIDE 4 2x8 TOP 4 BTM BUILT-UP STUCCO BOARD
- SD** 3-COAT 3/4" COLOR STUCCO OVER 1/16" OSB SHTG w/15" BUILDING FELT
- BT** BUILT-UP STUCCO TRIM
- BL** 2x6 BALLOON WALL BUILD PER STD SPACING CHART TO BTM CHORD OF MFG. TRUSS OR RAFTER
- JB** 2x6 FIR JAMB MATERIAL
- SK** STUCCO SKIM COAT FINISH OVER EXPOSED FND
- DL** DIVIDED LITES PER OWNER/CONTRACTOR
- CL** STUCCO WRAP COLUMN
- FT** PROVIDE FOOTING AS NECESSARY PER ENGINEER ALSO PROVIDE FOUNDATION DRAIN
- LF** LINE OF FOUNDATION WALL
- CP** CONC. PIER PER ENGINEER

GENERAL NOTES TO EXTERIOR:
 1) OVERHANGS SHALL BE 24" EAVES, 12" GABLE ENDS, PROVIDE 6" MIN GUTTERS.
 2) ALL OVERHANGS AND DOWNSPOUTS AT ALL CORNERS OR 30' INTERVALS WITH TROITS FAST BACKFILL AREAS.
 3) ROOF VENTILATION SHALL COMPLY WITH IBC 1503.3. 115 SQ. FT. UPPER ROOF AND OR 35 SQ. FT. UPPER ROOF TOTAL EQUAL SPACED FOR ROOF AREAS.
 4) ALL NOTES ON SECTIONS AND ELEVATIONS SHALL APPLY TO ALL OTHER SECTIONS AND/OR ELEVATIONS OF LIKE OR SIMILAR APPLICATIONS.

NO.	DESCRIPTION	DATE

PROJECT NUMBER: 0219-06
 SHEET 7 OF 7

Z:\0001-Dakota Springs\02-Waterview Partners\19-08 Ray O S\CAD\plansheets\Prelim Plans\ROS - Elevations.dwg

V1_Preliminary Plan Redlines.pdf Markup Summary

Access Limitation: (1)

TRACTS A, B, C, D, AND E: OPEN SPACE, EQUIPMENT, LIGHTS, STORAGE, MAIL BOXES
NOTE: ALL TRACTS CAN BE USED FOR PU
There shall be no direct lot access to _____ Road.

Subject: Access Limitation:
Page Label: [1] 1 COVER
Author: CDurham
Date: 10/9/2023 8:46:04 AM
Status:
Color: ■
Layer:
Space:

There shall be no direct lot access to _____ Road.

Address (2)

Addresses:
The addresses exhibited on this plat are for informational purposes only. They are not the legal description and are subject to change.

Subject: Address
Page Label: [1] 1 COVER
Author: Kylie Bagley
Date: 10/10/2023 9:30:57 AM
Status:
Color: ■
Layer:
Space:

Addresses:
The addresses exhibited on this plat are for informational purposes only. They are not the legal description and are subject to change.

Add the following note:
Addresses:
The addresses exhibited on this plat are for informational purposes only. They are not the legal description and are subject to change.

Subject: Address
Page Label: [1] 1 COVER
Author: Kylie Bagley
Date: 10/10/2023 11:55:37 AM
Status:
Color: ■
Layer:
Space:

Add the following note:

Addresses:
The addresses exhibited on this plat are for informational purposes only. They are not the legal description and are subject to change.

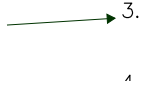
Airport Overlay (1)

79-00-138
PREPARED BY:
KYLIE BAGLEY
10/10/2023 9:37:15 AM
Map for Public Review
10/10/2023 9:37:15 AM
Map No. 79-00-138

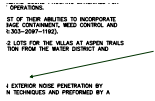
Subject: Airport Overlay
Page Label: [1] 1 COVER
Author: Kylie Bagley
Date: 10/10/2023 9:37:15 AM
Status:
Color: ■
Layer:
Space:

Where the Property is Located in the Airport Overlay Zone
NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACT ASSOCIATED WITH AIRPORT: This serves as notice of potential aircraft overflight and noise impacts on this property due to its close proximity to an airport, which is being disclosed to all prospective purchasers considering the use of this property for residential and other purposes. This property is subject to the overflight and associated noise of arriving and departing aircraft during the course of normal airport operations. (Use when this plat is to provide the notice)
All property within this subdivision is subject to a Notice of Potential Aircraft Overflight and Noise Impact recorded at Reception No. _____, of the records of the El Paso County Clerk and Recorder. (Use when the Notice has previously been recorded)
All property within this subdivision is subject to an Avigation Easement as recorded at Reception No. _____, of the records of the El Paso County Clerk and Recorder. (Use only when the property is subject to an existing avigation easement as reflected in the title policy)

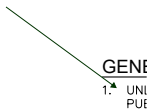
Arrow (3)



Subject: Arrow
Page Label: [1] 1 COVER
Author: Kylie Bagley
Date: 10/10/2023 9:18:07 AM
Status:
Color: ■
Layer:
Space:

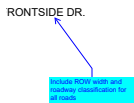


Subject: Arrow
Page Label: [1] 1 COVER
Author: Kylie Bagley
Date: 10/10/2023 9:20:20 AM
Status:
Color: ■
Layer:
Space:



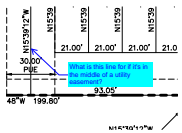
Subject: Arrow
Page Label: [1] 1 COVER
Author: Kylie Bagley
Date: 10/10/2023 11:53:55 AM
Status:
Color: ■
Layer:
Space:

Callout (9)



Subject: Callout
Page Label: [2] 2 LOT & TRACT MAP
Author: CDurham
Date: 10/9/2023 8:25:53 AM
Status:
Color: ■
Layer:
Space:

Include ROW width and roadway classification for all roads



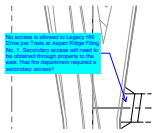
Subject: Callout
Page Label: [2] 2 LOT & TRACT MAP
Author: CDurham
Date: 10/5/2023 6:23:54 PM
Status:
Color: ■
Layer:
Space:

What is this line for if it's in the middle of a utility easement?



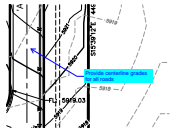
Subject: Callout
Page Label: [2] 2 LOT & TRACT MAP
Author: CDurham
Date: 10/5/2023 6:25:06 PM
Status:
Color: ■
Layer:
Space:

Label property boundary



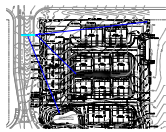
Subject: Callout
Page Label: [3] 3 SITE PLAN
Author: CDurham
Date: 10/5/2023 6:36:30 PM
Status:
Color: ■
Layer:
Space:

No access is allowed to Legacy Hill Drive per Trails at Aspen Ridge Filing No. 1. Secondary access will need to be obtained through property to the east. Has fire department required a secondary access?



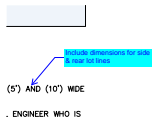
Subject: Callout
Page Label: [4] 4 GRADING PLAN
Author: CDurham
Date: 10/5/2023 6:31:17 PM
Status:
Color: ■
Layer:
Space:

Provide centerline grades for all roads



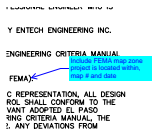
Subject: Callout
Page Label: [4] 4 GRADING PLAN
Author: CDurham
Date: 10/5/2023 6:31:57 PM
Status:
Color: ■
Layer:
Space:

Provide slopes



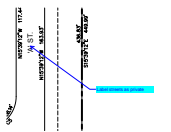
Subject: Callout
Page Label: [1] 1 COVER
Author: CDurham
Date: 10/9/2023 8:23:23 AM
Status:
Color: ■
Layer:
Space:

Include dimensions for side & rear lot lines



Subject: Callout
Page Label: [1] 1 COVER
Author: CDurham
Date: 10/9/2023 8:24:00 AM
Status:
Color: ■
Layer:
Space:

Include FEMA map zone project is located within, map # and date



Subject: Callout
Page Label: [2] 2 LOT & TRACT MAP
Author: CDurham
Date: 10/9/2023 8:27:47 AM
Status:
Color: ■
Layer:
Space:

Label streets as private

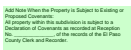
Collateral (1)



Subject: Collateral
Page Label: [1] 1 COVER
Author: Kylie Bagley
Date: 10/10/2023 11:58:29 AM
Status:
Color: ■
Layer:
Space:

Informational comment: please note that El Paso County Planning and Community Development cannot and will not accept collateral or escrow (use whichever necessary) payment until plat recording (for plats), escrow agreement is signed and recorded (for escrow), financial assurance form is signed and approved (for FAE no plat). Any collateral or escrow payments that are received prior to the appropriate conditions being met will not be accepted and will be returned until such time payment is deemed as appropriate. Please coordinate with PCD Project Manager prior to making any collateral or escrow payments.

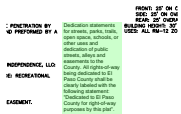
Covenants (1)



Subject: Covenants
Page Label: [1] 1 COVER
Author: Kylie Bagley
Date: 10/10/2023 11:57:44 AM
Status:
Color: ■
Layer:
Space:

Add Note When the Property is Subject to Existing or Proposed Covenants:
All property within this subdivision is subject to a Declaration of Covenants as recorded at Reception No. _____, of the records of the El Paso County Clerk and Recorder.

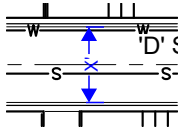
Dedication Statement (1)



Subject: Dedication Statement
Page Label: [1] 1 COVER
Author: Kylie Bagley
Date: 10/10/2023 11:57:02 AM
Status:
Color: ■
Layer:
Space:

Dedication statements for streets, parks, trails, open space, schools, or other uses and dedication of public streets, alleys and easements to the County. All rights-of-way being dedicated to El Paso County shall be clearly labeled with the following statement: "Dedicated to El Paso County for right-of-way purposes by this plat".

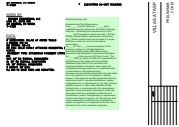
Dimension (1)



Subject: Dimension
Page Label: [3] 3 SITE PLAN
Author: CDurham
Date: 10/5/2023 6:26:16 PM
Status:
Color: ■
Layer:
Space:

X'

Easement&Tract Maintenance (1)



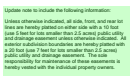
Subject: Easement&Tract Maintenance
Page Label: [1] 1 COVER
Author: Kylie Bagley
Date: 10/10/2023 11:54:57 AM
Status:
Color: ■
Layer:
Space:

Add the following note:

Easement and Tract Maintenance:
Tract _____ shall be utilized as _____ (park, neighborhood park, school site, fire station, drainage tract, etc). Ownership and maintenance of Tract _____ shall be vested to (name the entity: El Paso County, Special District, Homeowners Association, etc.) (Where multiple tracts are included in a single PUD plan or plat, the use of a tract table is encouraged.)
Lot ____ (or Tract ____) (or entire property) of this property is subject to a Private Detention Basin/Stormwater Quality BMP Maintenance Agreement and Easement as recorded at Reception No. _____ of the records of El Paso County. The _____ HOA (or Owner or District) is responsible for maintenance of the subject drainage facilities.

Watershed Dam Note (To be used when the subdivision affects or located in areas which are inundated by the high water line of a watershed dam, or downstream in the impacted area.)
No improvements shall be placed within the high water line of the reservoir or in the spillway or spillway channel. If development activities associated with this subdivision result in required modifications, repairs, enlargements to, or replacement of, any dam, spillway, spillway channel, or other water detention facility located within, or associated with, this development, developer, the homeowners' association, and/or the dam owner shall be responsible or liable for such modifications, repairs, enlargements, or replacement and the costs thereof. However, El Paso County shall not be responsible or liable for such modifications, repairs, enlargements, or replacement and the costs thereof by virtue of this subdivision approval,

Easements (1)



13 SOUTH, RANGE 63 WEST OF THE 4TH

Subject: Easements
Page Label: [1] 1 COVER
Author: Kylie Bagley
Date: 10/10/2023 11:54:20 AM
Status:
Color: ■
Layer:
Space:

Update note to include the following information:

Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 10 foot (use 5 feet for lots smaller than 2.5 acres) public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries are hereby platted with a 20 foot (use 7 feet for lots smaller than 2.5 acres) public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.

Gas and Electric (1)

Add the following note Gas and Electric:
The subdivider/developer is responsible for extending utilities to each lot, tract or building site.
Gas and electric service for this subdivision is provided by _____ (Provider name(s)) subject to the District's (Providers) rules, regulations and specifications. (Combined note, which can be broken into separate notes for gas or electric in the case of different providers)
ER
2023
1 AM
NOV, CO 80903

Subject: Gas and Electric
Page Label: [1] 1 COVER
Author: Kylie Bagley
Date: 10/10/2023 9:32:52 AM
Status:
Color: ■
Layer:
Space:

Add the following note Gas and Electric:
The subdivider/developer is responsible for extending utilities to each lot, tract or building site.

Gas and electric service for this subdivision is provided by _____ (Provider name(s)) subject to the District's (Providers) rules, regulations and specifications. (Combined note, which can be broken into separate notes for gas or electric in the case of different providers)

Mailboxes (1)

Add the following note:
Mailboxes shall be installed in accordance with all El Paso County and United States Postal Service regulations.

Subject: Mailboxes
Page Label: [1] 1 COVER
Author: Kylie Bagley
Date: 10/10/2023 9:30:50 AM
Status:
Color: ■
Layer:
Space:

Add the following note:
Mailboxes shall be installed in accordance with all El Paso County and United States Postal Service regulations.

Planner (2)

Include legend that denotes linework

Subject: Planner
Page Label: [2] 2 LOT & TRACT MAP
Author: Kylie Bagley
Date: 10/10/2023 1:49:55 PM
Status:
Color: ■
Layer:
Space:

Include legend that denotes linework

0' 21.00' 21.00' 10.00' 21.00'
42°48'W 189.01'

Include street width

Subject: Planner
Page Label: [2] 2 LOT & TRACT MAP
Author: Kylie Bagley
Date: 10/10/2023 2:01:03 PM
Status:
Color: ■
Layer:
Space:

Include street width

21.00' 21.00' L2 21.00'

Private Road (1)

Add the following note:
Private Roads:
The private roads as shown on this plat will not be maintained by El Paso County until and unless the streets are constructed in conformance with El Paso County standards in effect at the date of the request for dedication and maintenance.

Subject: Private Road
Page Label: [1] 1 COVER
Author: Kylie Bagley
Date: 10/10/2023 1:42:01 PM
Status:
Color: ■
Layer:
Space:

Add the following note:

Private Roads:
The private roads as shown on this plat will not be maintained by El Paso County until and unless the streets are constructed in conformance with El Paso County standards in effect at the date of the request for dedication and maintenance.

Road Impact (1)

ADD NOTE
The Subdivider(s) agrees on behalf of himself and any Developer or Builder, successors and assignees that Subdivider and/or said successors and assignees shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program Resolution (Resolution No. 19-471), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on plat notes to ensure that a title search would find the fee obligation before sale of the property.

Subject: Road Impact
Page Label: [1] 1 COVER
Author: Kylie Bagley
Date: 10/10/2023 11:58:08 AM
Status:
Color: ■
Layer:
Space:

Add Note:

The Subdivider(s) agrees on behalf of him/herself and any developer or builder successors and assignees that Subdivider and/or said successors and assignees shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program Resolution (Resolution No. 19-471), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on plat notes to ensure that a title search would find the fee obligation before sale of the property.

Soils & Geology (1)

ADD NOTE
The Subdivider(s) agrees on behalf of himself and any Developer or Builder, successors and assignees that Subdivider and/or said successors and assignees shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program Resolution (Resolution No. 19-471), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on plat notes to ensure that a title search would find the fee obligation before sale of the property.

Subject: Soils & Geology
Page Label: [1] 1 COVER
Author: Kylie Bagley
Date: 10/10/2023 9:18:48 AM
Status:
Color: ■
Layer:
Space:

Please change note 3 to the following note:

Soil and Geology Conditions:
Geologic Hazard Note-Final Plat: (to be customized based upon the individual circumstances)
The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report (Title of Report, generally from the Preliminary Plan file) by (author of the report) (date of report) in file (name of file and file number) available at the El Paso County Planning and Community Development Department:
▪Downslope Creep: (name lots or location of area)
▪Rockfall Source:(name lots or location of area)
▪Rockfall Runout Zone:(name lots or location of area)
▪Potentially Seasonally High Groundwater:(name lots or location of area)
▪Other Hazard:
In Areas of High Groundwater:
Due to high groundwater in the area, all foundations shall incorporate an underground drainage system.

Subdivision Improvements (1)



Subject: Subdivision Improvements
Page Label: [1] 1 COVER
Author: Kylie Bagley
Date: 10/10/2023 9:28:35 AM
Status:
Color: ■
Layer:
Space:

Add the following note:

Public and Common Subdivision Improvements: No lot or interest therein, shall be sold, conveyed, or transferred whether by deed or by contract, nor shall building permits be issued, until and unless either the required public and common development improvements have been constructed and completed and preliminarily accepted in accordance with the Subdivision Improvements Agreement between the applicant/owner and El Paso County as recorded under Reception Number _____ in the Office of the Clerk and Recorder of El Paso County, Colorado or, in the alternative, other collateral is provided to make provision for the completion of said improvements in accordance with the El Paso County Land Development Code and Engineering Criteria Manual. Any such alternative collateral must be approved by the Board of County Commissioners or, if permitted by the Subdivision Improvements Agreement, by the Planning and Community Development Department Director and meet the policy and procedure requirements of El Paso County prior to the release by the County of any lots for sale, conveyance or transfer.

This plat restriction may be removed or rescinded by the Board of County Commissioners or, if permitted by the Subdivision Improvements Agreement, by the Planning and Community Development Department Director upon either approval of an alternative form of collateral or completion and preliminary acceptance by the El Paso Board of County Commissioners of all improvements required to be constructed and completed in accordance with said Subdivision Improvements Agreement. The partial release of lots for sale, conveyance or transfer may only be granted in accordance with any planned partial release of lots authorized by the Subdivision Improvements Agreement.

Text Box (16)

SP-23-004

Subject: Text Box
Page Label: [1] 1 COVER
Author: CDurham
Date: 10/5/2023 6:15:59 PM
Status:
Color: ■
Layer:
Space:

SP-23-004

Label all adjacent property owners

Subject: Text Box
Page Label: [2] 2 LOT & TRACT MAP
Author: CDurham
Date: 10/5/2023 6:16:43 PM
Status:
Color: ■
Layer:
Space:

Label all adjacent property owners

Subject: Text Box
Page Label: [3] 3 SITE PLAN
Author: CDurham
Date: 10/5/2023 6:17:52 PM
Status:
Color: ■
Layer:
Space:

Include cross section of roads

Include cross section of roads

Subject: Text Box
Page Label: [2] 2 LOT & TRACT MAP
Author: CDurham
Date: 10/5/2023 6:18:08 PM
Status:
Color: ■
Layer:
Space:

Show and label POC and POB

Show and label POC and POB

BUILDING HEIGHT: 30' MAX.
USES: ALL RM-12 ZONE USES

Subject: Text Box
Page Label: [1] 1 COVER
Author: CDurham
Date: 10/5/2023 6:22:13 PM
Status:
Color: ■
Layer:
Space:

PUD Modification Table

PUD Modification Table

Subject: Text Box
Page Label: [2] 2 LOT & TRACT MAP
Author: CDurham
Date: 10/5/2023 6:32:46 PM
Status:
Color: ■
Layer:
Space:

Show & label all easements

Show & label all easements

Subject: Text Box
Page Label: [3] 3 SITE PLAN
Author: CDurham
Date: 10/5/2023 6:24:52 PM
Status:
Color: ■
Layer:
Space:

Turn off utilities on this sheet

Turn off utilities on this sheet

Subject: Text Box
Page Label: [3] 3 SITE PLAN
Author: CDurham
Date: 10/5/2023 6:28:39 PM
Status:
Color: ■
Layer:
Space:

Show and label all sidewalk, curb ramps, cross pans, curb pans, curb type

Show and label all sidewalk, curb ramps, cross pans, curb type

Provide centerline information for roads.

Subject: Text Box
Page Label: [3] 3 SITE PLAN
Author: CDurham
Date: 10/5/2023 6:28:55 PM
Status:
Color: ■
Layer:
Space:

Provide centerline information for roads.

Turn off utilities on this sheet.

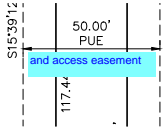
Subject: Text Box
Page Label: [4] 4 GRADING PLAN
Author: CDurham
Date: 10/5/2023 6:31:01 PM
Status:
Color: ■
Layer:
Space:

Turn off utilities on this sheet.

Provide legend

Subject: Text Box
Page Label: [4] 4 GRADING PLAN
Author: CDurham
Date: 10/5/2023 6:32:20 PM
Status:
Color: ■
Layer:
Space:

Provide legend



Subject: Text Box
Page Label: [2] 2 LOT & TRACT MAP
Author: CDurham
Date: 10/9/2023 8:27:57 AM
Status:
Color: ■
Layer:
Space:

and access easement

Subject: Text Box
Page Label: [1] 1 COVER
Author: CDurham
Date: 10/9/2023 8:46:06 AM
Status:
Color: ■
Layer:
Space:

Provide note for who's maintaining private facilities.

Provide proof from state engineer of submission of "State Non-Jurisdictional Impoundment Form"

Add following notes;

-The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

-The following reports have been submitted in association with the PUD Preliminary Plan for this subdivision and are on the file at the County Planning and Community Development Department:

-This property may be adversely impacted by noise, dust, fumes and light pollution caused by adjacent industrial and airport properties and activities. The buyer should research and be aware of this potentiality and the ramifications thereof.

-The property is located in the airport overlay zone. This serves as notice of potential aircraft overflight and noise impacts on this property due to its close proximity to an airport, which is being disclosed to all prospective purchasers considering the use of this property. this property is subject to the overflight and associated noise of arriving and departing aircraft during the course of normal airport operations. all property within the subdivision is subject to an aviation easement as recorded in book 2478 at page 304 of the records of the El Paso County Clerk and Recorder.

-Developer shall comply with Federal and State laws, regulations, ordinances, review and permit requirements and other agency requirements, if any, of applicable agencies including, but not limited to, the Colorado Division of Wildlife, Colorado Department of Transportation, U.S. Army Corps of Engineers, and the U.S. Fish and Wildlife Service regarding the endangered species act, particularly as related to the listed species identified in the projects environmental assessment.

-No driveways shall be established along public streets unless an access permit has been granted by El Paso County.

Subject: Text Box
Page Label: [1] 1 COVER
Author: CDurham
Date: 10/9/2023 8:47:25 AM
Status:
Color: ■
Layer:
Space:

Provide Soils & Geology Conditions, Constraints & Hazards note

Subject: Text Box
Page Label: [3] 3 SITE PLAN
Author: CDurham
Date: 10/9/2023 10:50:38 AM
Status:
Color: ■
Layer:
Space:

Show and label sidewalk

Show and label sidewalk

Subject: Text Box
Page Label: [1] 1 COVER
Author: CDurham
Date: 10/9/2023 11:20:40 AM
Status:
Color: ■
Layer:
Space:

Provide Geohazard map

Provide Geohazard map

Wastewater (1)

Subject: Wastewater
Page Label: [1] 1 COVER
Author: Kylie Bagley
Date: 10/10/2023 9:31:55 AM
Status:
Color: ■
Layer:
Space:

Add the following note:
Water and wastewater service for this subdivision is provided by the _____ (District or provider name(s)) subject to the District's (Providers) rules, regulations and specifications. (Combined note, which can be broken into separate notes for water or sewer in the case of different providers)

Add the following note:
Water and wastewater service for this subdivision is provided by the _____ (District or provider name(s)) subject to the District's (Providers) rules, regulations and specifications. (Combined note, which can be broken into separate notes for water or sewer in the case of different providers)