

REAGAN RANCH INDUSTRIAL DEVELOPMENT PLAN

LOT 1, FILING NO.1 OF A PARCEL OF LAND SITUATED IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

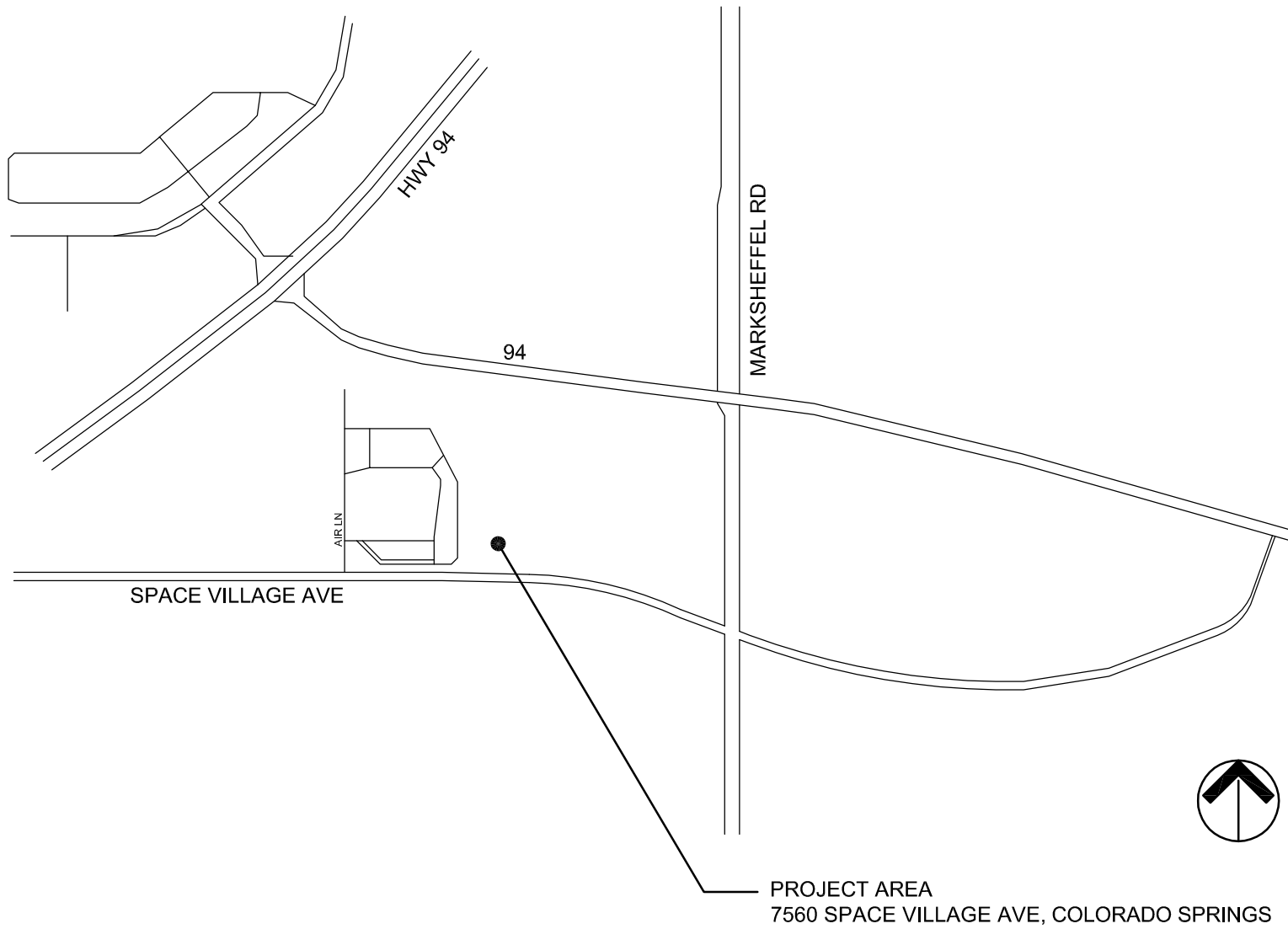
LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 17, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO; WITH BEARINGS REFERENCED TO A PORTION OF THE SOUTHERLY LINE OF PARCEL 5 OF THAT SPECIAL WARRANTY DEED RECORDED MARCH 20, 1995 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDED IN BOOK 6620 AT PAGE 203, BEING MONUMENTED AT BOTH ENDS BY A 3.25" ALUMINUM CAP R.O.W. MONUMENT STAMPED "PLS 9014" FOUND FLUSH WITH THE GROUND, AND IS ASSUMED TO BEAR S83°37'51"E A DISTANCE OF 973.54'.
BEGINNING AT THE NORTHWESTERLY END OF THE ABOVE DESCRIBED LINE;
THENCE COINCIDENT WITH THE SOUTHERLY RIGHT OF WAY LINE OF HIGHWAY 94 THE FOLLOWING TWO (2) COURSES:
1. THENCE SOUTH 83°37'51" EAST, A DISTANCE OF 973.54 FEET;
2. THENCE SOUTH 76°45'11" EAST, A DISTANCE OF 271.26 FEET;
THENCE SOUTH 00°31'49" EAST, A DISTANCE OF 598.48 FEET;
THENCE SOUTH 00°15'10" EAST, A DISTANCE OF 236.21 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF SPACE VILLAGE AVENUE;
THENCE SOUTH 89°41'17" WEST, COINCIDENT WITH SAID NORTHERLY RIGHT OF WAY LINE, A DISTANCE OF 932.97 FEET;
THENCE NORTH 00°26'55" WEST, A DISTANCE OF 449.71 FEET;
THENCE NORTH 88°56'59" EAST, A DISTANCE OF 33.25 FEET;
THENCE NORTH 00°24'43" WEST, A DISTANCE OF 139.37 FEET TO A NON-TANGENT CURVE HAVING A RADIUS OF 905.37 FEET, WHOSE CENTER BEARS NORTH 34°17'10" EAST;
THENCE NORTHWESTERLY AND COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 34°29'09", AN ARC DISTANCE OF 544.93 FEET AND HAVING A CHORD THAT BEARS NORTH 38°28'15" WEST, A DISTANCE OF 536.75 FEET TO THE POINT OF BEGINNING.

NOTES

- NO VARIANCE TO BE ALLOWED
- SIGNAGE IS NOT APPROVED WITH THIS PLAN; A SEPARATE SIGN PERMIT IS REQUIRED PRIOR TO CONSTRUCTION
- FLOODPLAIN STATEMENT.** FLOODPLAIN STATEMENT INCLUDING COMMUNITY MAP NUMBER AND DATE, INDICATE WHETHER THE SITE IS OR IS NOT LOCATED WITHIN A DESIGNED FLOODPLAIN.
- GEOLOGICAL HAZARD DISCLOSURE.** "THIS PROPERTY IS SUBJECT TO THE FINDING SUMMARY AND CONCLUSIONS OF A GEOLOGIC HAZARD REPORT PREPARED BY Ninyo and Moore DATED March 15, 2024, WHICH IDENTIFIED THE FOLLOWING SPECIFIC GEOLOGIC HAZARD ON THE PROPERTY: Fill material and potentially collapsible Eolian deposits.
COPY OF SAID REPORT HAS BEEN PLACED WITHIN FILE # _____ OR WITHIN THE SUBDIVISION FILE _____
OF THE CITY OF COLORADO SPRINGS PLANNING AND DEVELOPMENT TEAM. CONTACT THE PLANNING AND DEVELOPMENT TEAM. CONTACT THE PLANNING AND DEVELOPMENT TEAM, 30 SOUTH NEVADA AVE, STE 701, COLORADO SPRINGS, IF YOU WOULD LIKE TO REVIEW SAID REPORT."
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

VICINITY MAP



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303.296.4443

SITE DATA

THE STANDARDS PROPOSED FOR THE PROJECT FOLLOW THOSE PERMITTED FOR BP (BUSINESS PARK) ZONING DISTRICT AS DEFINED IN THE CITY OF COLORADO SPRINGS ZONING ORDINANCE

TAX NUMBERS 5408000054, 5408002009, 5408002018
CURRENT ADDRESS 7560 SPACE VILLAGE AVE

	EXISTING LOT	REQ'D/ MIN ALLOWED	PROPOSED LOT 1	PROPOSED LOT 2
LOT AREA	21.05 AC	N/A	11.3 AC	9.74 AC
BUILDING FLOOR AREA	NO (E) BUILDING		155,895 SF	138,247 SF
LOT COVERAGE	0%	N/A	31.7%	32.6%
CONSTRUCTION TYPE	-		II-B W/ ESFR SPRINKLER	II-B W/ ESFR SPRINKLER
ZONE DISTRICT	BR, AP22, AP-O		BR, AP22, AP-O	BR, AP22, AP-O
LAND USE	-	RESEARCH, MANUF., LIGHT INDUSTRIAL, WAREHOUSE, WHOLESALERS, OFFICE	LIGHT INDUSTRIAL/ WAREHOUSE/ OFFICE AND OTHER ALLOWED BY SECTION 7.3.2-A FOR BP	LIGHT INDUSTRIAL/ WAREHOUSE/ OFFICE AND OTHER ALLOWED BY SECTION 7.3.2-A FOR BP
BUILDING HEIGHT	-	45'	40'	40'
FLOOR AREA RATIO	-		0.317	0.326
SETBACK FRONT & SIDE STREET SIDE CORNER SIDE STREET REAR TO RESIDENTIAL PER IBC FOR UNLIMITED BLDG AREA	-	20' MIN, - MAX 10' 20' MIN 25' 100' 60'	106.8' 133.4' - 100' - >60'	144.8' 169.1' - 100' - >60'
OTHER SETBACKS LANDSCAPE BUFFER - ARTERIAL FRONT PARKING		25' 20'	30' 30'	104.9' >20'
PARKING STANDARD ADA	-	RE: PARKING CALCULATION	240 5 STANDARDS + 2 VANS	202 5 STANDARDS + 2 VANS
LANDSCAPE AREA	-	10%	172,042 SF = 35%	123,478 SF = 29%

PARKING CALCULATION

OFFICE 1 PER 500 GFA
LIGHT INDUSTRIAL 1 PER 1,000 GFA
WAREHOUSE 1 PER 1,000 GFA

LOT 1/ BUILDING 1 - 155,895 SF

20% OFFICE	(31,179 SF)	62
20% INDUSTRIAL	(31,179 SF)	31
60% WAREHOUSE	(93,537 SF)	94
TOTAL REQ'D		187
TOTAL PROVIDED		240

LOT 2/ BUILDING 2 - 138,247 SF

20% OFFICE	(27,649 SF)	55
20% INDUSTRIAL	(27,649 SF)	28
60% WAREHOUSE	(82,948 SF)	83
TOTAL REQ'D		166
TOTAL PROVIDED		202

*PARKING CALCULATION IS DONE BASED ON THE ASSUMPTION OF USES % AND WILL BE ADJUSTED LATER WHEN TENANTS ARE KNOWN.

REVISIONS:

REVISIONS:	CITY APPROVAL:
DEVELOPMENT SUBMITTAL #1	02.23.2024

EVstudio

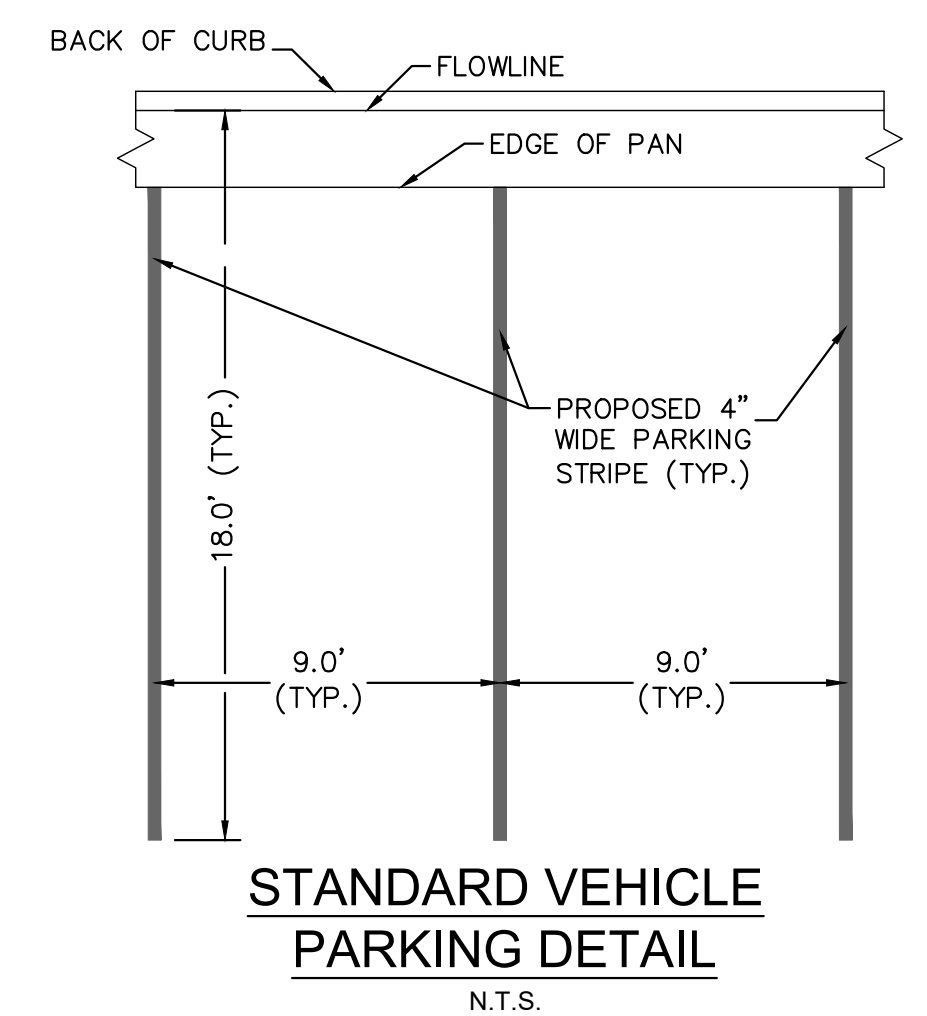
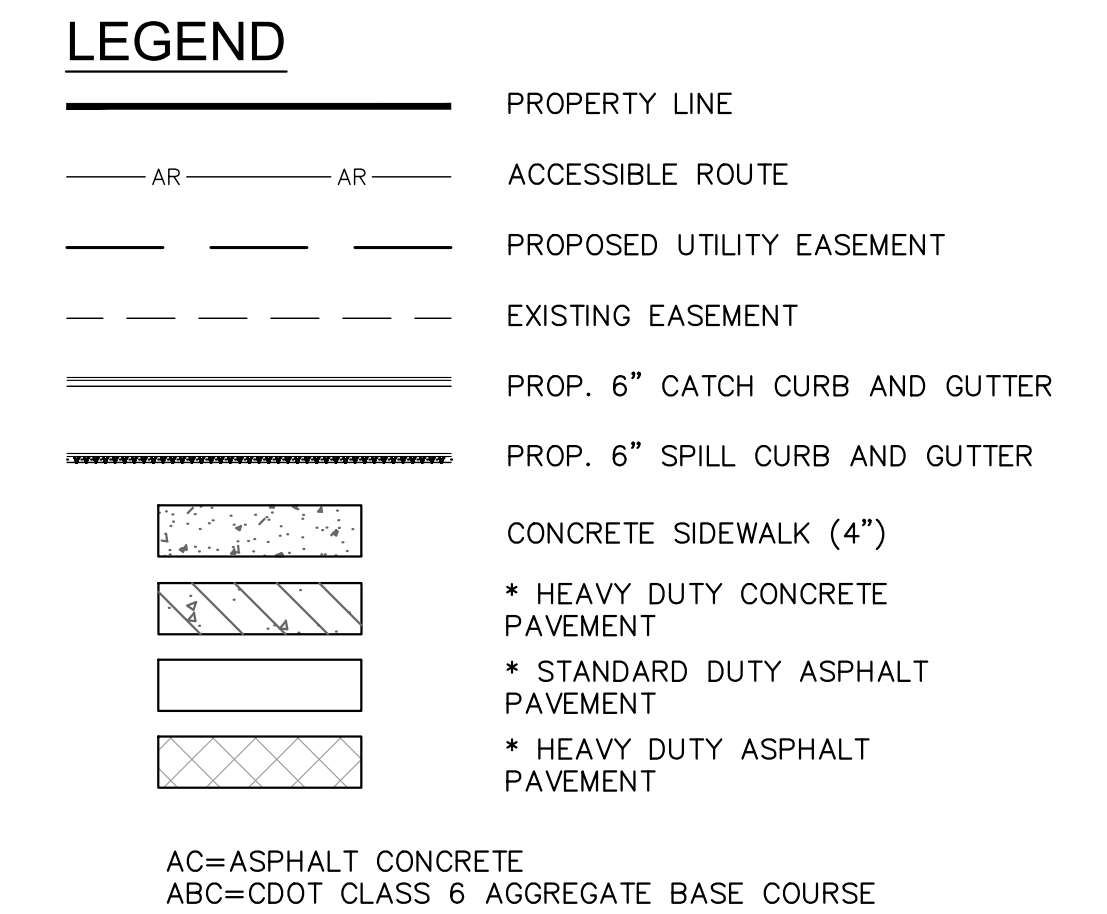
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Evergreen, CO
Meridian, ID
Austin, TX

303.670.7242

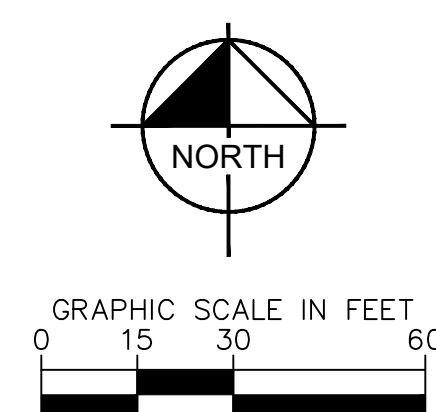
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COVER SHEET
SHEET 01 OF 23

LOT 1, FILING NO.1 OF A PARCEL OF LAND SITUATED IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



CITY APPROVAL:



SITE PLAN SHEET 1 OF 4
SHEET 2 OF 23

REAGAN RANCH INDUSTRIAL DEVELOPMENT PLAN - CITY FILE NO. DEPN-24-00XX

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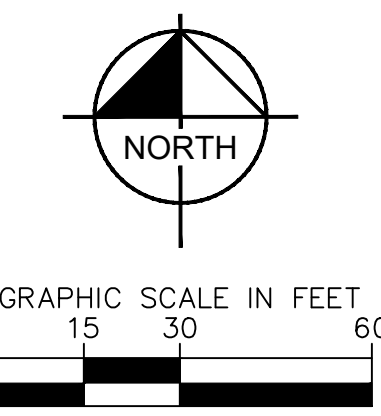
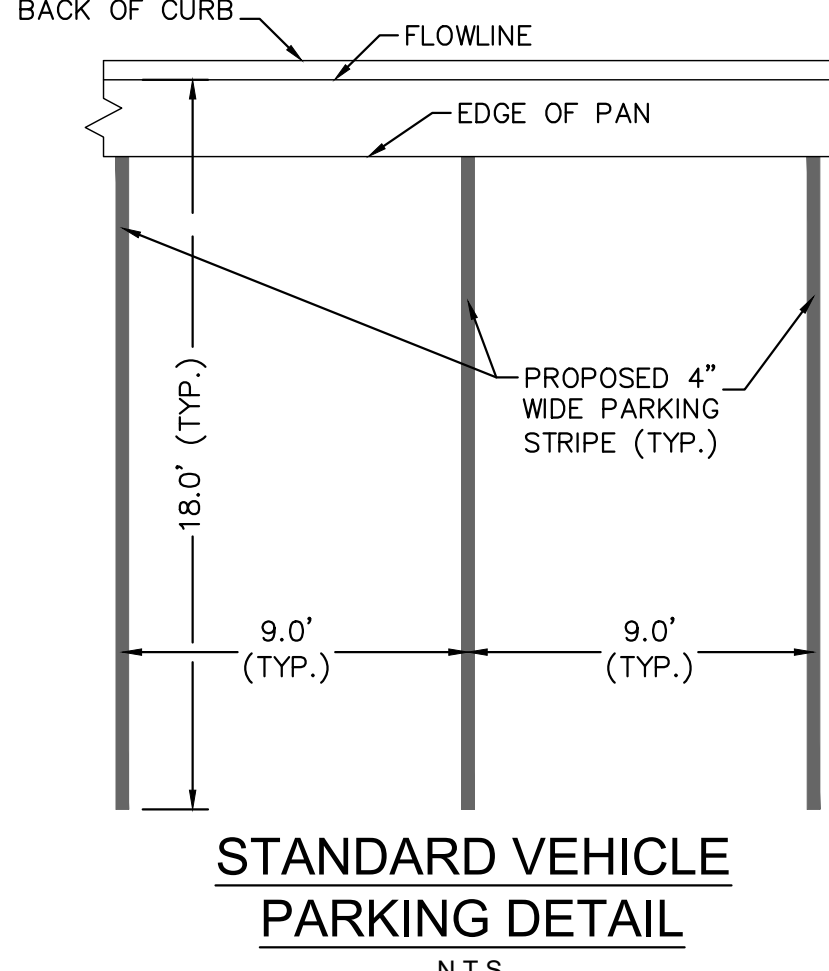
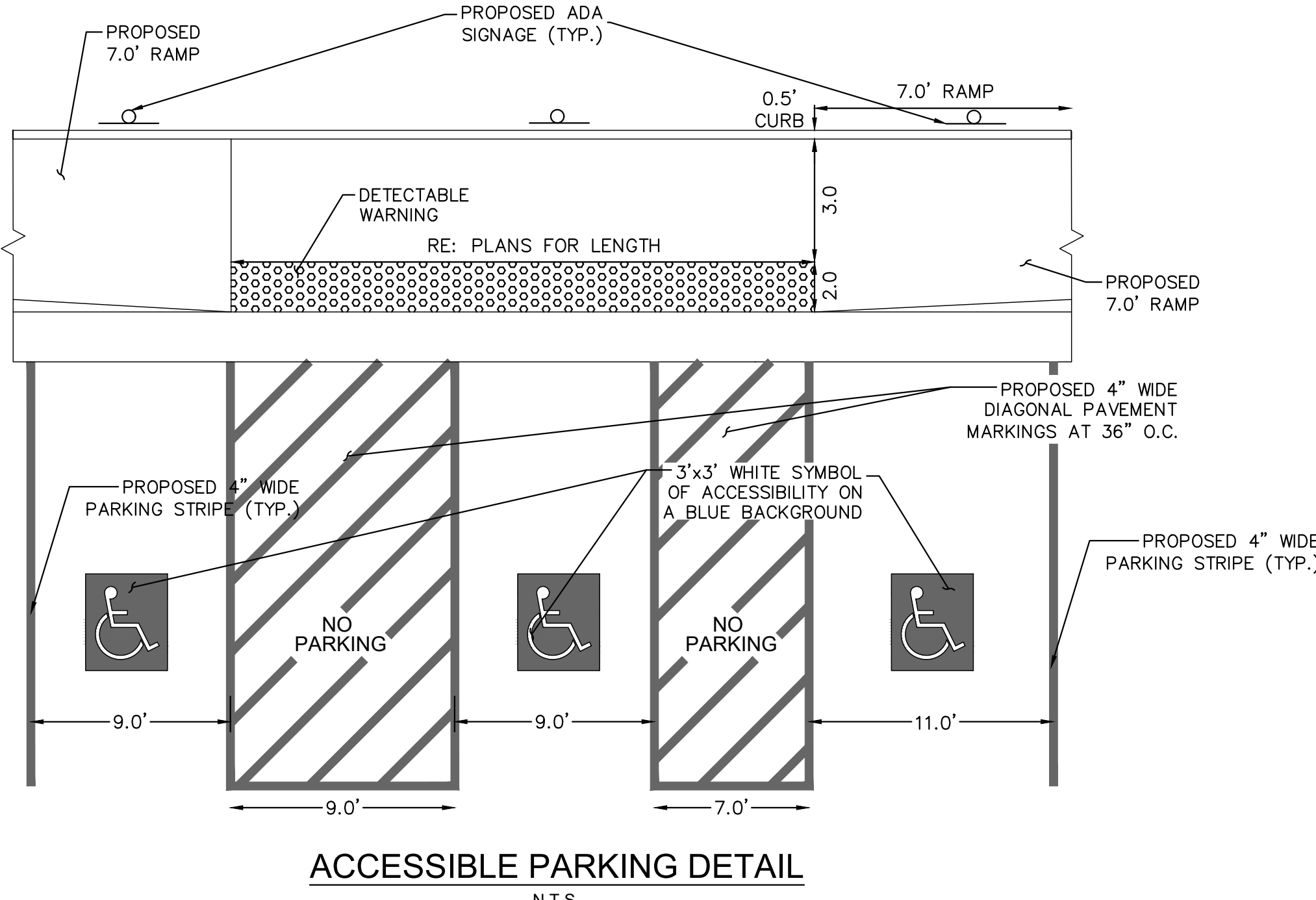
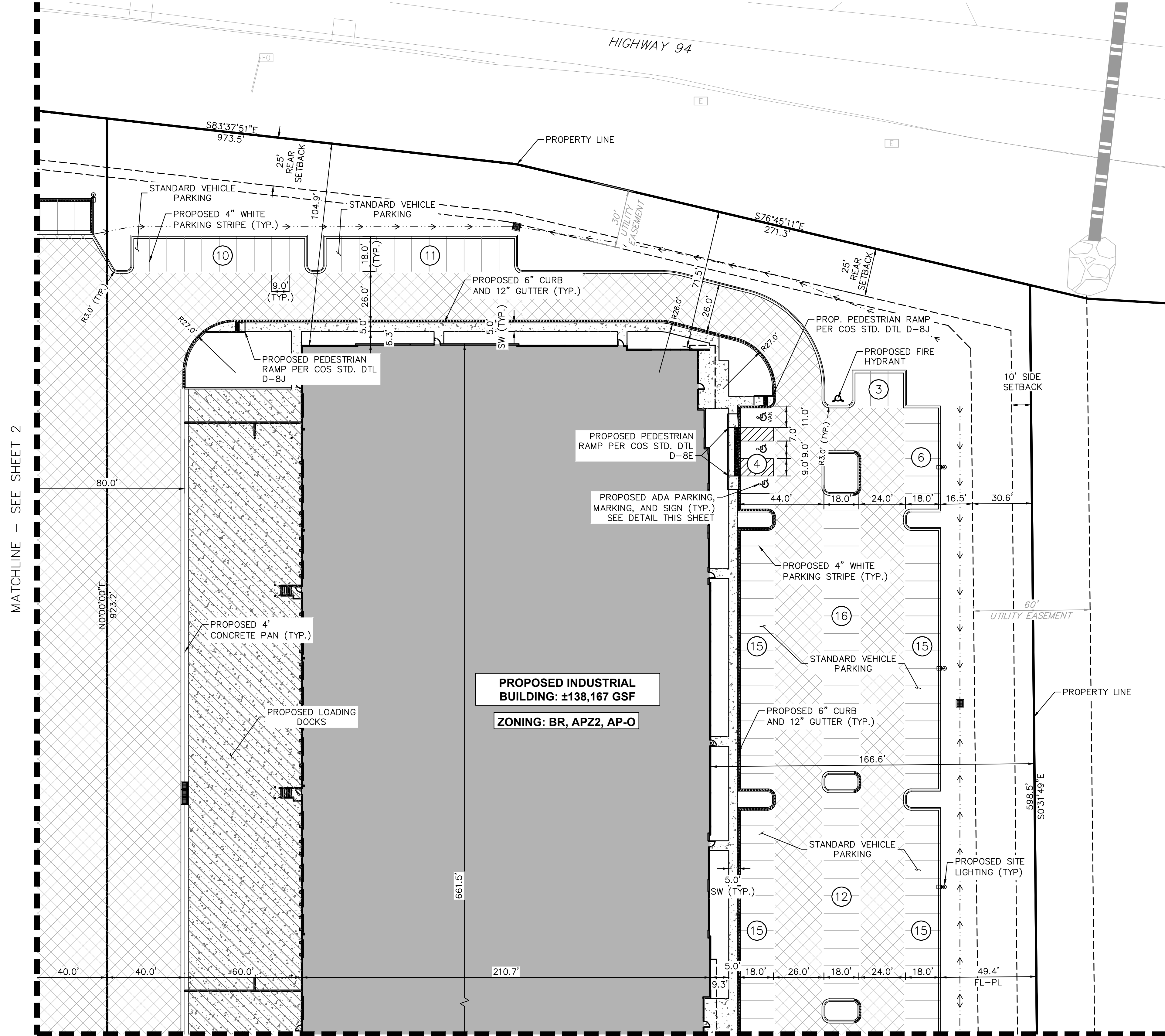
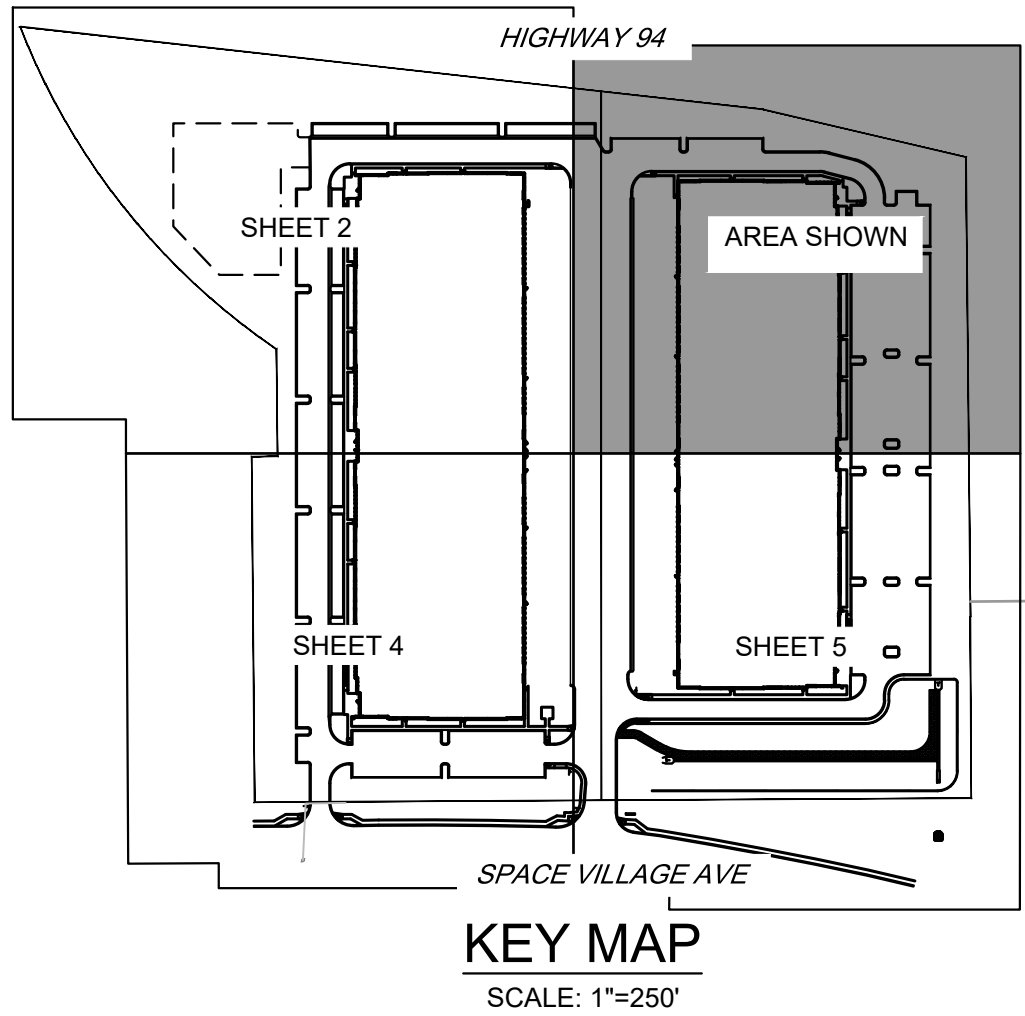
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REAGAN RANCH INDUSTRIAL
DEVELOPMENT PLAN

LOT 1, FILING NO.1 OF A PARCEL OF LAND SITUATED IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 14
SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

LEGEND

- PROPERTY LINE
- ACCESSIBLE ROUTE
- PROPOSED UTILITY EASEMENT
- EXISTING EASEMENT
- PROP. 6" CATCH CURB AND GUTTER
- PROP. 6" SPILL CURB AND GUTTER
- CONCRETE SIDEWALK (4")
- * HEAVY DUTY CONCRETE PAVEMENT
- * STANDARD DUTY ASPHALT PAVEMENT
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- AC=ASPHALT CONCRETE
- ABC=CDOT CLASS 6 AGGREGATE BASE COURSE



CITY APPROVAL:

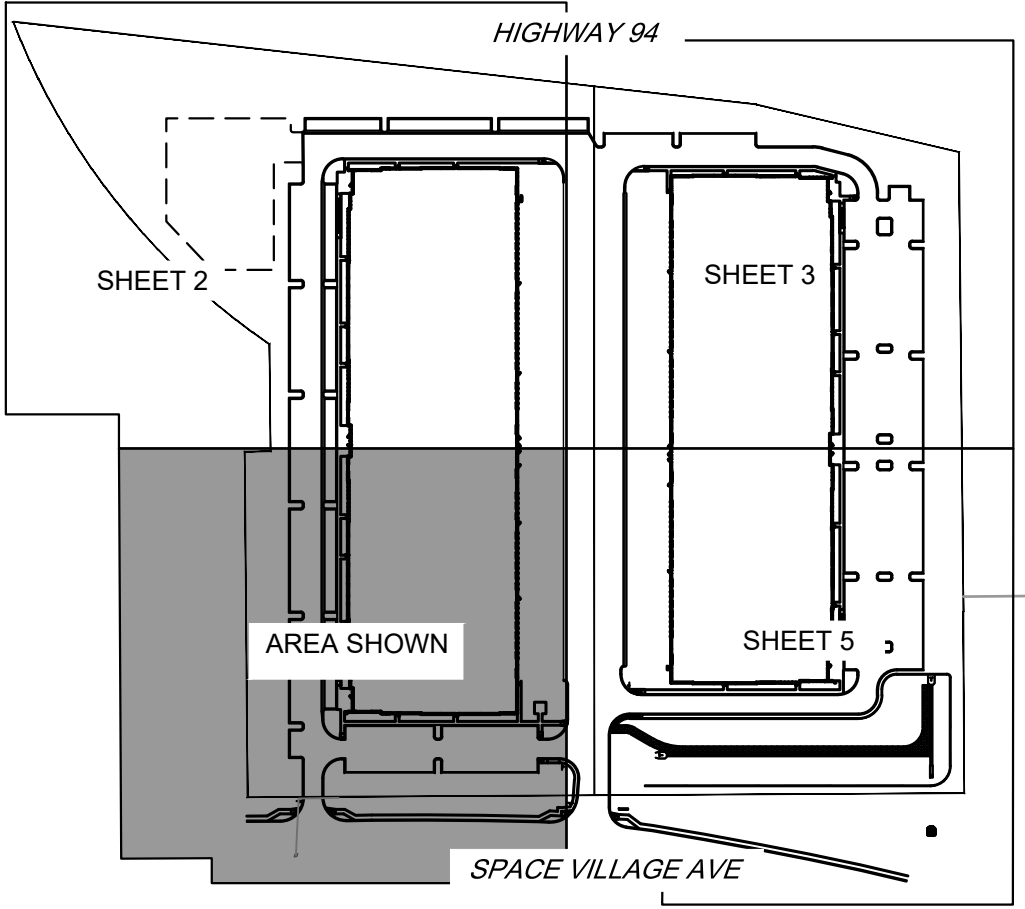
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SITE PLAN SHEET 2 OF 4
SHEET 3 OF 23

REAGAN RANCH INDUSTRIAL
DEVELOPMENT PLAN

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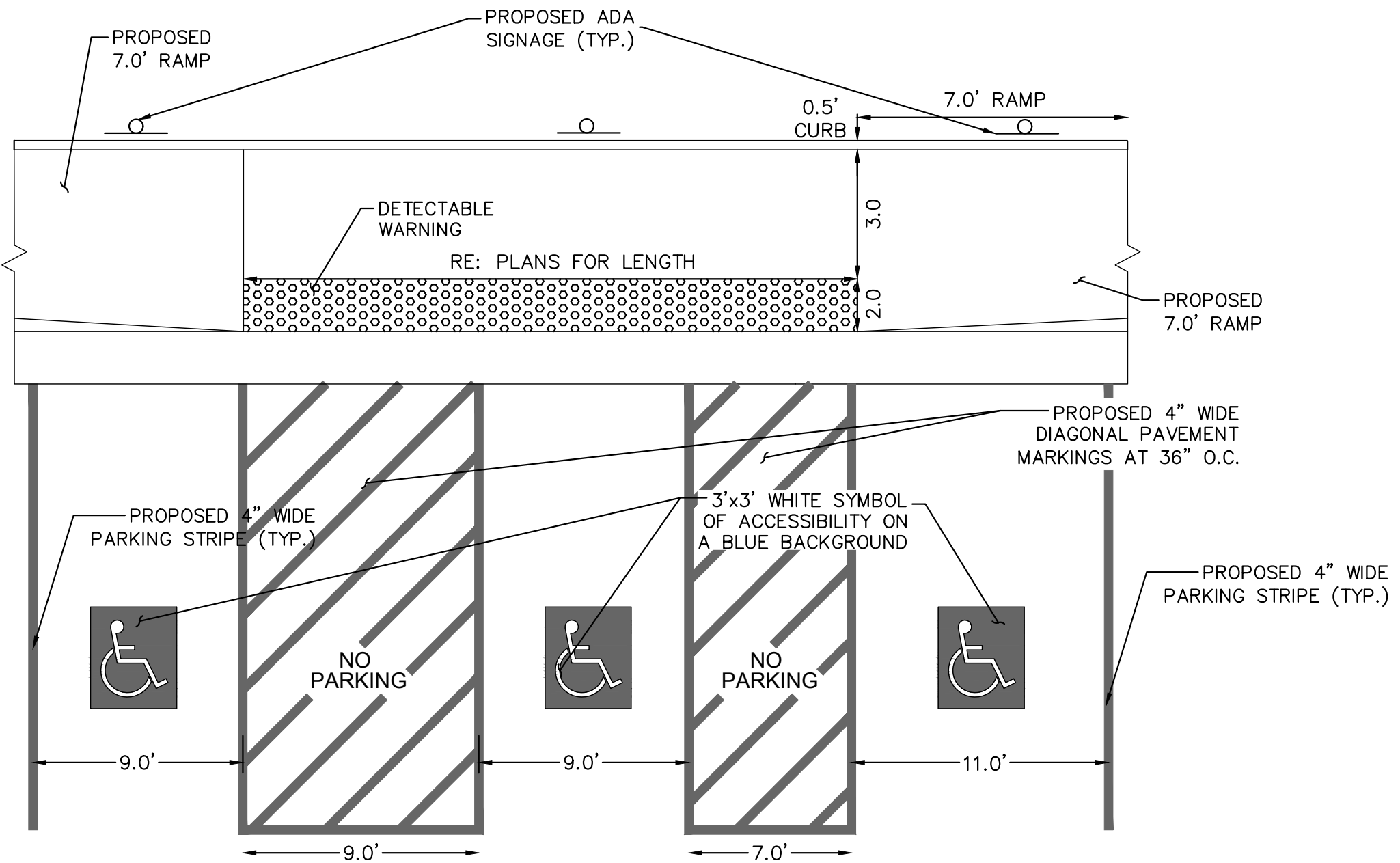
MATCHLINE - SEE SHEET 2



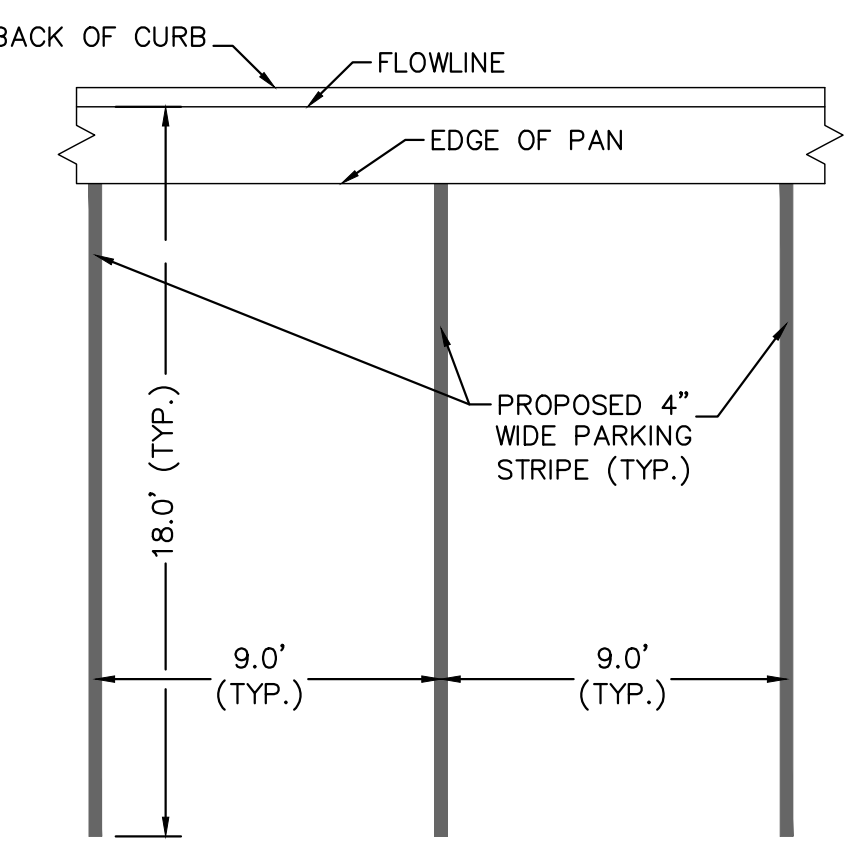
KEY MAP
SCALE: 1"=250'

LEGEND

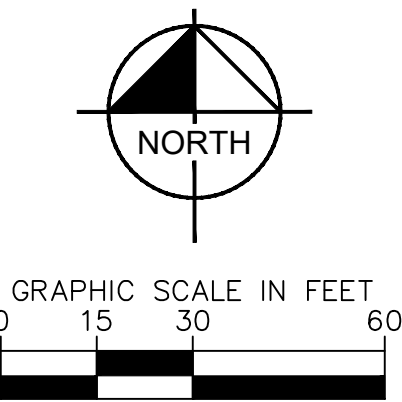
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ACCESSIBLE PARKING DETAIL
N.T.S.



STANDARD VEHICLE
PARKING DETAIL
N.T.S.



CITY APPROVAL:



SITE PLAN SHEET 3 OF 4
SHEET 4 OF 23

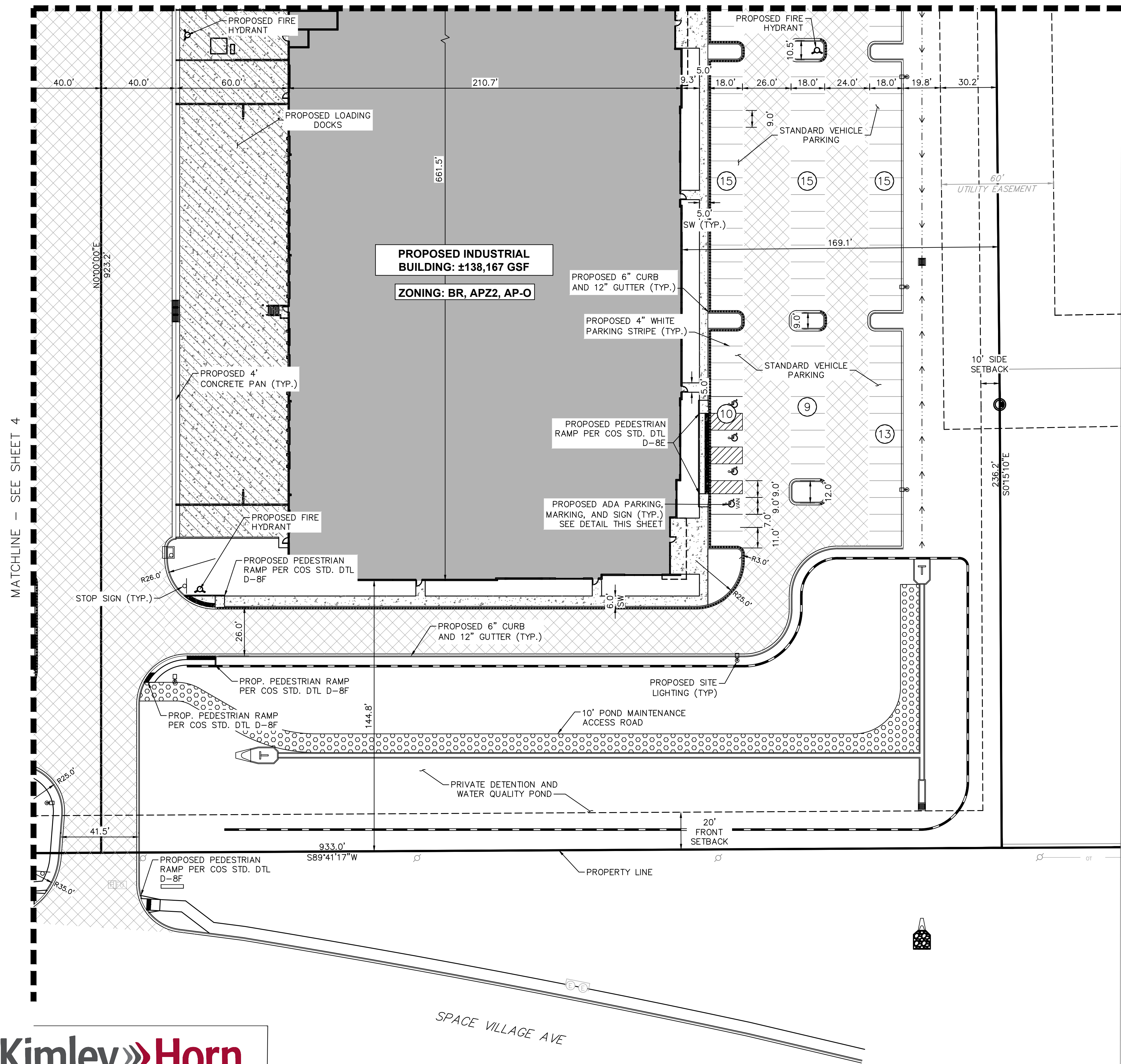


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H, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

MATCHLINE - SEE SHEET 3



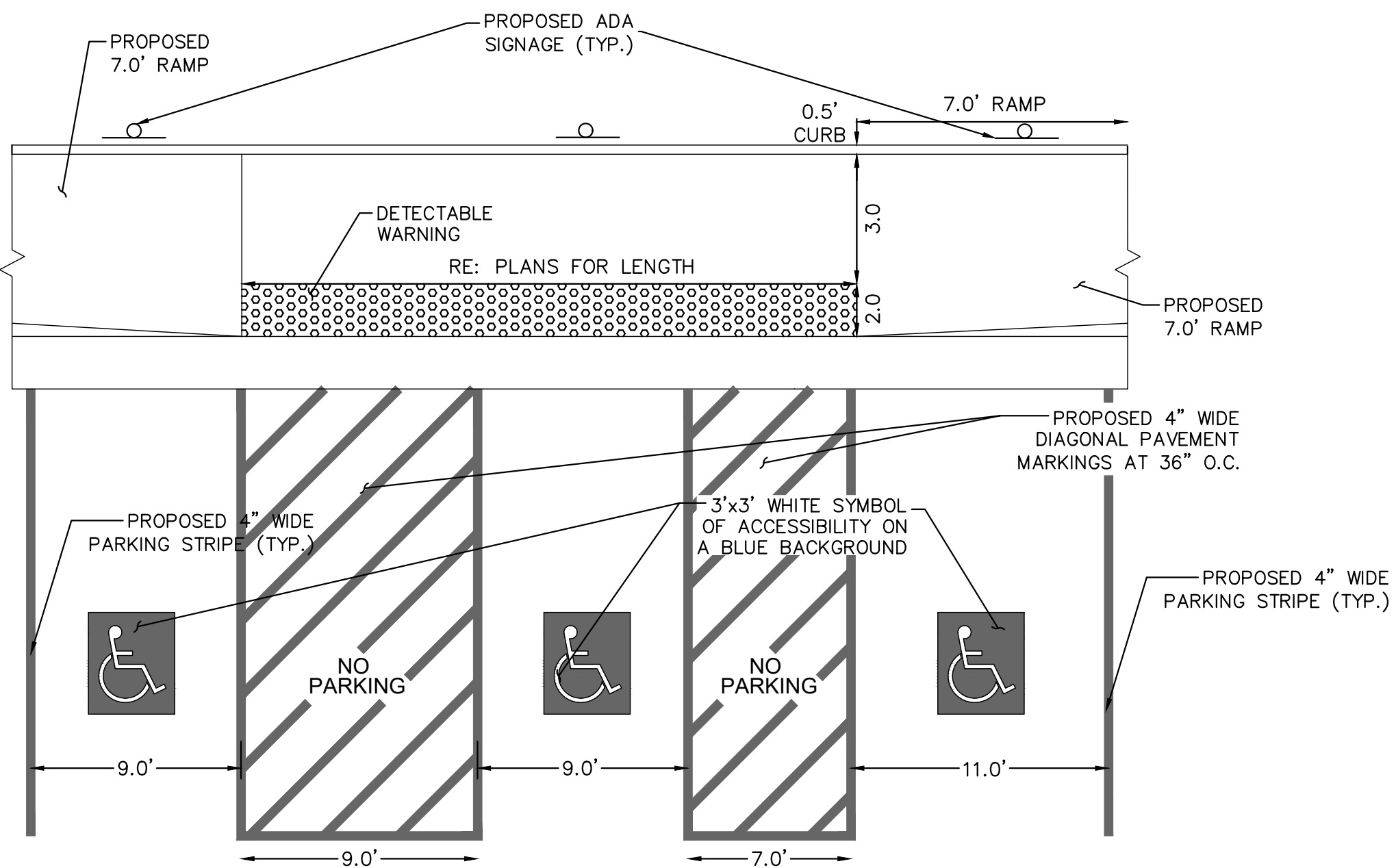
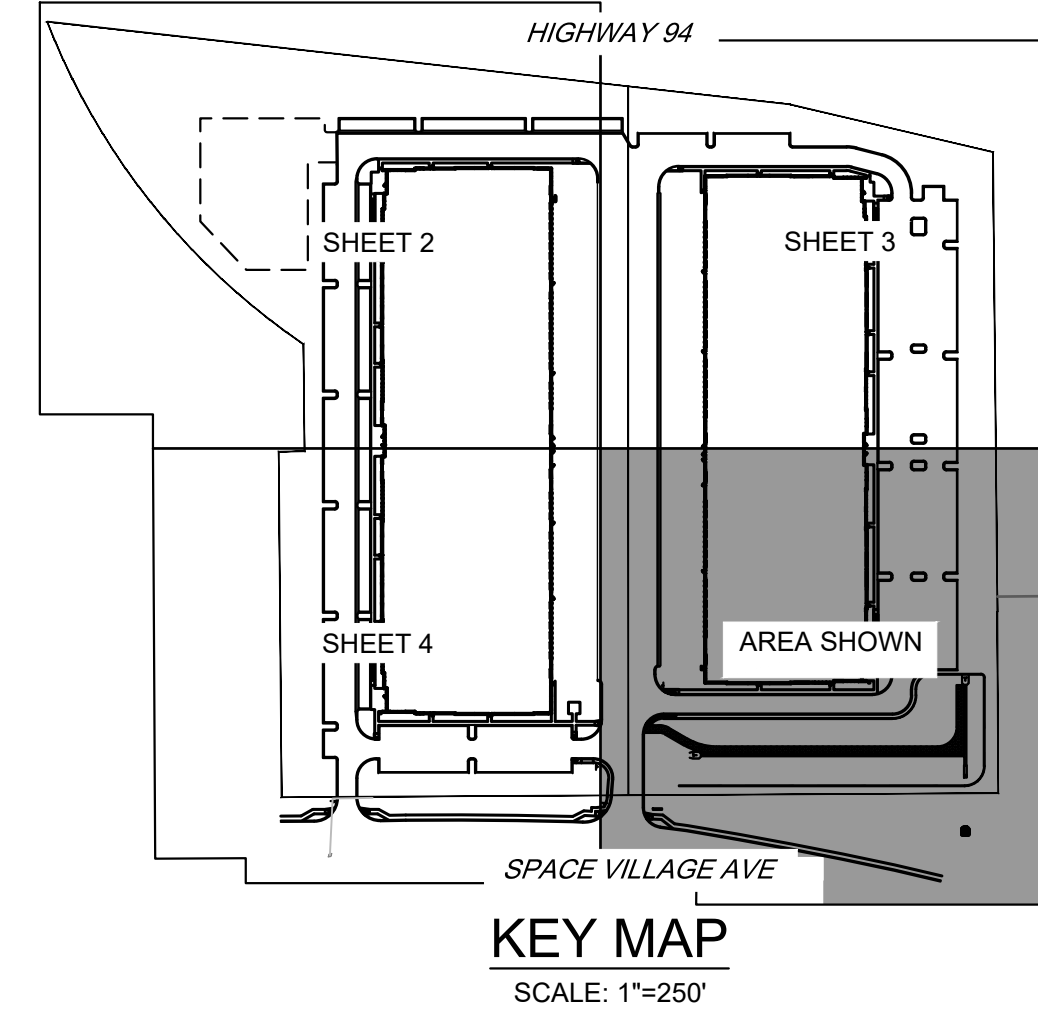
MATCHLINE - SEE SHEET 4

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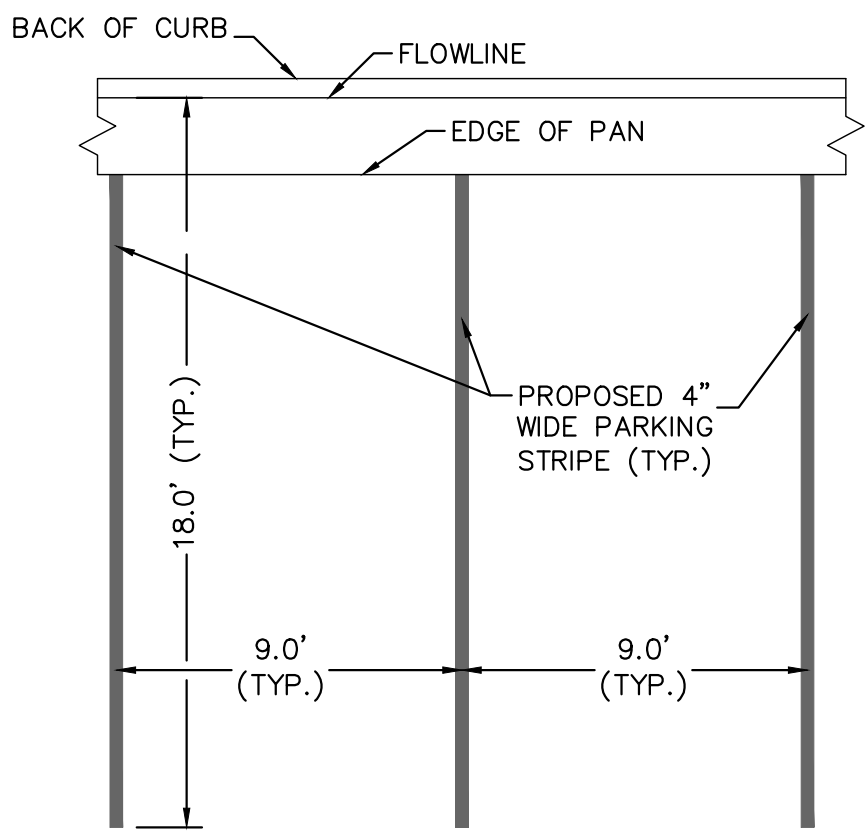
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LEGEND

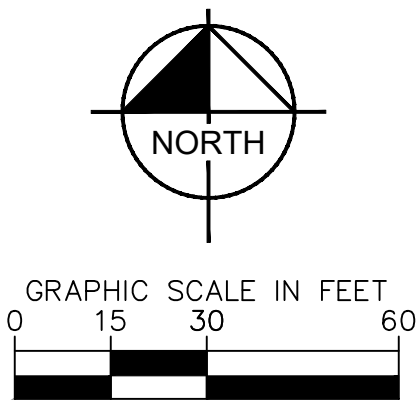
- PROPERTY LINE
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ACCESSIBLE PARKING DETAIL
N.T.S.



STANDARD VEHICLE PARKING DETAIL
N.T.S.



CITY APPROVAL:



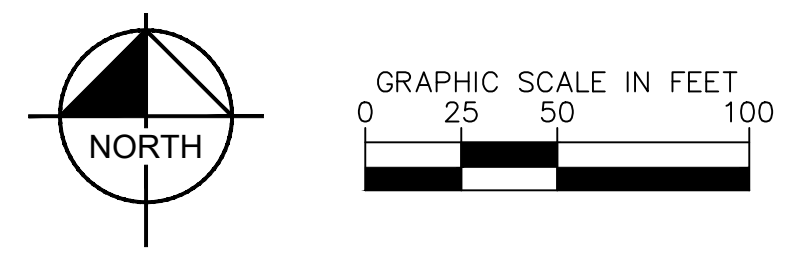
SITE PLAN SHEET 4 OF 4
SHEET 5 OF 23

REAGAN RANCH INDUSTRIAL DEVELOPMENT PLAN

LOT 1, FILING NO.1 OF A PARCEL OF LAND SITUATED IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

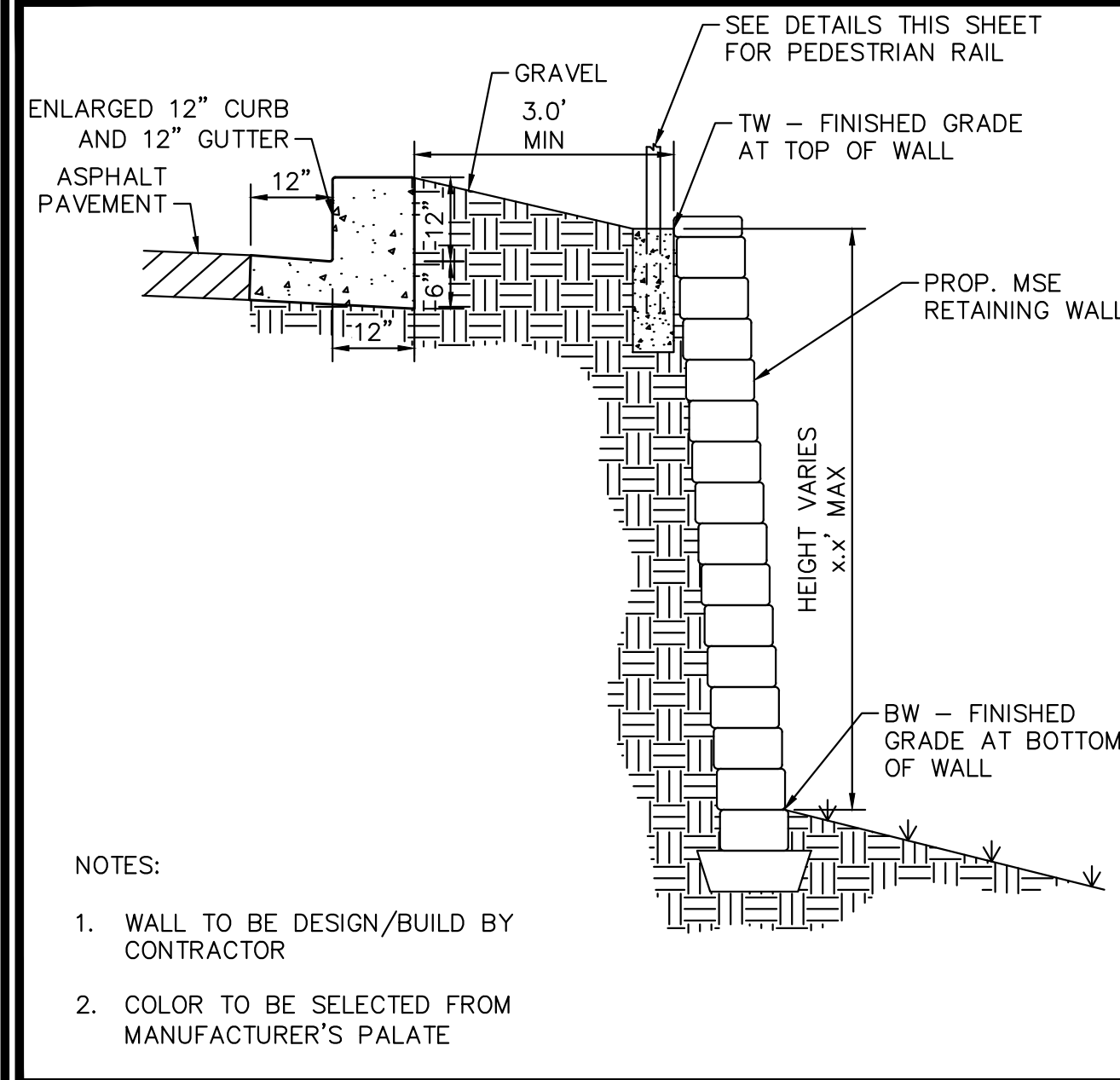
- LEGEND:**
- PROPERTY LINE
 - 5550 PROPOSED MAJOR CONTOUR
 - 5551 PROPOSED MINOR CONTOUR
 - 5550 EXISTING MAJOR CONTOUR
 - 5551 EXISTING MINOR CONTOUR
 - RIDGE LINE
 - RETAINING WALL
 - 0-0 GUARD RAIL
 - PROPOSED STORM SEWER
 - EXISTING STORM SEWER
 - DRAINAGE SWALE
 - PROPOSED FLOW ARROWS
 - PROP. 6" CATCH CURB AND GUTTER
 - PROP. 6" SPILL CURB AND GUTTER

- ABBREVIATION LEGEND:**
- FG FINISHED GRADE
 - ME MATCH EXISTING
 - FL FLOW LINE
 - HP HIGH POINT
 - LP LOW POINT
 - TW FINISHED GRADE AT TOP OF WALL
 - BW FINISHED GRADE AT BOTTOM OF WALL
 - FFE FINISHED FLOOR ELEVATION



CITY APPROVAL:

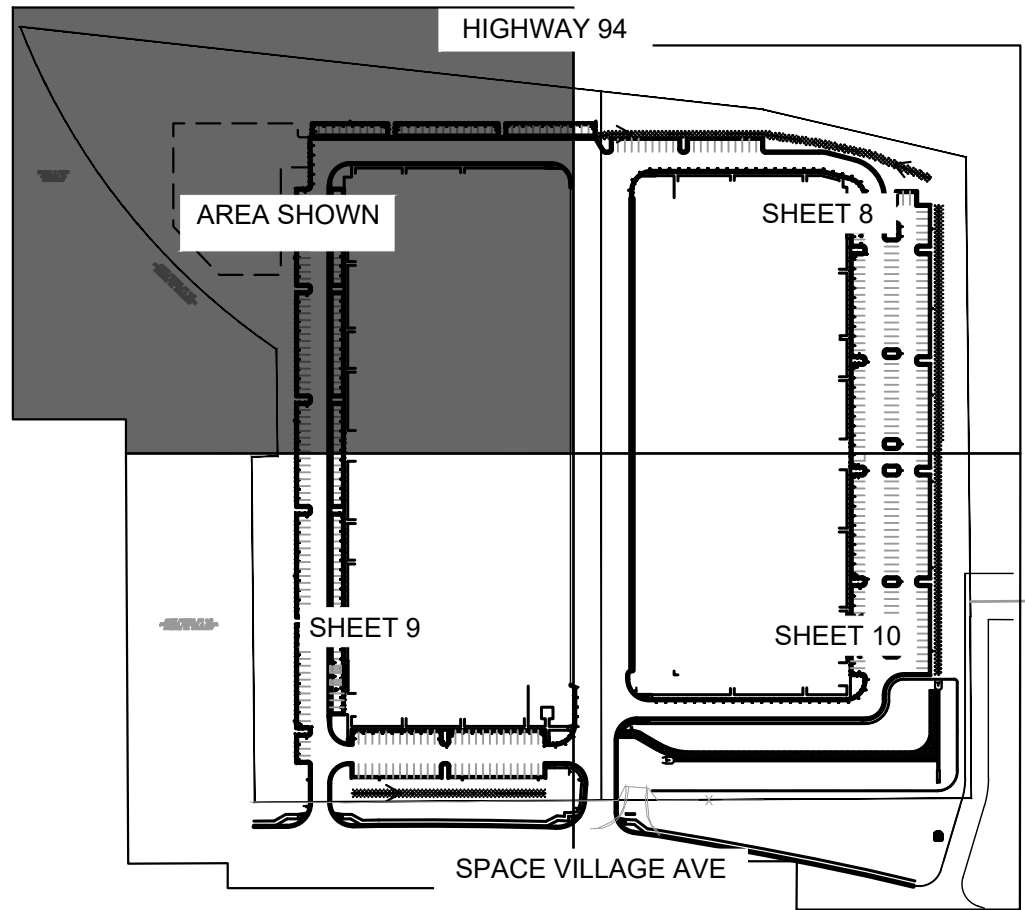
GRADING PLAN SHEET 1 OF 2
SHEET 6 OF 23



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DEVELOPMENT PLAN

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SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



KEY MAP
SCALE: 1"=250'

LEGEND:

—	PROPERTY LINE
— W —	EXISTING WATER LINE
— W —	PROPOSED WATER LINE
— S —	EXISTING SANITARY SEWER LINE & MANHOLE
— S —	PROPOSED SANITARY SEWER LINE & MANHOLE
— S —	PROPOSED STORM LINE & MANHOLE

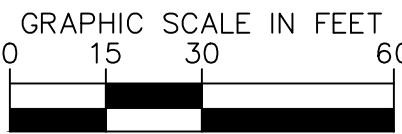
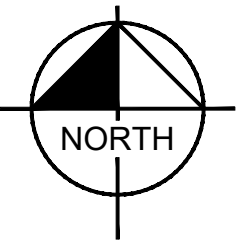
PRELIMINARY UTILITY NOTES:

- NOTE THAT THE LAYOUT FOR DRY UTILITIES IS PRELIMINARY AND FOR CONCEPTUAL USE ONLY. COLORADO SPRINGS UTILITIES SHALL DESIGN ALL DRY UTILITY CONNECTIONS TO THE PROPOSED METER LOCATIONS.
 - DETENTION PROVIDED ONSITE IN PROPOSED UNDERGROUND FACILITY.
 - UTILITY CLEARANCES BETWEEN STORM SEWER AND WATER MAINS AND CONNECTIONS MUST MAINTAIN A VERTICAL SEPARATION OF AT LEAST 18".
- FIRE LINES SHOULD ENTER THE BUILDING PERPENDICULAR TO THE OUTSIDE WALL WHENEVER POSSIBLE, AND SHOULD NEVER BE UNDERGROUND FOR MORE THAN 3 FEET INSIDE BUILDING.

COLORADO SPRINGS UTILITY NOTES CONTINUED:

- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564)
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITIES FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THE PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.
- A METAL SIGN WITH RASIED LETTERS NOT LESS THAN 1 INCH (25 MM) IN SIZE SHALL BE MOUNTED ON ALL FIRE DEPARTMENT CONNECTIONS SERVING SPRINKLERS, STANDPIPES OR FIRE PUMP CONNECTIONS. SUCH SIGNS SHALL READ "AUTOMATIC SPRINKLERS" OR "STANDPIPES" OR "TEST CONNECTION" OR A COMBINATION THEREOF AS APPLICABLE. WHERE THE FIRE DEPARTMENT CONNECTION DOES NOT SERVE THE ENTIRE BUILDING, A SIGN SHALL BE PROVIDED INDICATING PORTIONS OF THE BUILDING SERVED.
- 390,000 AND LESS BTU WILL NEED 18-21 INCHES. 390,001-910,000 BTU WILL NEED 24-48 INCHES. 910,001-1,400,000 BTU MUST TO BE APPROVED BY CSU FIELD SERVICES DEPARTMENT FOR NEW CONSTRUCTION AT 719-668-7350. GAS REGULATORS WILL BE REQUIRED TO HAVE 3-FOOT CLEARANCE FROM ANY DOOR OR WINDOW OPENING. NO ROOF OR BUILDING COVER IS ALLOWED ABOVE THE GAS METER LOCATION.

CITY APPROVAL:



UTILITY PLAN SHEET 1 OF 4
SHEET 7 OF 23

COLORADO SPRINGS UTILITY NOTES:

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
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ALPINE DISPOSAL INC. C/O
DUCHARME, MOHLEN & ASSOC.
SCHEDULE NO. 5408002016

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Kimley»Horn

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6200 SOUTH SYRACUSE WAY, SUITE 300
GREENWOOD VILLAGE, COLORADO 80237 (303) 228-2300

MATCHLINE - SEE SHEET 8

PROPOSED INDUSTRIAL
BUILDING: ±155,968 GSF

243 LF OF 18" RCP

PROP. PRIVATE 8" PVC WATER MAIN

PROP. FIRE HYDRANT

PROP. PRIVATE SINGLE CDOT TYPE 13 INLET

PROP. 14" HDPE FORCE MAIN BY OTHERS PER 2023-S039

29' 8" UTILITY EASEMENT

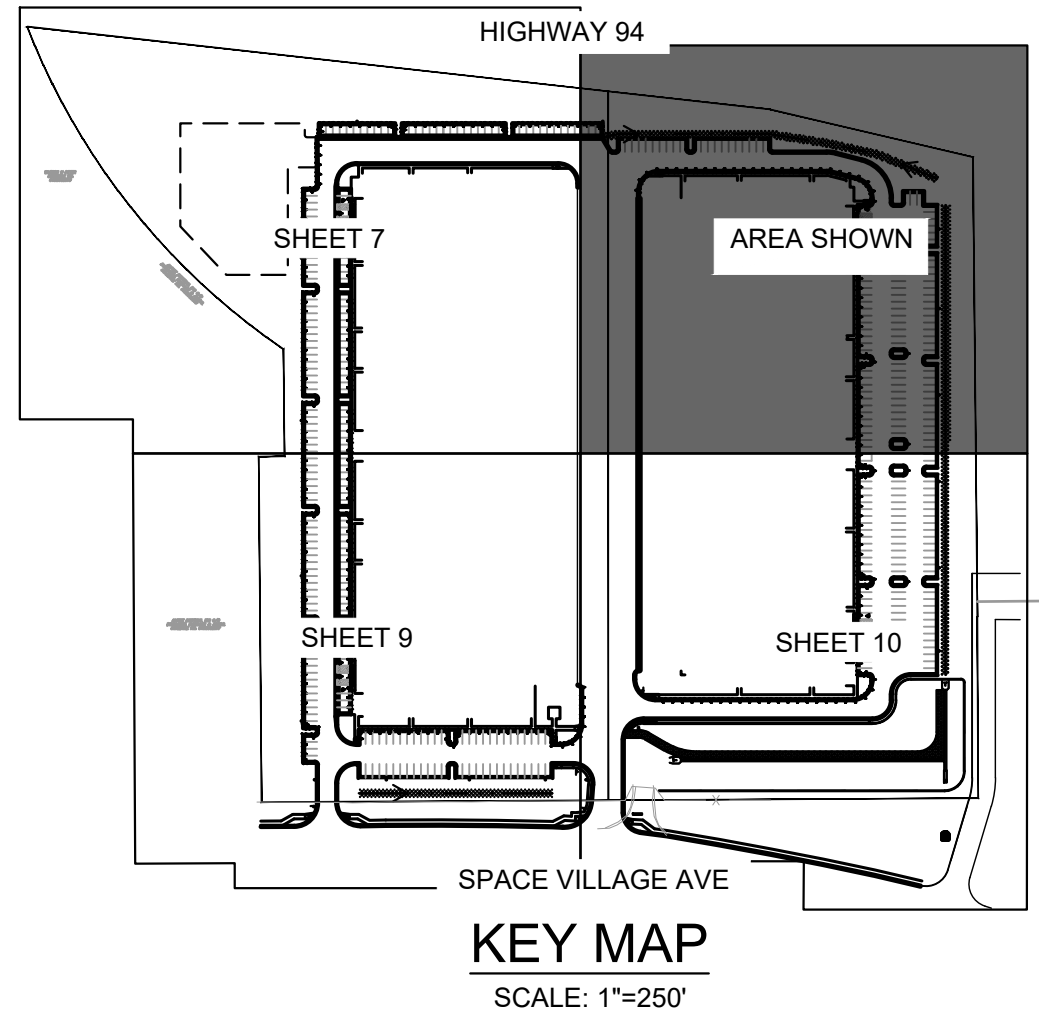
PROPERTY LINE

WATSON H PETER
SCHEDULE NO.
5408002019

K:\DEA_Civil\066376023_Reagan Ranch Industrial\CADD\PlanSheets\Development Plan\066376023DP_1JT.dwg Feb 23, 2024 10:27am

REAGAN RANCH INDUSTRIAL
DEVELOPMENT PLAN

LOT 1, FILING NO.1 OF A PARCEL OF LAND SITUATED IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 14
SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



LEGEND:

	PROPERTY LINE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE & MANHOLE
	PROPOSED SANITARY SEWER LINE & MANHOLE
	EXISTING STORM LINE
	PROPOSED STORM LINE & MANHOLE
	EXISTING FIBER LINE
	EXISTING UNDERGROUND ELECTRIC LINE

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PRELIMINARY UTILITY NOTES:

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CITY APPROVAL:

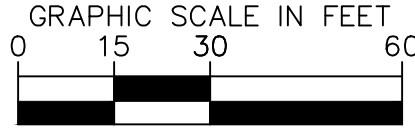
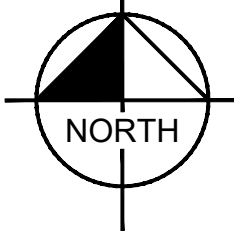
UTILITY PLAN SHEET 2 OF 4
SHEET 8 OF 23

MATCHLINE - SEE SHEET 10

MATCHLINE - SEE SHEET 7

Kimley»Horn

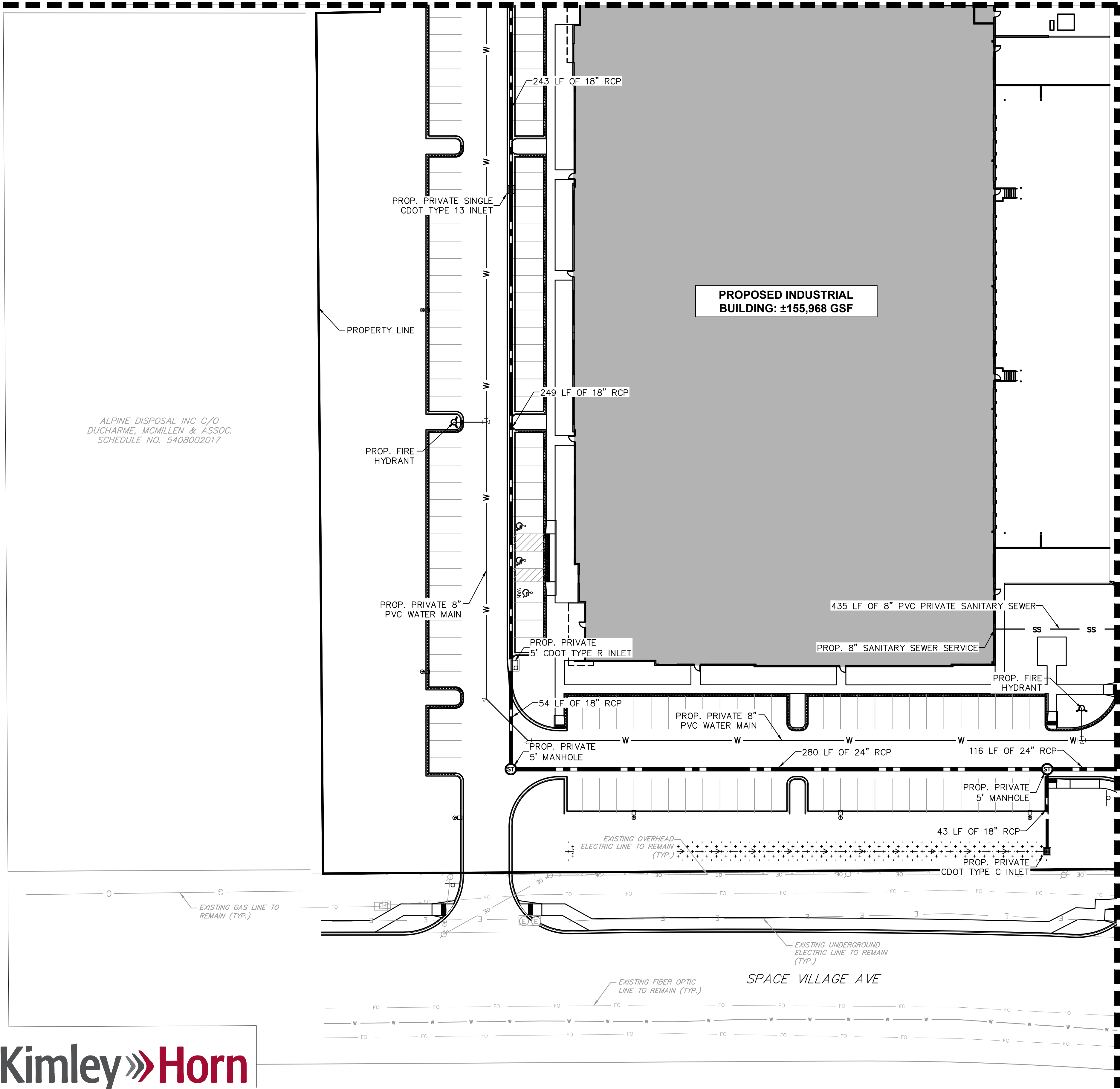
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6200 SOUTH SYRACUSE WAY, SUITE 300
GREENWOOD VILLAGE, COLORADO 80237 (303) 228-2300



REAGAN RANCH INDUSTRIAL
DEVELOPMENT PLAN

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SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

MATCHLINE - SEE SHEET 10



ALPINE DISPOSAL INC C/O
DUGHARME, MCMILLEN & ASSOC.
SCHEDULE NO. 5408002017

LEGEND:

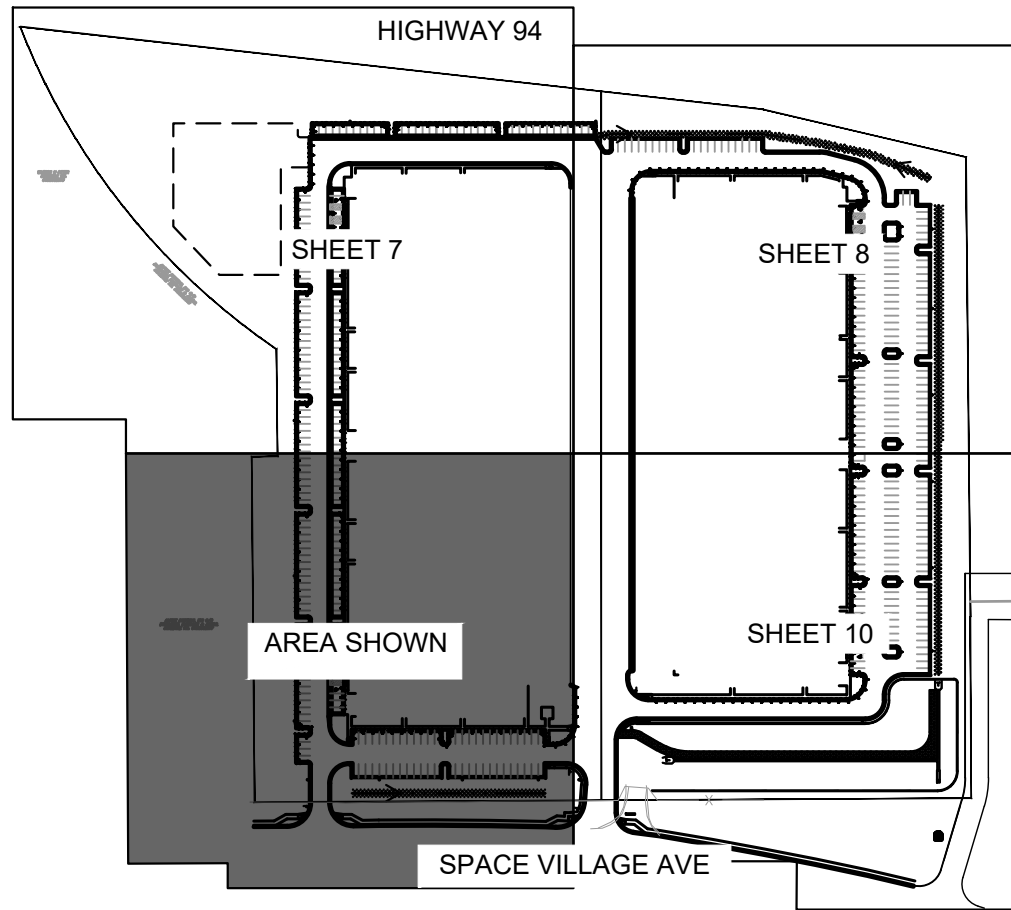
—	PROPERTY LINE
— W —	EXISTING WATER LINE
— W —	PROPOSED WATER LINE
— S —	EXISTING SANITARY SEWER LINE & MANHOLE
— S —	PROPOSED SANITARY SEWER LINE & MANHOLE
— S —	PROPOSED STORM LINE & MANHOLE
— G —	EXISTING GAS LINE
— FO —	EXISTING FIBER LINE
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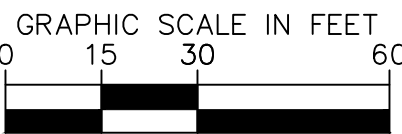
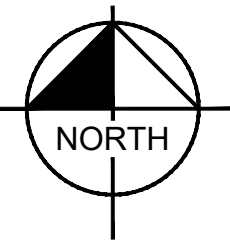
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Kimley»Horn

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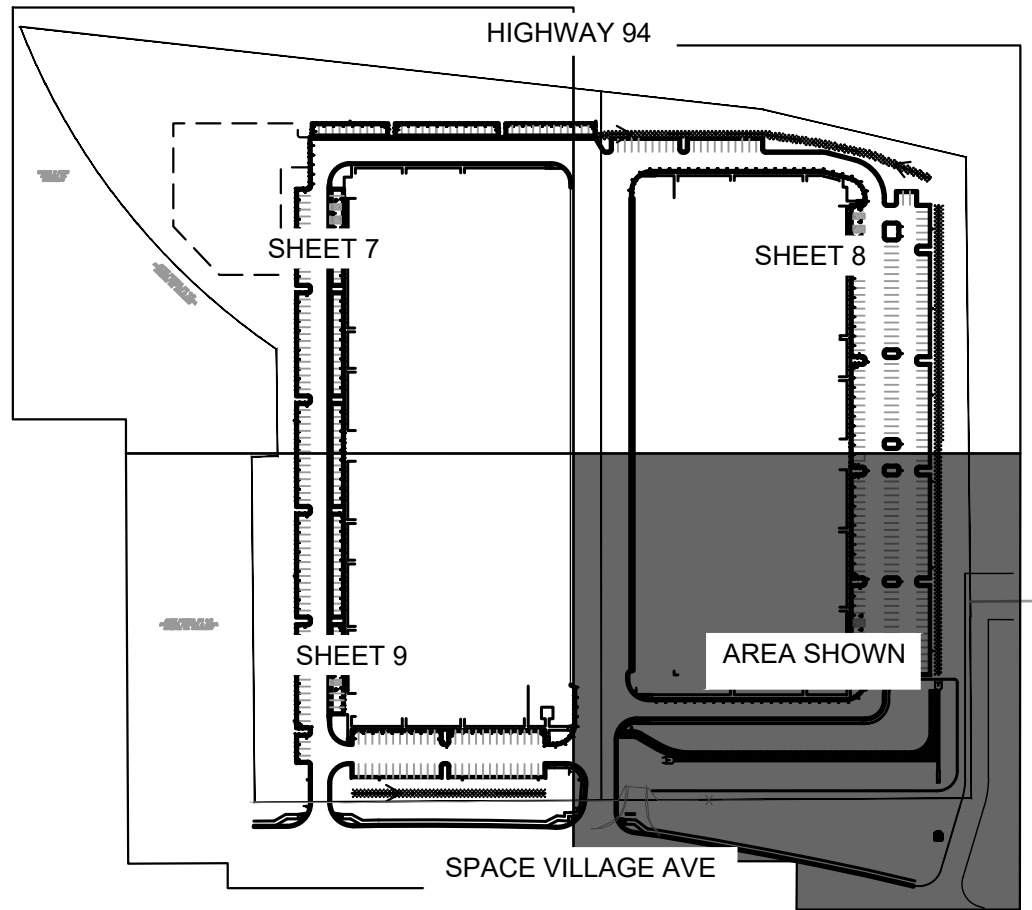


UTILITY PLAN SHEET 3 OF 4
SHEET 9 OF 23

REAGAN RANCH INDUSTRIAL
DEVELOPMENT PLAN

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H, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

MATCHLINE — SEE SHEET 9



KEY MAP
SCALE: 1"=250'

LEGEND:

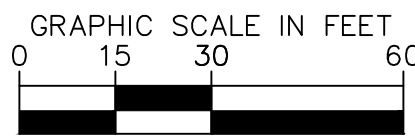
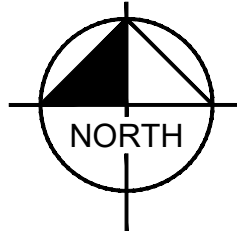
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- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEMS EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564)
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NESC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITIES FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THE PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.
- A METAL SIGN WITH RASIED LETTERS NOT LESS THAN 1 INCH (25 MM) IN SIZE SHALL BE MOUNTED ON ALL FIRE DEPARTMENT CONNECTIONS SERVING SPRINKLERS, STANDPIPES OR FIRE PUMP CONNECTIONS. SUCH SIGNS SHALL READ "AUTOMATIC SPRINKLERS" OR "STANDPIPES" OR "TEST CONNECTION" OR A COMBINATION THEREOF AS APPLICABLE. WHERE THE FIRE DEPARTMENT CONNECTION DOES NOT SERVE THE ENTIRE BUILDING, A SIGN SHALL BE PROVIDED INDICATING PORTIONS OF THE BUILDING SERVED.
- 390,000 AND LESS BTU WILL NEED 18-21 INCHES. 390,001-910,000 BTU WILL NEED 24-48 INCHES. 910,001-1,400,000 BTU MUST TO BE APPROVED BY CSU FIELD SERVICES DEPARTMENT FOR NEW CONSTRUCTION AT 719-668-7350. GAS REGULATORS WILL BE REQUIRED TO HAVE 3-FOOT CLEARANCE FROM ANY DOOR OR WINDOW OPENING. NO ROOF OR BUILDING COVER IS ALLOWED ABOVE THE GAS METER LOCATION.

PRELIMINARY UTILITY NOTES:

- NOTE THAT THE LAYOUT FOR DRY UTILITIES IS PRELIMINARY AND FOR CONCEPTUAL USE ONLY. COLORADO SPRINGS UTILITIES SHALL DESIGN ALL DRY UTILITY CONNECTIONS TO THE PROPOSED METER LOCATIONS.
- DETENTION PROVIDED ONSITE IN PROPOSED UNDERGROUND FACILITY.
- UTILITY CLEARANCES BETWEEN STORM SEWER AND WATER MAINS AND CONNECTIONS MUST MAINTAIN A VERTICAL SEPARATION OF AT LEAST 18".
- FIRE LINES SHOULD ENTER THE BUILDING PERPENDICULAR TO THE OUTSIDE WALL WHENEVER POSSIBLE, AND SHOULD NEVER BE UNDERGROUND FOR MORE THAN 3 FEET INSIDE BUILDING.



CITY APPROVAL:

City Approval signature area.

UTILITY PLAN SHEET 4 OF 4
SHEET 10 OF 23



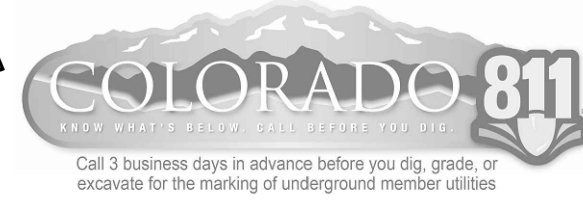
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6200 SOUTH SYRACUSE WAY, SUITE 300
GREENWOOD VILLAGE, COLORADO 80237 (303) 228-2300

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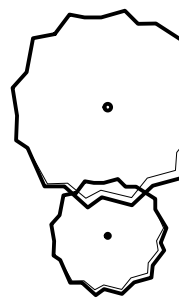
REAGAN RANCH INDUSTRIAL DEVELOPMENT PLAN

LOT 1, FILING NO.1 OF A PARCEL OF LAND SITUATED IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

- FOR REVIEW -
- NOT FOR CONSTRUCTION

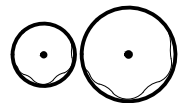


LANDSCAPE PLANT LIST

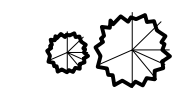


DECIDUOUS SHADE TREES							
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND CONDITION
WEH	Western Hackberry	Celtis occidentalis	50-60'	40-50'	Low	Sun / Part Shade	1.5" Cal., B&B
SHL	Shademaster Honeylocust	Gleditsia triacanthos inermis 'Shademaster'	40-50'	30-40'	Low	Sun	1.5" Cal., B&B
SKC	Seedless Kentucky Coffee tree	Gymnocladus dioica 'Espresso'	50-60'	40-50'	Low	Sun	1.5" Cal., B&B
CHO	Chinquapin Oak	Quercus muehlenbergii	35-50'	35-50'	Low	Sun	1.5" Cal., B&B
FEO	Fastigate English Oak	Quercus robur 'Fastigiata'	40-60'	15-20'	Low	Sun	1.5" Cal., B&B

ORNAMENTAL TREES							
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND CONDITION
TAT	Hot Wings Tatarian Maple	Acer tataricum 'Gar Ann'	20-25'	15-20'	Low	Adaptable	1" Cal., B&B
TCH	Thornless Cockspur Hawthorn	Crataegus crus-galli inermis	15-25'	15-20'	Low	Sun	1" Cal., B&B
SSC	Spring Snow Crabapple	Malus 'Spring Snow'	15-20'	10-15'	Low	Sun / Part Shade	1" Cal., B&B



EVERGREEN TREES							
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND CONDITION
RMJ	Rocky Mountain Juniper	Juniperus scopulorum	15-25'	8-15'	Very Low	Sun	6" ht., B&B
PIN	Pinon Pine	Pinus edulis	10-25'	10-25'	Low	Sun	6" ht., B&B
PRP	Ponderosa Pine	Pinus ponderosa	50-60'	20-30'	Low	Sun	6" ht., B&B
AUS	Austrian Pine	Pinus nigra	40-60'	20-35'	Moderate	Sun	6" ht., B&B



DECIDUOUS SHRUBS							
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND CONDITION
SHS	Shadblow Serviceberry	Amelanchier canadensis	15-20'	8-15'	Medium	Sun / Part Shade	5 Gallon Cont.
LEP	Leadplant	Amorpha canescens	2-3'	3-4'	Very Low	Sun	5 Gallon Cont.
TDP	Tidy Peashrub	Caragana microphylla 'Tidy'	8-10'	5-7'	Very Low	Sun	5 Gallon Cont.
BMS	Blue Mist Spirea	Caryopteris x clandonensis 'Blue Mist'	3-4'	2-3'	Low	Sun	5 Gallon Cont.
FEB	Fernbush	Chamaebalaria millefolium	4-6'	4-6'	Very Low	Sun	5 Gallon Cont.
TWN	Tiny Wine Ninebark	Physocarpus opulifolius 'Tiny Wine'	3-5'	3-5'	Low	Sun / Part Shade	5 Gallon Cont.
CWS	Creeping Western Sand Cherry	Prunus besseyi Pawnee Buttes	15-18"	4-5'	Very Low	Sun / Part Shade	5 Gallon Cont.
DFS	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	2-3'	6-8'	Very Low	Sun	5 Gallon Cont.
GMC	Green Mound Currant	Ribes alpinum 'Green Mound'	2-4'	2-4'	Low	Sun / Part Shade	5 Gallon Cont.
RMR	Red Meidland Rose	Rosa Meidland Red	18-24"	4-6'	Low	Sun	5 Gallon Cont.
MKC	Chenault (Hancock) Coraberry	Symphoricarpos x chenaulti 'Hancock'	2-3'	5-10'	Low	Sun / Part Shade	5 Gallon Cont.
CHD	Miss Kim Dwarf Lilac	Syringa patula 'Miss Kim'	4-6'	4-6'	Low	Sun	5 Gallon Cont.
JVB	Judd Viburnum	Viburnum x juddii	4-6'	4-6'	Low	Adaptable	5 Gallon Cont.



EVERGREEN SHRUBS							
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND CONDITION
PMZ	Panchito Manzanita	Arctostaphylos x coloradoensis 'Panchito'	10-18"	3-4'	Low	Sun / Part Shade	5 Gallon Cont.
JFB	Joint Fir Bluestem	Ephedra equisetina	4-6'	3-8'	Very Low	Sun	5 Gallon Cont.
BCJ	Blue Chip Juniper	Juniperus horizontalis 'Blue Chip'	8-12"	6-8'	Low	Sun	5 Gallon Cont.
MGJ	Moonglow Juniper	Juniperus scopulorum 'Moonglow'	15-20'	5-8'	Low	Sun	5 Gallon Cont.
CPJ	Compact Pfitzer Juniper	Juniperus x media 'Pfitzeriana Compacta'	3-4'	4-6'	Low	Sun	5 Gallon Cont.
MMP	Miniature Mugo Pine	Pinus mugo 'Mops'	2-3'	2-3'	Low	Sun / Part Shade	5 Gallon Cont.
SOY	Soapweed Yucca	Yucca glauca	2-3'	2-4'	Very Low	Sun	5 Gallon Cont.



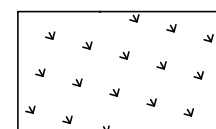
ORNAMENTAL GRASSES							
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND CONDITION
BAM	Blonde Ambition Grama Grass	Bouteloua gracilis 'Blonde Ambition'	2-3'	1-2'	Very Low	Sun	5 Gallon Cont.
KOR	Korean Feather Reed Grass	Calamagrostis brachytricha	3-4'	2-3'	Medium	Part Shade / Shade	5 Gallon Cont.
URM	UNDAUNTED® Ruby Muhly Grass	Muhlenbergia reverchonii Undaunted	15-30"	2-3'	Low	Sun / Part Shade	5 Gallon Cont.
SRS	Shenandoah Red Switch Grass	Panicum virgatum 'Shenandoah'	3-4'	12-18"	Low	Sun	5 Gallon Cont.
LBG	Little Bluestem Grass	Schizachyrium scoparium 'Blaze'	3-4'	24-30"	Very Low	Sun	5 Gallon Cont.



PERENNIALS							
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND SPACING
MOY	Moonshine Yarrow	Achillea 'Moonshine'	24-30"	18-24"	Low	Sun	1 Gallon Cont.
LTC	Little Trudy Calamint	Nepeta 'Pslike'	8-12"	18-24"	Low	Sun	1 Gallon Cont.
AWD	Avalanche White Dwarf Sun Daisy	Ostospermum 'Avalanche'	10-12"	12-15"	Low	Sun / Part Shade	1 Gallon Cont.
MOS	Mojave Sage	Salvia pachyphylla	2-3'	2-3'	Low	Sun	1 Gallon Cont.
AJS	Autumn Joy Stonecrop	Sedum 'Autumn Joy'	18-24"	12-18"	Low	Sun	1 Gallon Cont.
WDR	WINDWALKER® Desert Rose salvia	Salvia lemmonii 'PWIN04S'	18-24"	18-24"	Low	Sun / Part Shade	1 Gallon Cont.



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NATIVE SEEDING - DRYLAND MIX

El Paso County All-Purpose Low Grow Mix:

COMMON NAME	% MIX	LBS / PLS
Buffalograss	25	9.6
Blue Grama	20	10.8
Sidecoats Grama	29	5.6
Green Needlegrass	5	3.2
Western Wheatgrass	20	12.0
Sand Dropseed	1	0.8

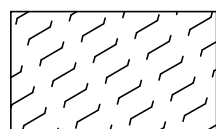
SEED RATE (LBS PLS/ACRE) 42.0

SPRAY IRRIGATED HYDROSEED

SEE COLORADO SPRINGS UNIFIED DEVELOPMENT

CODE (UDC) LANDSCAPE CODE APPENDIX B, TABLE 8

FOR MORE INFORMATION



NATIVE SEEDING - STORMWATER MIX

El Paso County Conservation District All Purpose Mix:

COMMON NAME	% MIX	LBS / PLS
Big Bluestem	20	2.2
Blue Grama	10	0.25
Green Needlegrass	10	1.0
Western Wheatgrass	20	3.2
Sidecoats Grama	10	1.0
Switchgrass	10	0.4
Prairie Sandreed	10	0.6
Yellow Indiangrass	10	1.0

SEED RATE (LBS PLS/ACRE) 9.7

NON-IRRIGATED HYDROSEED

SEE COLORADO SPRINGS UNIFIED DEVELOPMENT CODE (UDC)

LANDSCAPE CODE APPENDIX B, TABLE A FOR MORE

INFORMATION

PLAN SET INDEX

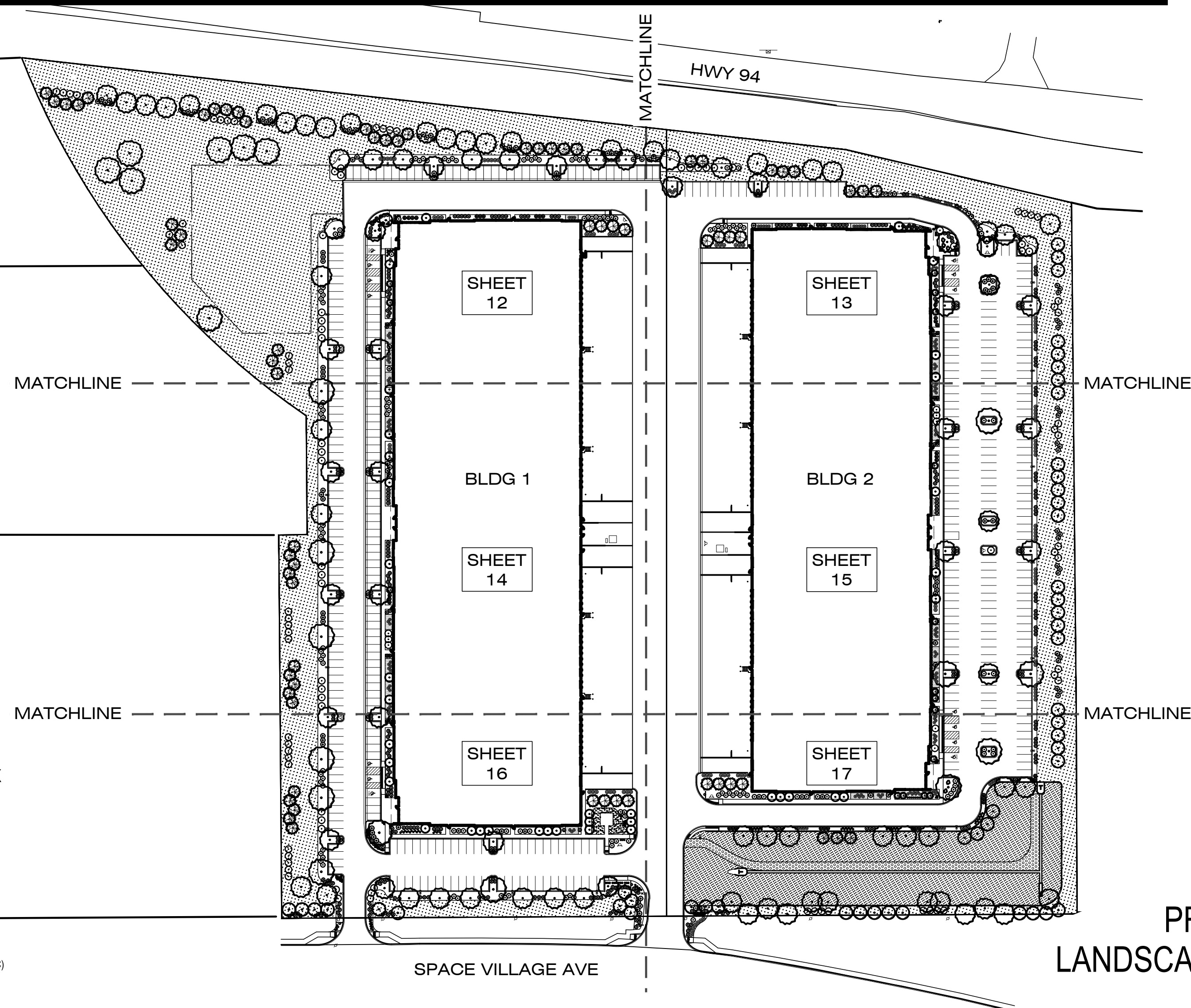
SHEET	NAME
11	LANDSCAPE COVER SHEET & PLANT LIST
12	LANDSCAPE PLAN (1)
13	LANDSCAPE PLAN (2)
14	LANDSCAPE PLAN (3)
15	LANDSCAPE PLAN (4)
16	LANDSCAPE PLAN (5)
17	LANDSCAPE PLAN (6)
18	LANDSCAPE NOTES & DETAILS

ROADWAY LANDSCAPING CHART

STREET FRONTAGE (LF)	LANDSCAPE AREA REQ.	# TREES REQUIRED	# TREES PROVIDED
HWY 94 (EXPRESSWAY) 1,245 LF	25' WIDE AREA	1 TREE / 20 LF (1,245 LF / 20) = 63 TREES	65 TOTAL 56 TREES 80 SHRUBS (/10=8) 21 GRASSES (/20=1)
SPACE VILLAGE AVE (MINOR ARTERIAL) 933 LF	20' WIDE AREA	1 TREE / 25 LF (933 LF / 25) = 38 TREES	38 TOTAL 33 TREES 52 SHRUBS (/10=5)

NOTES:
STREET FRONTAGE PLANTING SUBSTITUTIONS HAVE BEEN MADE AT A RATE OF:
1 TREE = 10 SHRUBS. AND
1 SHRUB = 2 ORNAMENTAL GRASSES

OVERALL LANDSCAPE PLAN



INTERNAL LANDSCAPE AREA

ITEM	LOT 1 REQUIRED	LOT 1 PROVIDED	LOT 2 REQUIRED	LOT 2 PROVIDED
MIN. INTERNAL LANDSCAPED AREA	5% OF TOTAL LOT AREA (492,598 SF x 5%) = 24,630 SF	35% 172,042 SF	5% OF TOTAL LOT AREA (409,429 SF x 5%) = 20,471 SF	30% 123,487 SF
LANDSCAPE AREA TREES	1 TREE PER 500 SF OF REQ. LS AREA (24,630 SF / 500) = 49 TREES	93 TOTAL TREES 34 LARGE DEC. 27 ORNAMENTAL 32 EVERGREEN	1 TREE PER 500 SF OF REQ. LS AREA (20,471 SF / 500) = 41 TREES	76 TOTAL TREES 13 LARGE DEC. 39 ORNAMENTAL 24 EVERGREEN
LIVE MATERIAL GROUND COVER	75% OF REQ. LS AREA (172,042 SF x 75%) = 129,032 SF	85% / 146,466 SF 136,656 SF NATIVE SEED 360 SHRUBS @ 25 SF EA. 162 PERENNIALS @ 5 SF EA.	75% OF REQ. LS AREA (123,487 SF x 75%) = 92,615 SF	84% / 103,243 SF 95,833 SF NATIVE SEED 266 SHRUBS @ 25 SF EA. 152 PERENNIALS @ 5 SF EA.

PARKING LOT LANDSCAPING

ITEM	REQUIRED	PROVIDED
TREES	1 TREE PER 15 SPACES (444 SPACES / 15) = 30 TREES	35 LARGE SHADE TREES
PARKING ISLANDS	1 ISLAND PER 15 SPACES (444 SPACES / 15) = 30 ISLANDS	34 LANDSCAPED PARKING ISLANDS

GENERAL LANDSCAPE NOTES

1. ALL LOW PERENNIAL AND GROUND COVER PLANTING AREAS SHALL BE MULCHED WITH SHREDDED WESTERN RED CEDAR WOOD MULCH, AT A DEPTH OF 2". WEED BARRIER FABRIC IS NOT REQUIRED UNDER WOOD MULCH.

2. ALL OTHER PLANTING BED AREAS SHALL BE MULCHED WITH 1-1/2" GRAY ROSE MULTI-COLORED RIVER ROCK, AT A DEPTH OF 3". INSTALLED OVER PERMEABLE WEED BARRIER FABRIC. DO NOT INSTALL EDGING BETWEEN WOOD MULCH AND ROCK MULCH AREAS.

3. LANDSCAPE BED EDGER SHALL BE 14 GAUGE ROLLED TOP STEEL EDGING (DARK GREEN COLOR) IN THE LOCATIONS SHOWN ON THE PLANS. EDGER IS NOT REQUIRED WHERE LANDSCAPE AREA ABUTS CONCRETE.

4. ALL AREAS TO BE LANDSCAPED SHALL HAVE ORGANIC AMENDMENTS THOROUGHLY INCORPORATED INTO THE SOIL AT A RATE OF 5 CUBIC YARDS PER 1,000 SQUARE FEET, AND TILLED TO A DEPTH OF 6 INCHES.

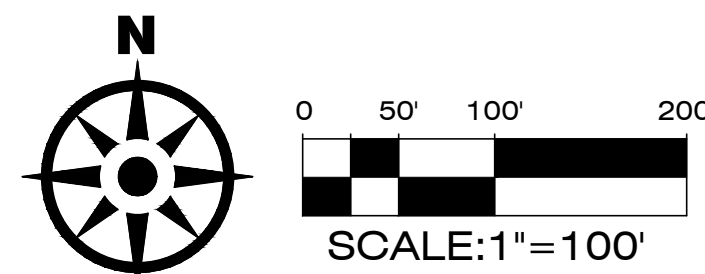
5. ALL NATIVE GRASS AREAS AND LANDSCAPE BED AREAS SHALL BE FINE GRADED PRIOR TO INSTALLATION OF NEW PLANT MATERIAL. ROCKS, WOOD, AND ANY MATERIAL LARGER THAN 1" IN DIAMETER SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO SEEDING AND PLANTING NEW MATERIALS.

6. EXISTING TURF, SHRUBS, TREES, AND PLANT MATERIAL TO BE REMOVED SHALL BE FULLY REMOVED FROM THE SITE, INCLUDING ALL ROOTS.

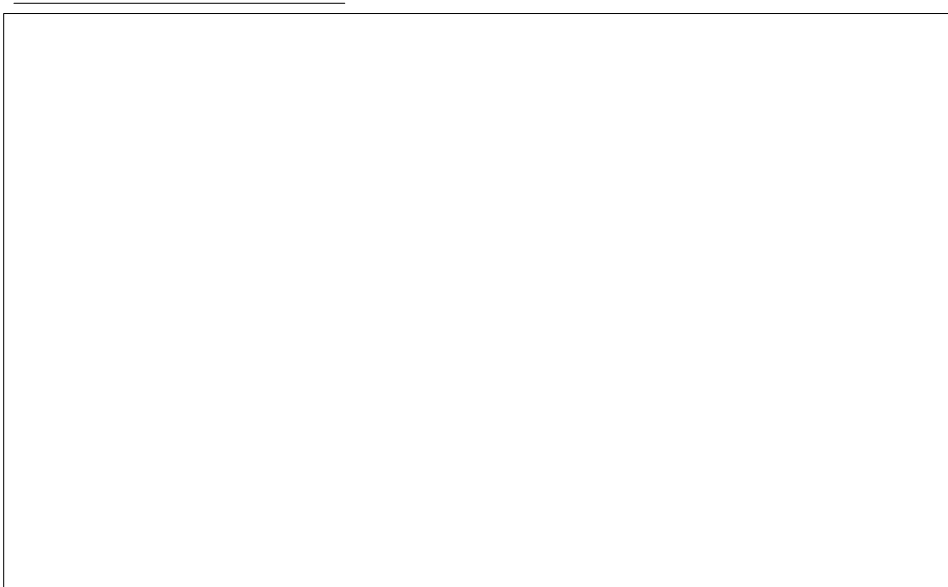
7. ALL LANDSCAPED AREAS SHALL BE WATERED BY A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

8. IRRIGATION HEADS SHALL BE COMMERCIAL GRADE WITH REPLACEABLE NOZZLES, PRESSURE REGULATORS, AND CHECK VALVES.

9. BED AREAS SHALL BE ZONED SEPARATELY THAN NATIVE GRASS AREAS, AND SHALL BE IRRIGATED BY INDIVIDUAL DRIP EMITTERS TO EACH PLANT. DRIP COMPONENTS SHALL BE COMMERCIAL GRADE RAIN-BIRD OR EQUAL POINT SOURCE EMITTERS, WITH ALL PLANTS RECEIVING IRRIGATION.



CITY APPROVAL:



PRELIMINARY LANDSCAPE PLANS
LANDSCAPE COVER SHEET & PLANT LIST
SHEET 11 OF 23

REAGAN RANCH INDUSTRIAL DEVELOPMENT PLAN

LOT 1, FILING NO.1 OF A PARCEL OF LAND SITUATED IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 14
SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

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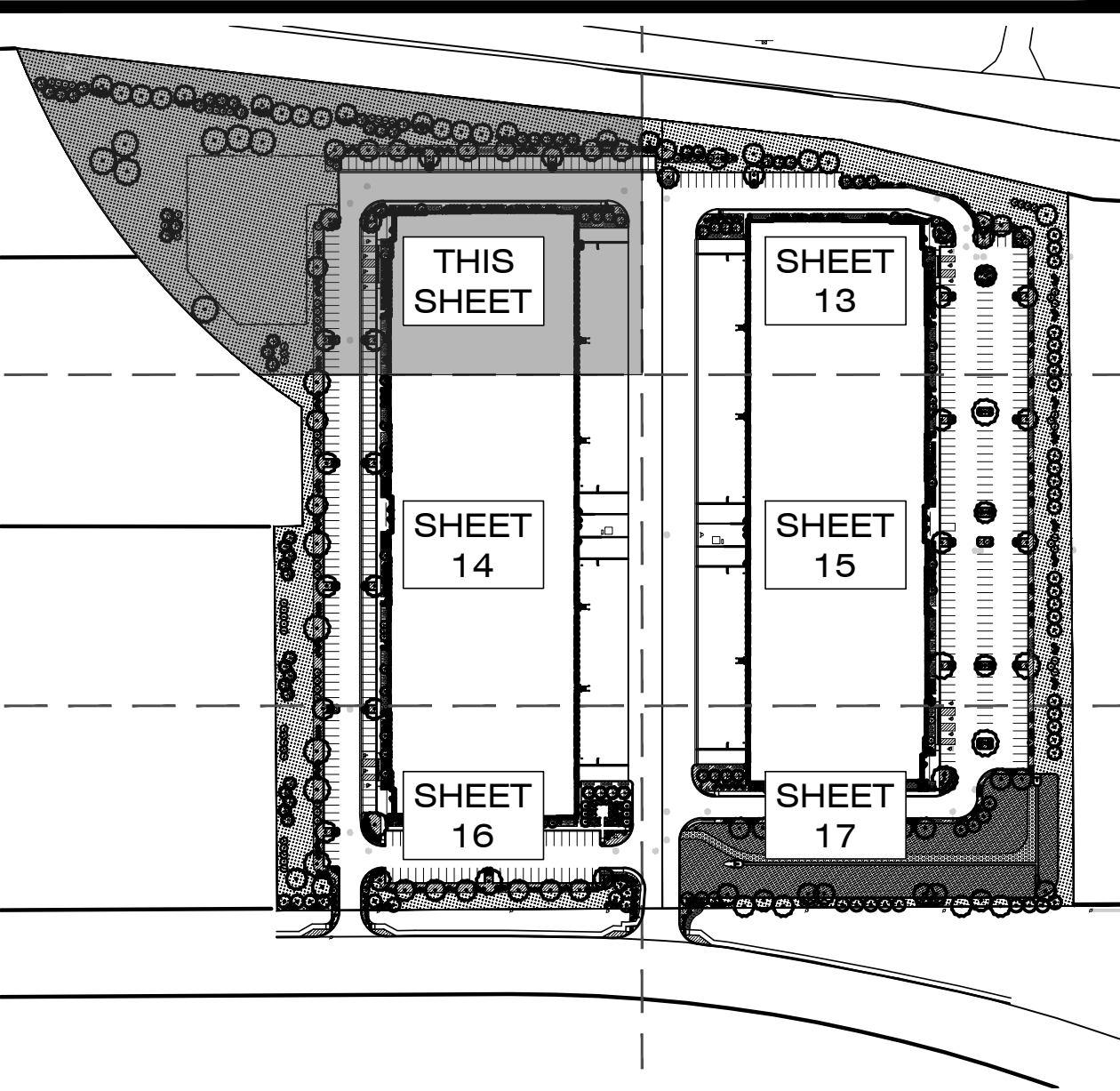
LANDSCAPE PLAN

LANDSCAPE LEGEND

(SEE SHEET 11 FOR FULL PLANT LIST)

	DECIDUOUS SHADE TREES		DECIDUOUS SHRUBS
	ORNAMENTAL TREES		EVERGREEN SHRUBS
	EVERGREEN TREES		PERENNIALS
	ORNAMENTAL GRASSES		LANDSCAPE BOULDERS
	DRYLAND NATIVE SEED		CRUSHER FINES
	NATIVE SEED-STORMWATER MIX		

KEY MAP



CITY APPROVAL:

MATCHLINE : SEE SHEET 14

MATCHLINE : SEE SHEET 14

MATCHLINE : SEE SHEET 13

MATCHLINE : SEE SHEET 13

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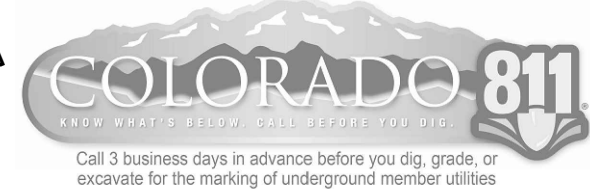
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PRELIMINARY LANDSCAPE PLANS
LANDSCAPE PLAN (1)
SHEET 12 OF 23

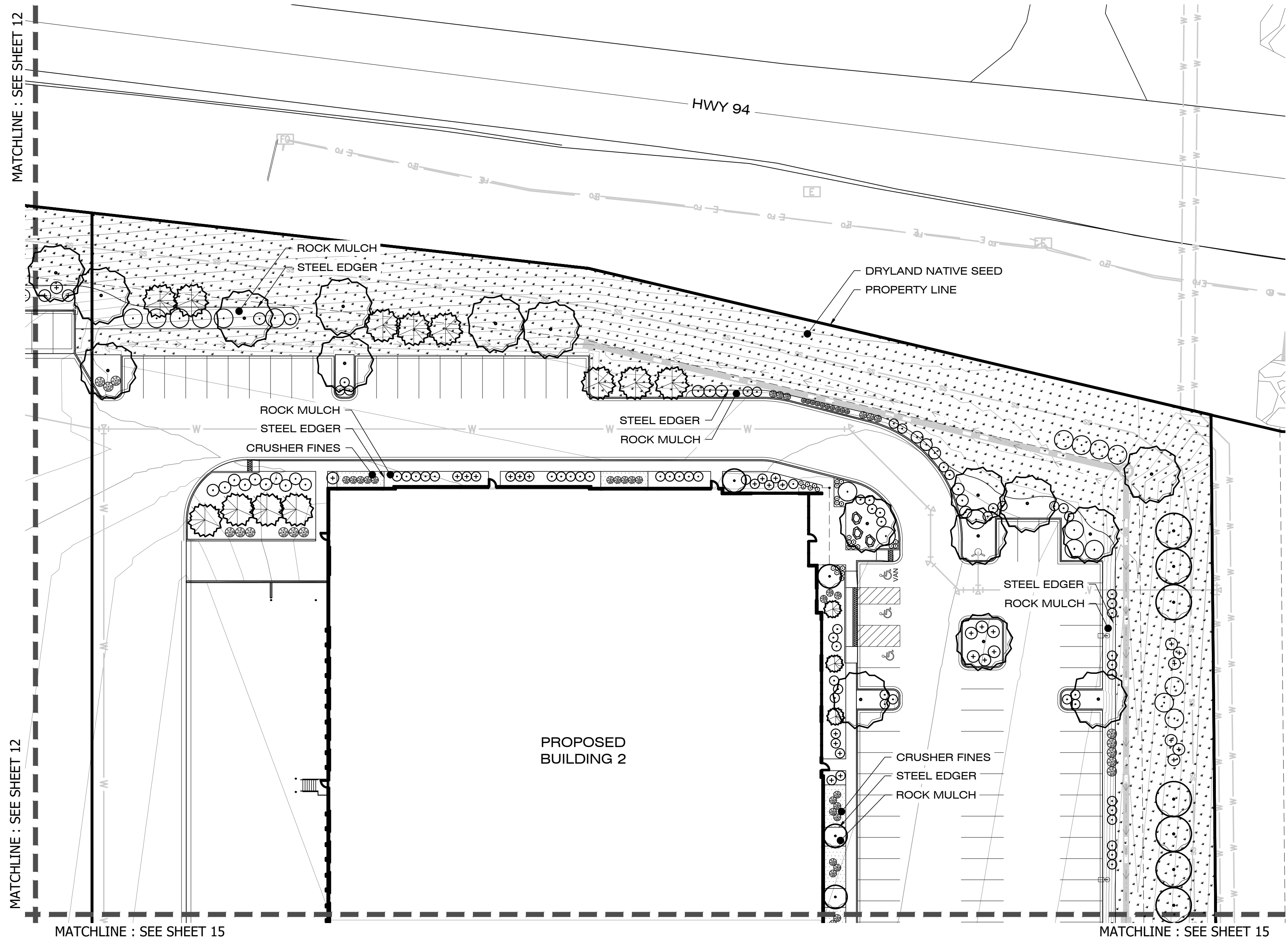
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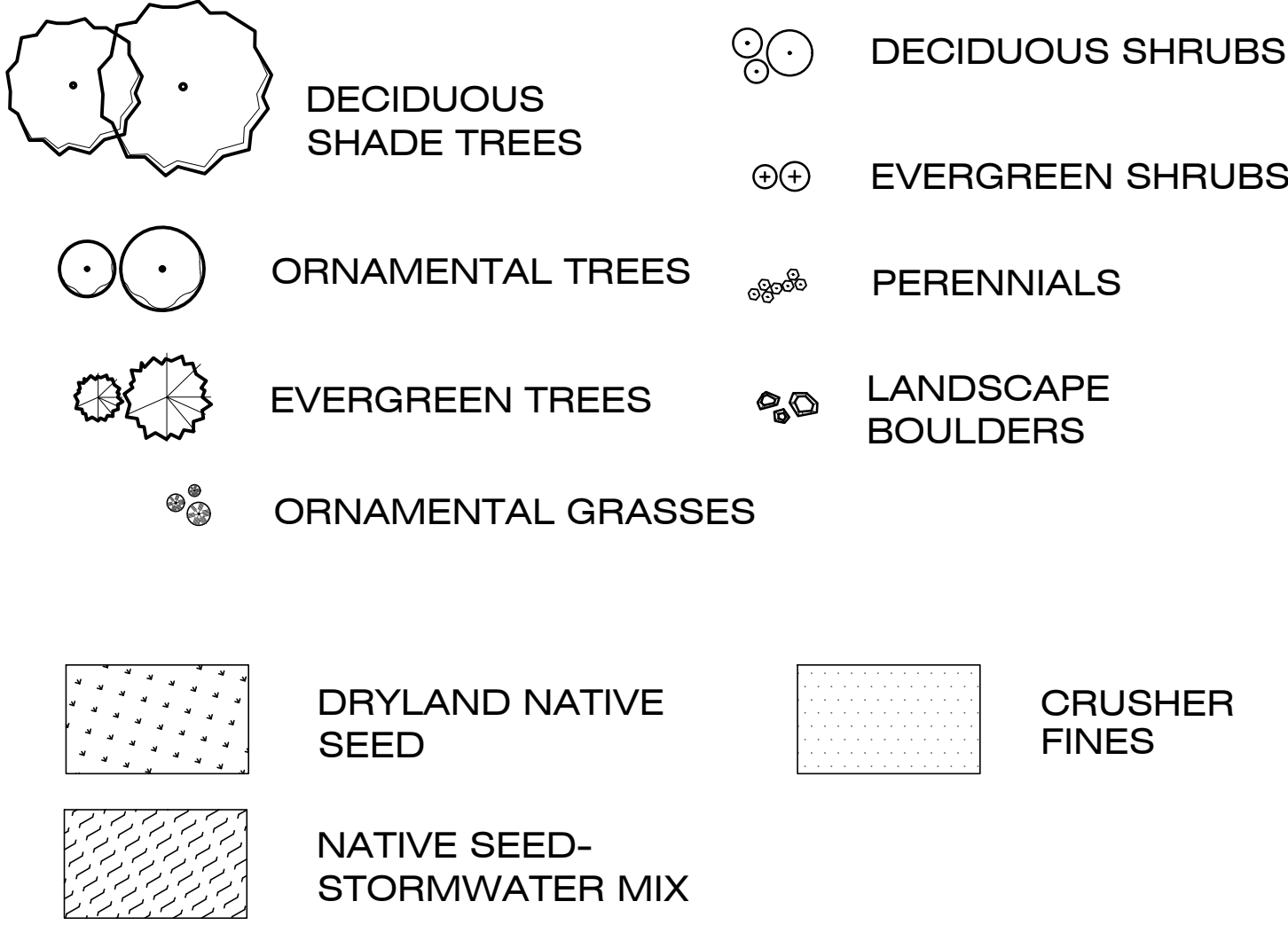


LANDSCAPE PLAN

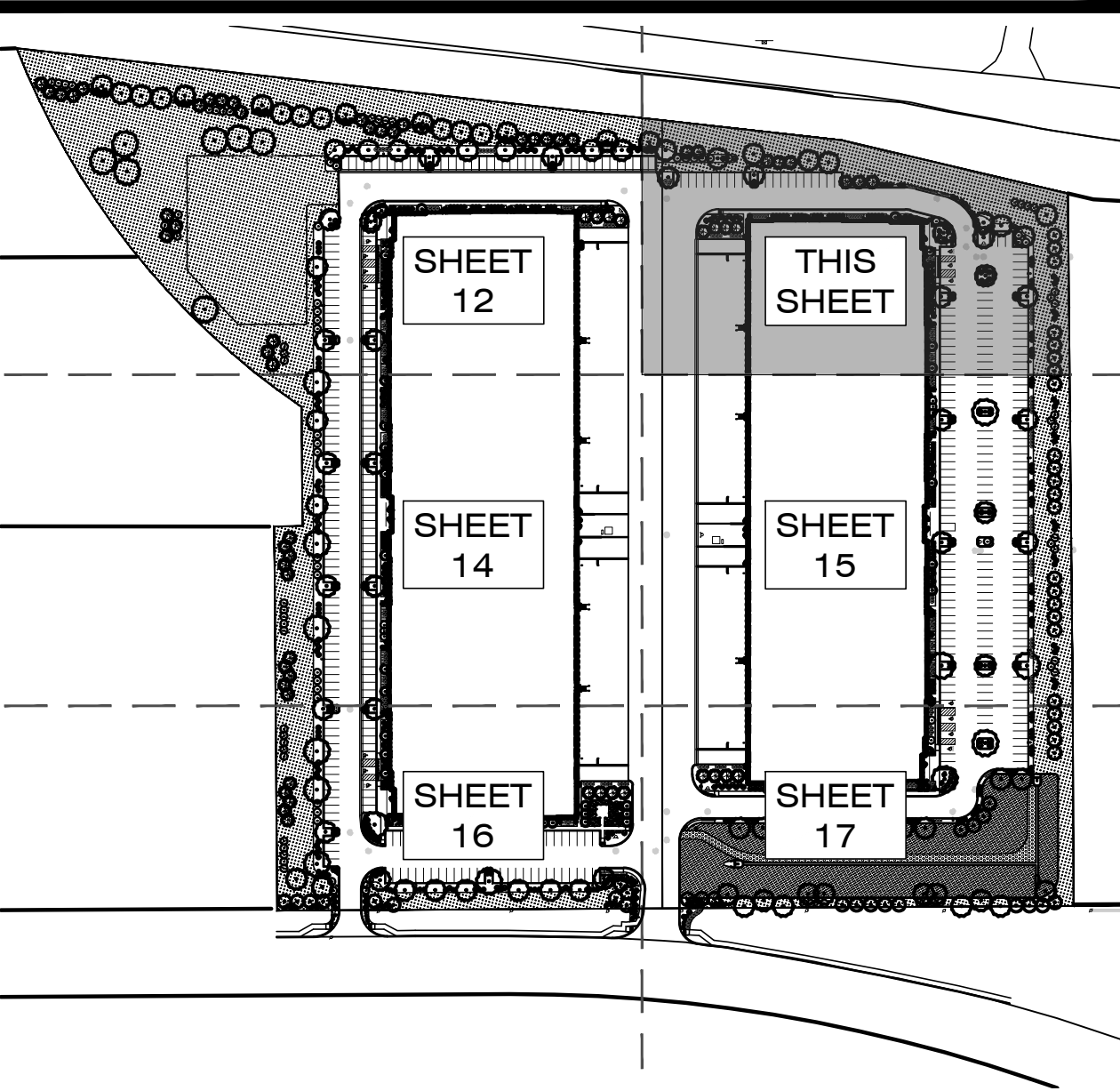


LANDSCAPE LEGEND

(SEE SHEET 11 FOR FULL PLANT LIST)

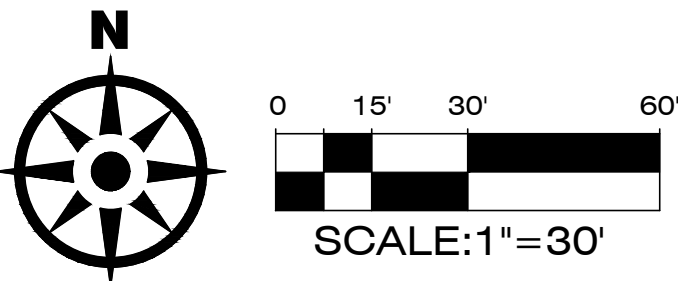


KEY MAP



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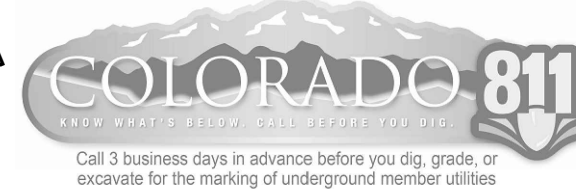
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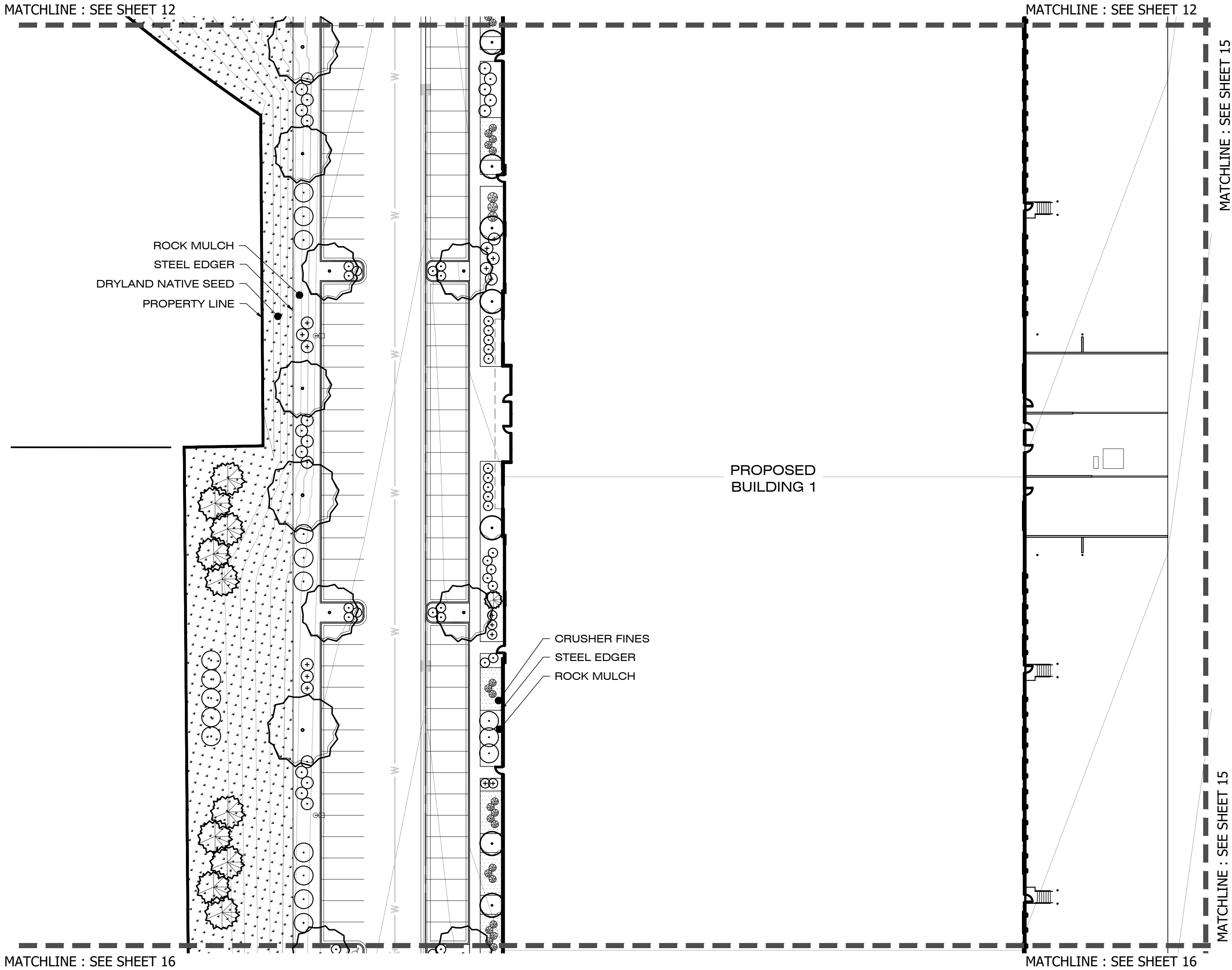
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SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

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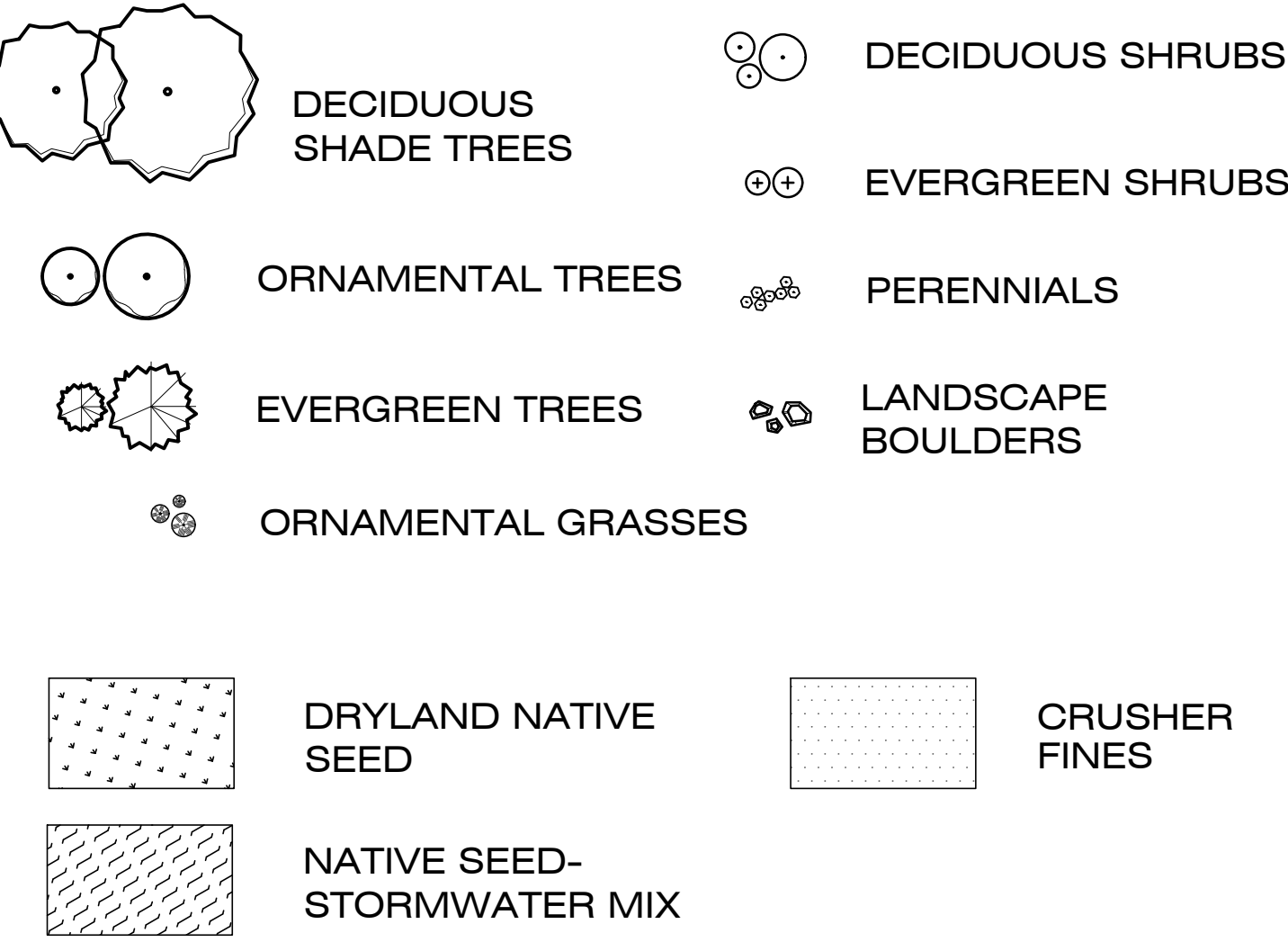


LANDSCAPE PLAN

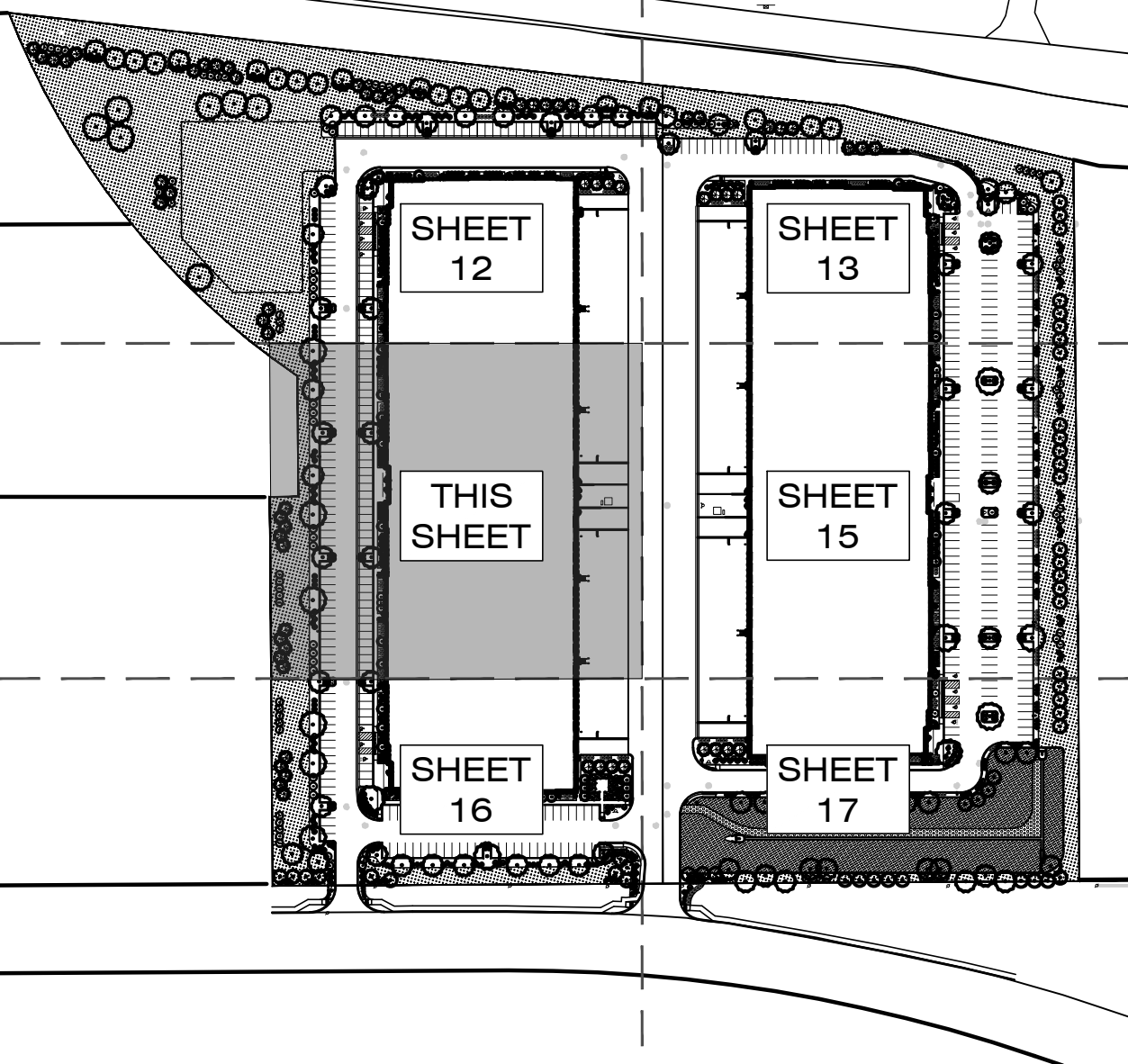


LANDSCAPE LEGEND

(SEE SHEET 11 FOR FULL PLANT LIST)



KEY MAP



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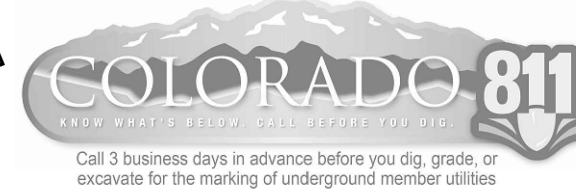
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PRELIMINARY LANDSCAPE PLANS
LANDSCAPE PLAN (3)
SHEET 14 OF 23

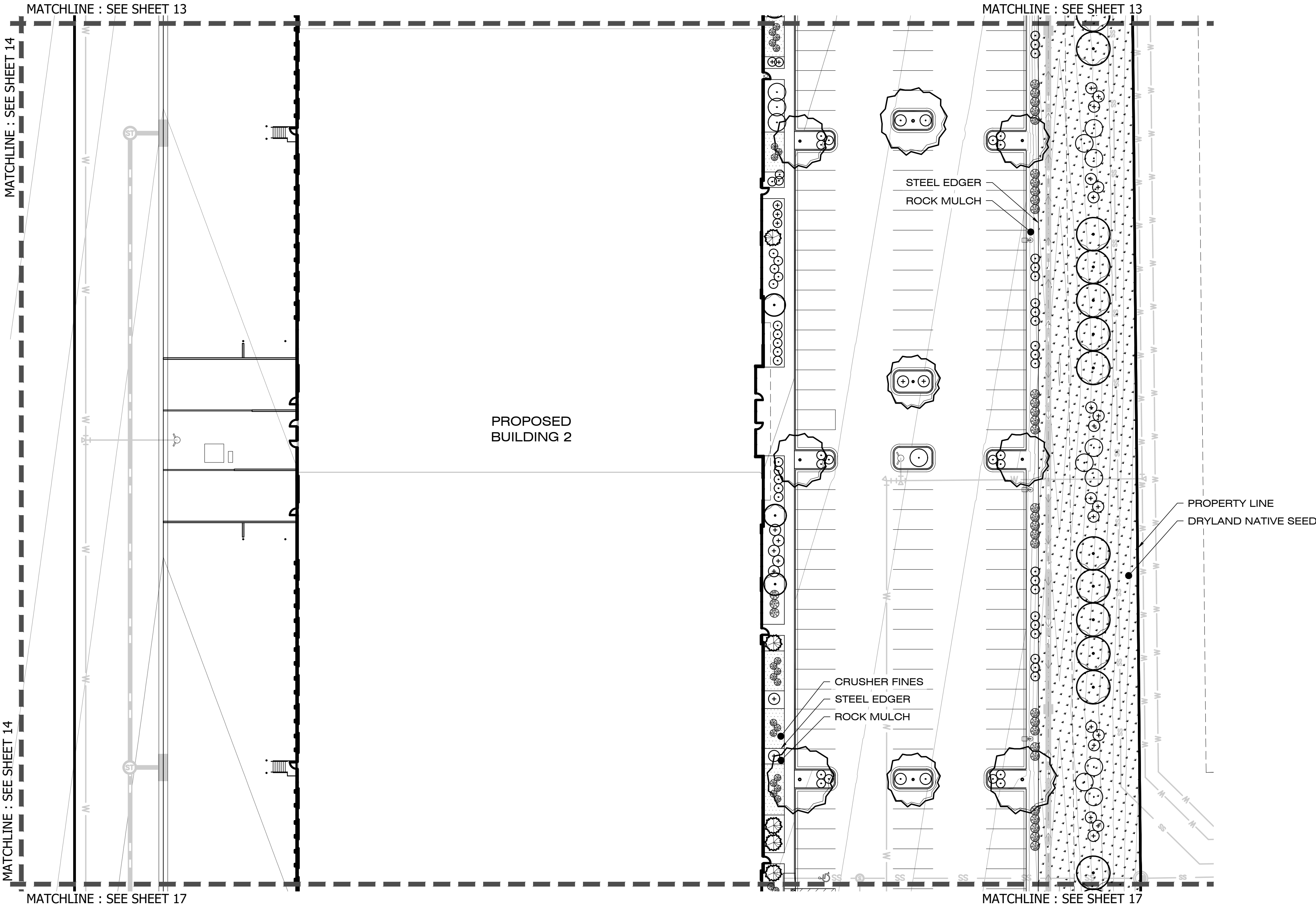
REAGAN RANCH INDUSTRIAL DEVELOPMENT PLAN

LOT 1, FILING NO.1 OF A PARCEL OF LAND SITUATED IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

- FOR REVIEW -
- NOT FOR CONSTRUCTION

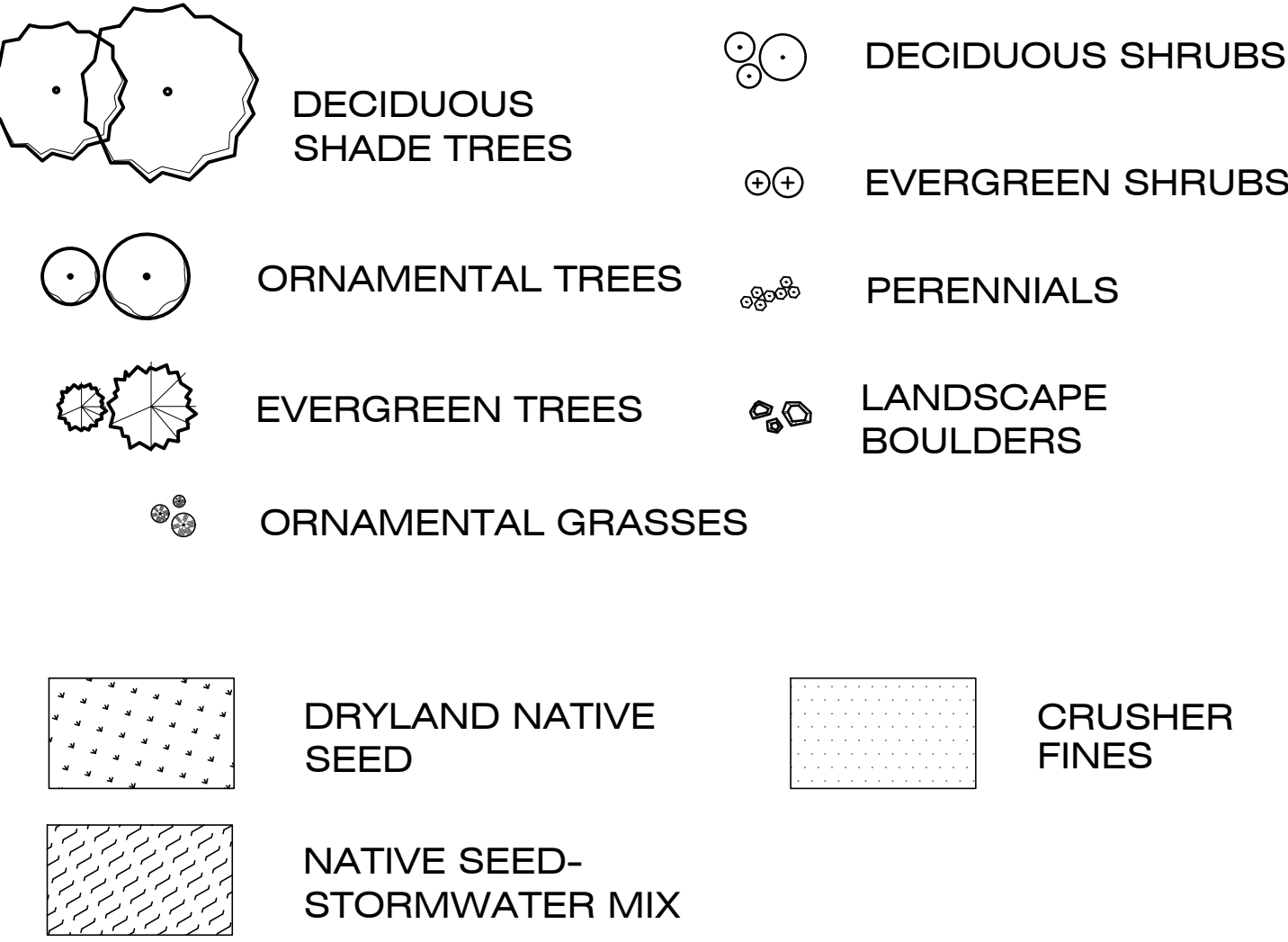


LANDSCAPE PLAN

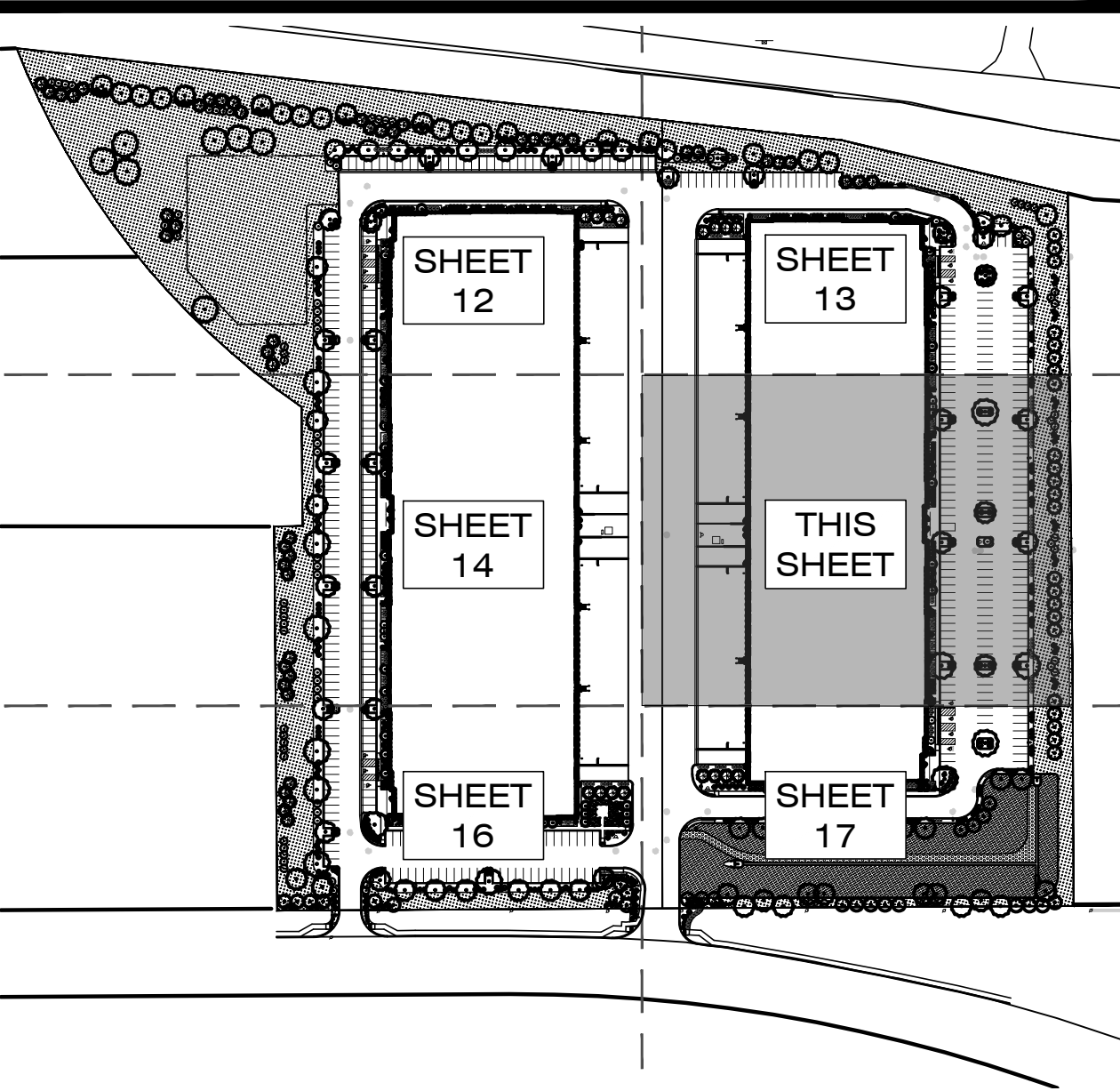


LANDSCAPE LEGEND

(SEE SHEET 11 FOR FULL PLANT LIST)

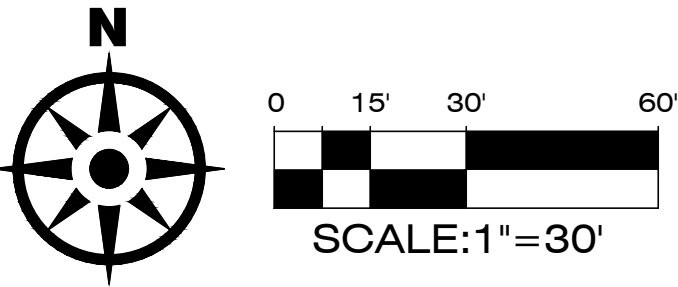


KEY MAP



CITY APPROVAL:

Blank box for City Approval signature.



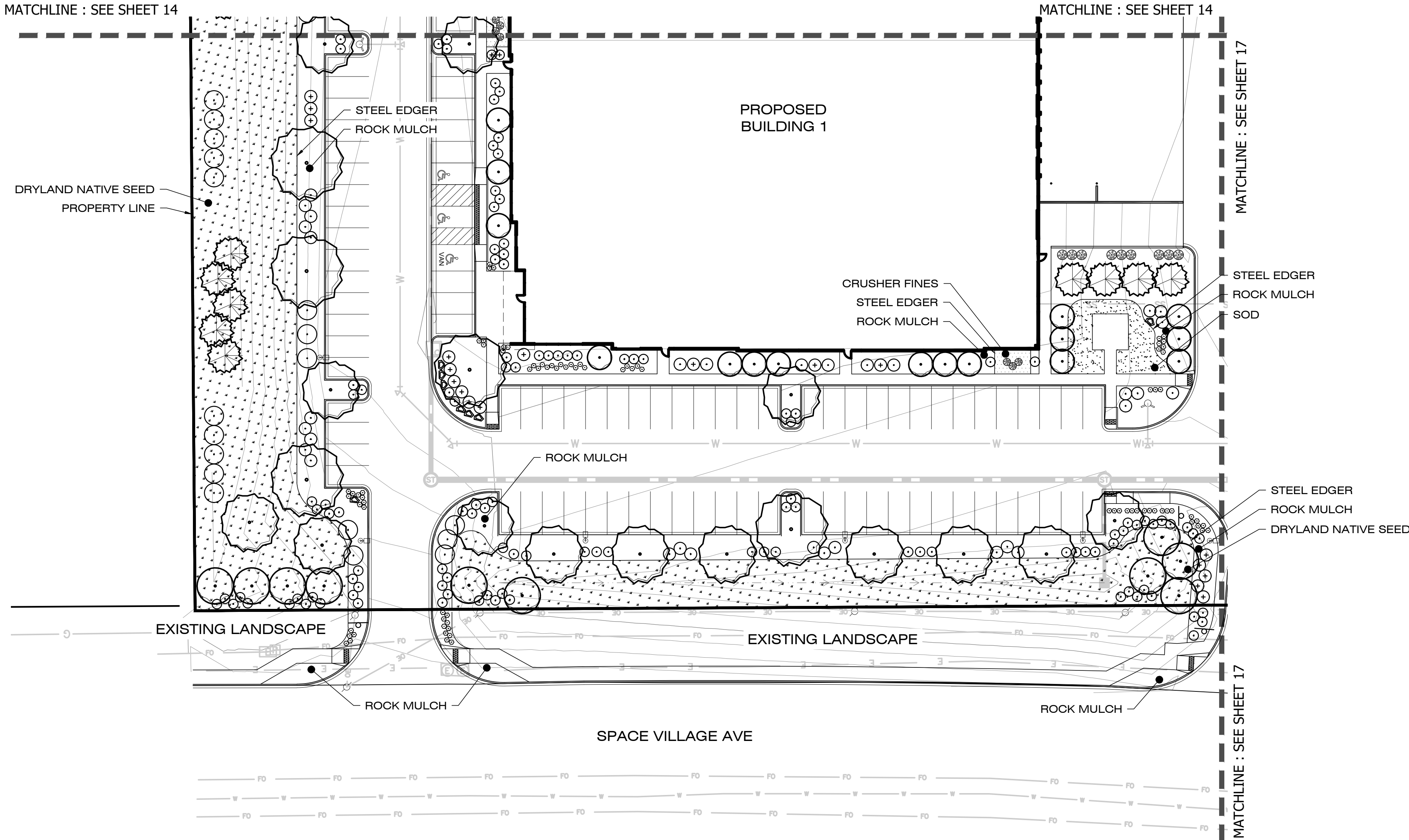
REAGAN RANCH INDUSTRIAL DEVELOPMENT PLAN

LOT 1, FILING NO.1 OF A PARCEL OF LAND SITUATED IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

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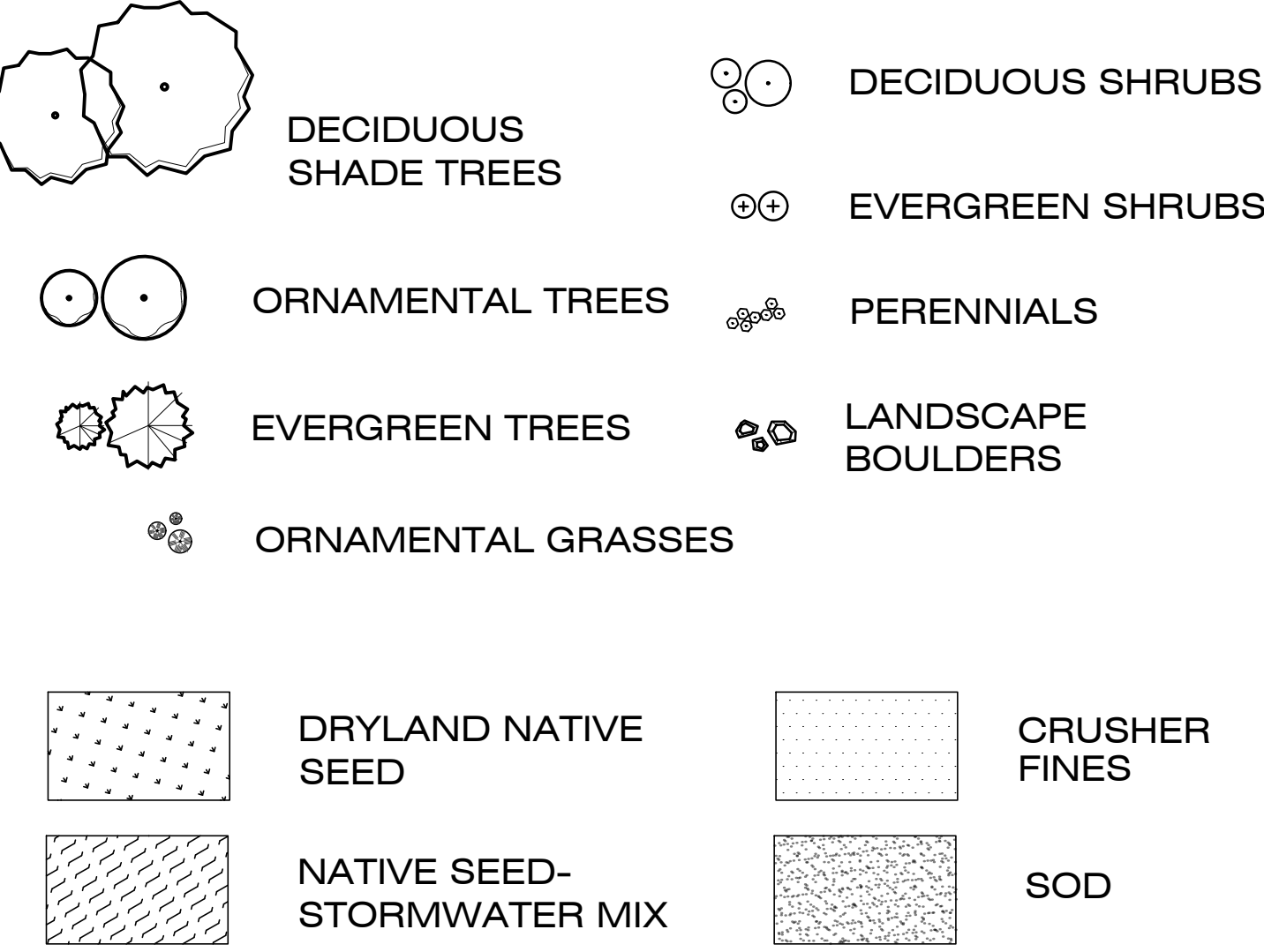


LANDSCAPE PLAN

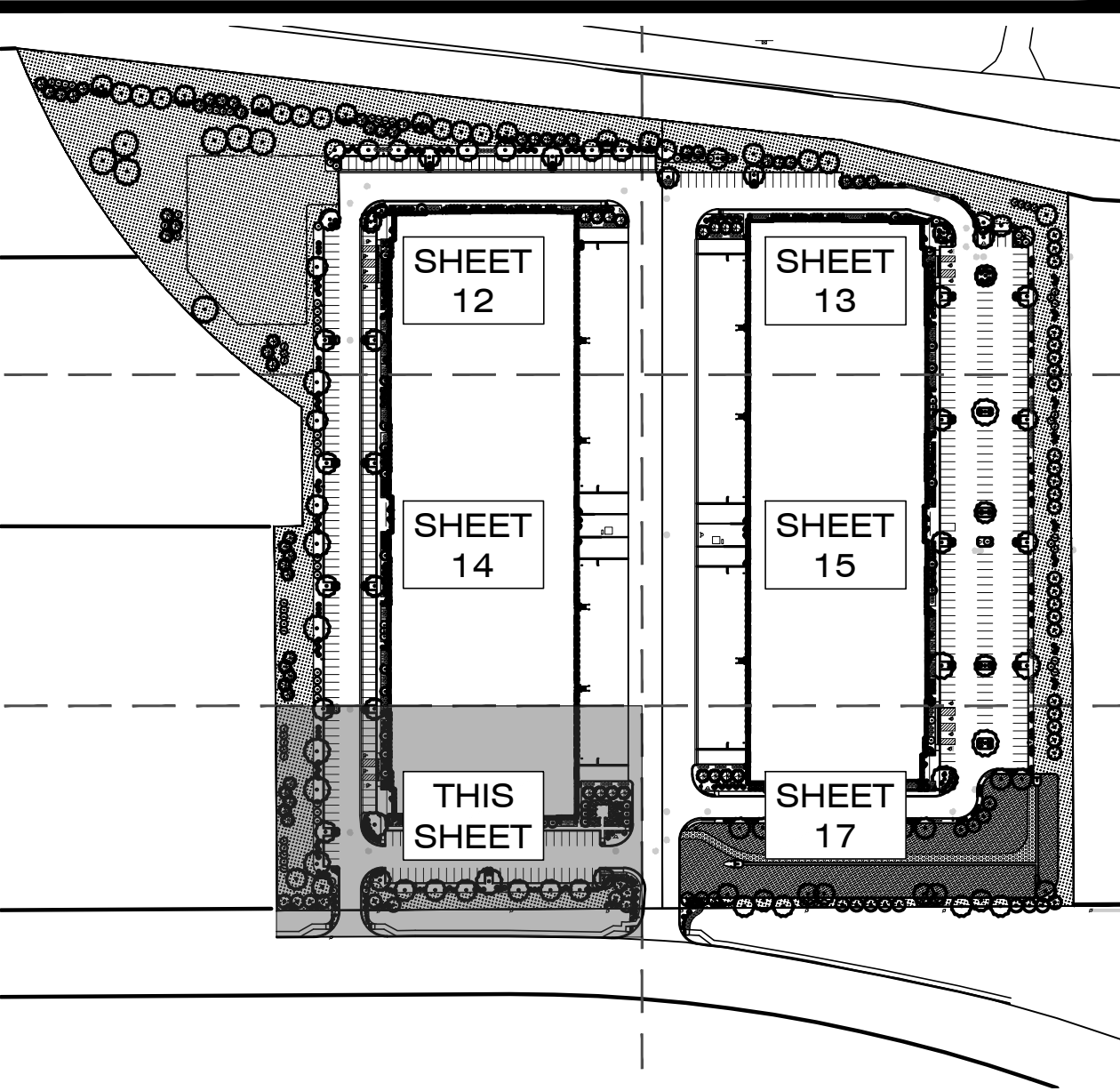


LANDSCAPE LEGEND

(SEE SHEET 11 FOR FULL PLANT LIST)

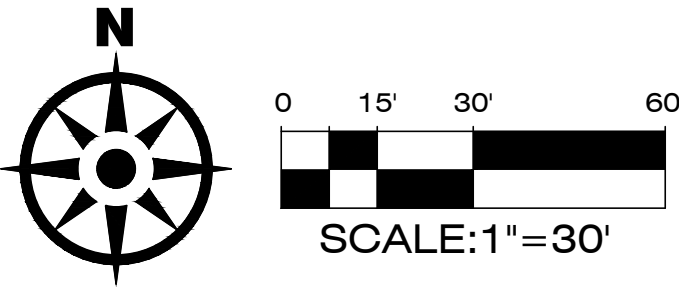


KEY MAP



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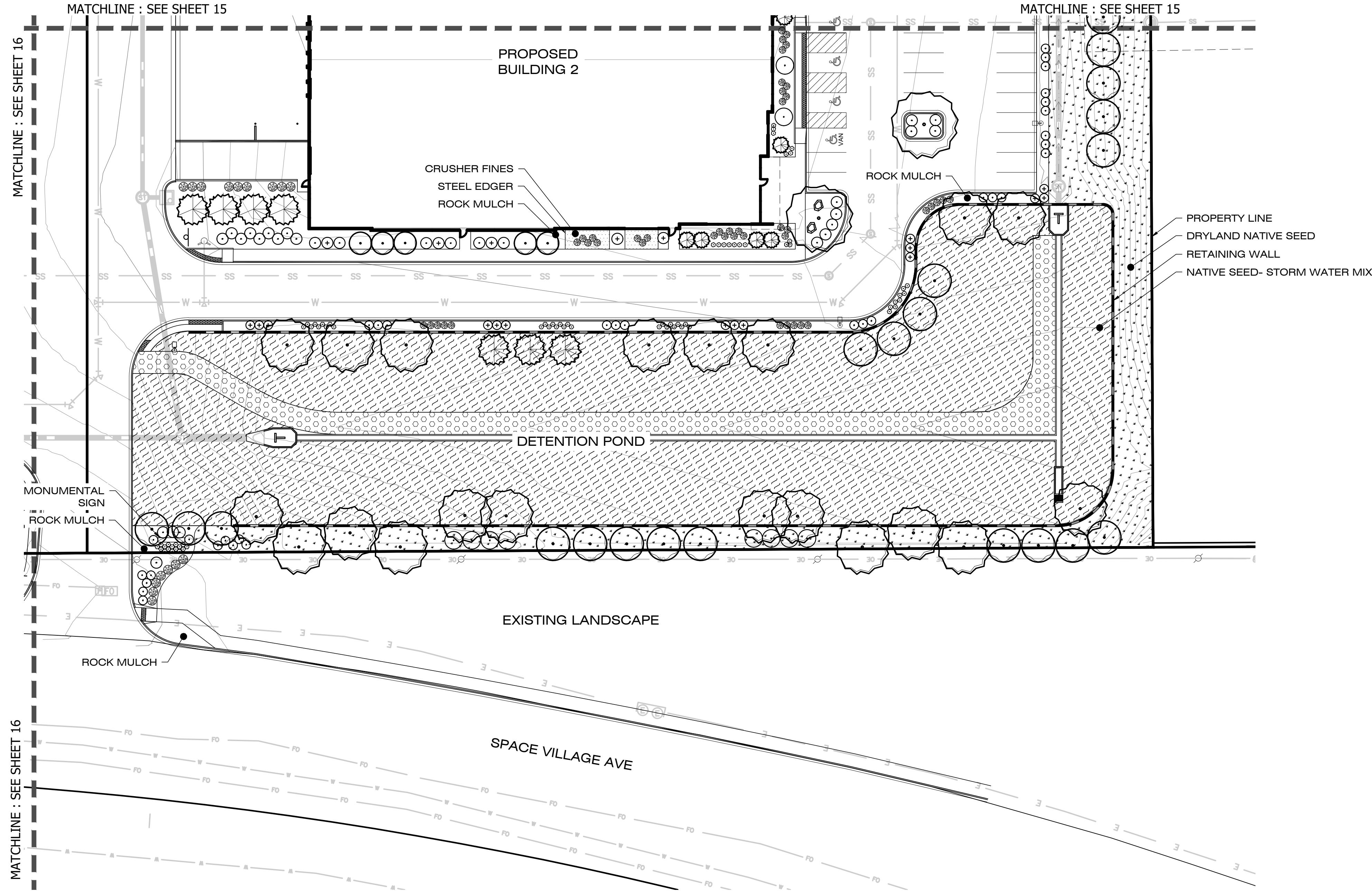
REAGAN RANCH INDUSTRIAL DEVELOPMENT PLAN

LOT 1, FILING NO.1 OF A PARCEL OF LAND SITUATED IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

- FOR REVIEW -
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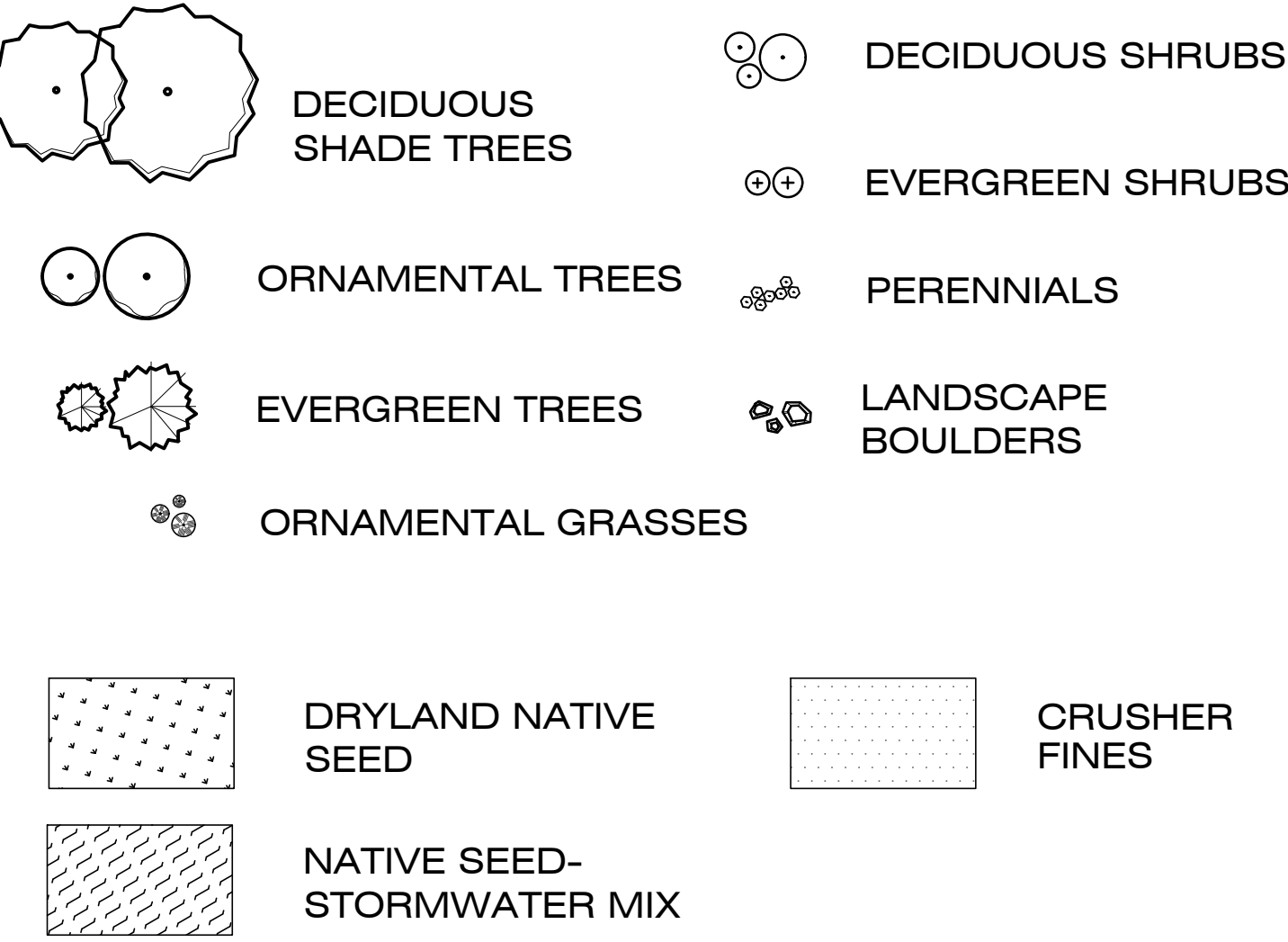


LANDSCAPE PLAN

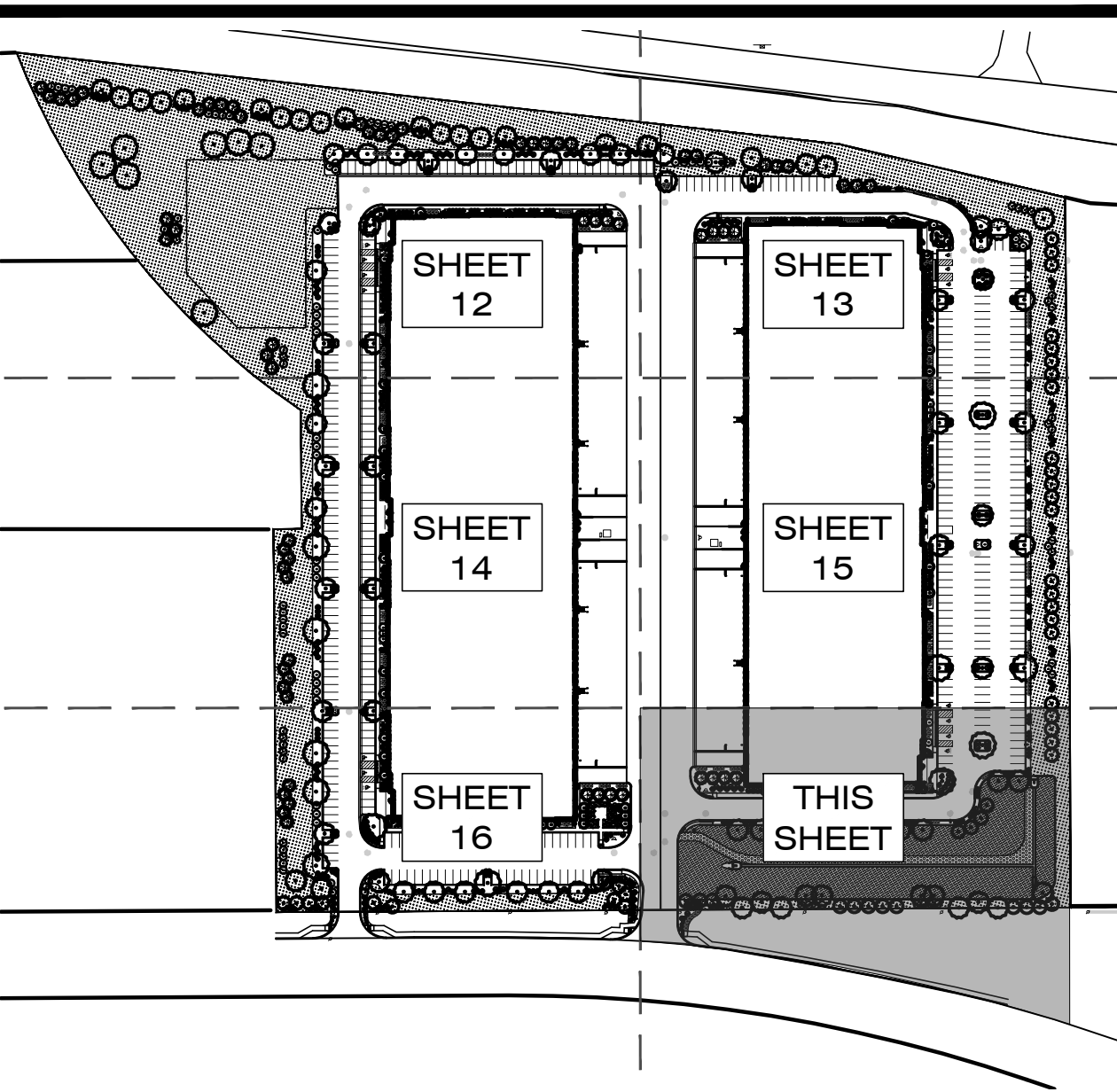


LANDSCAPE LEGEND

(SEE SHEET 11 FOR FULL PLANT LIST)

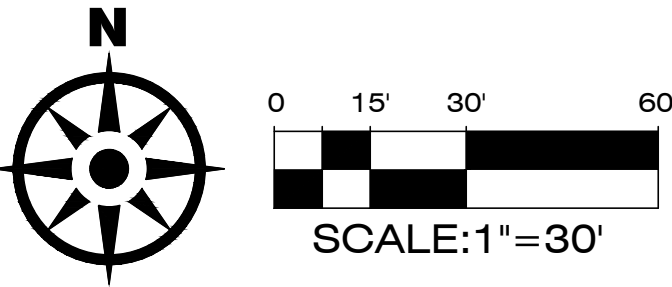


KEY MAP



CITY APPROVAL:

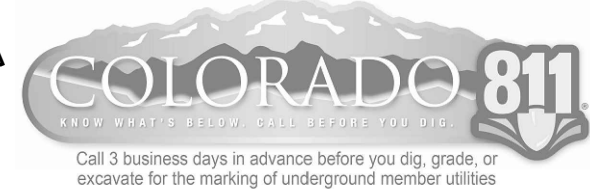
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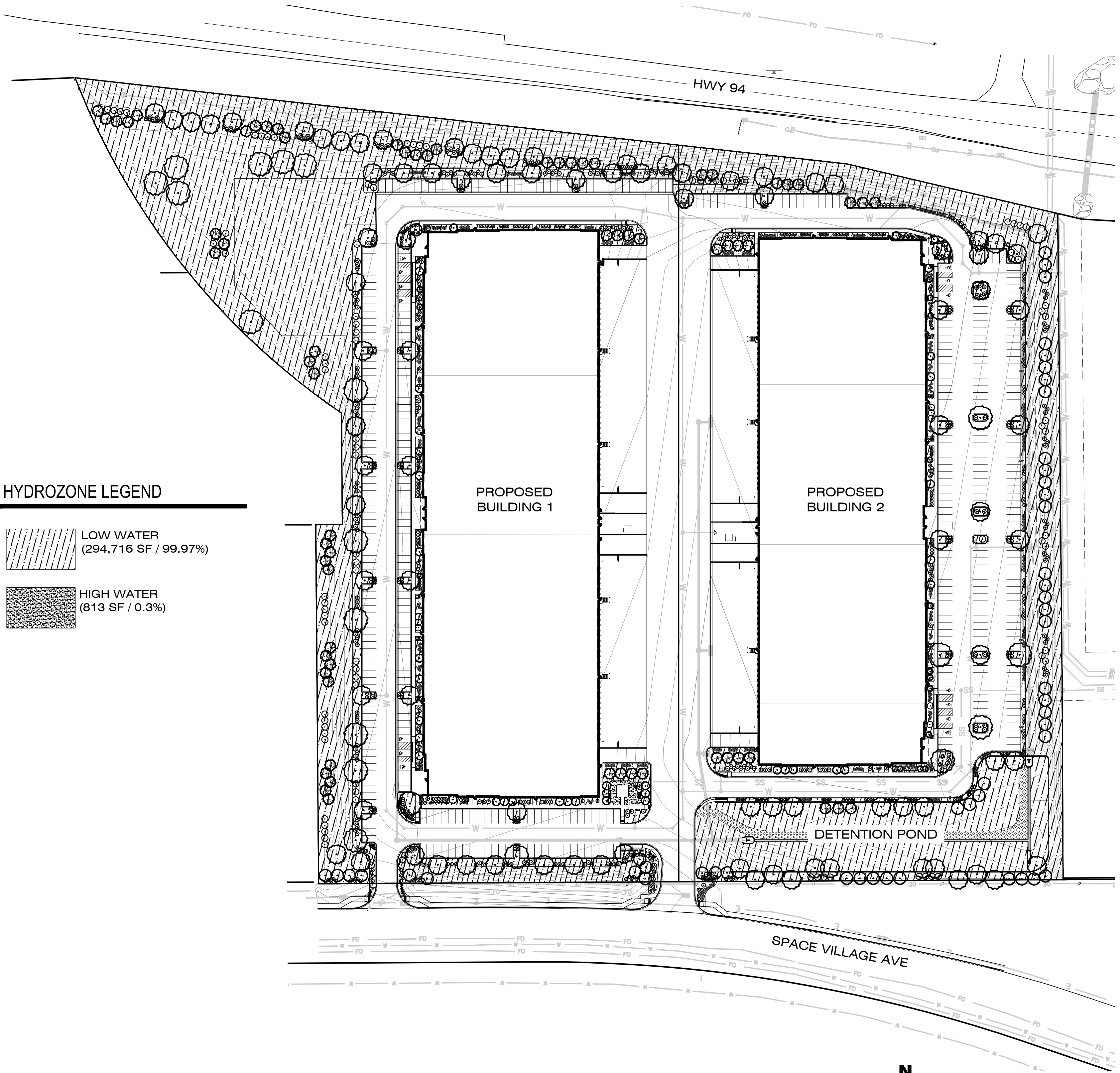
REAGAN RANCH INDUSTRIAL
DEVELOPMENT PLAN

LOT 1, FILING NO.1 OF A PARCEL OF LAND SITUATED IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 14
SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

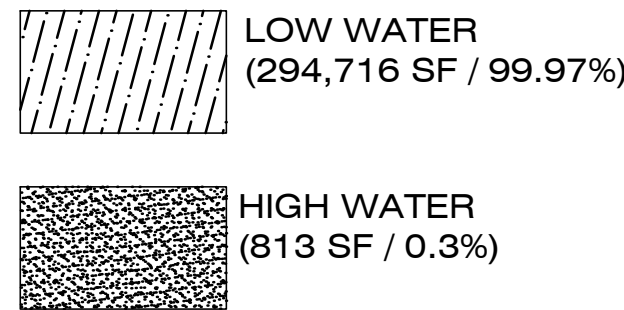
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HYDROZONES

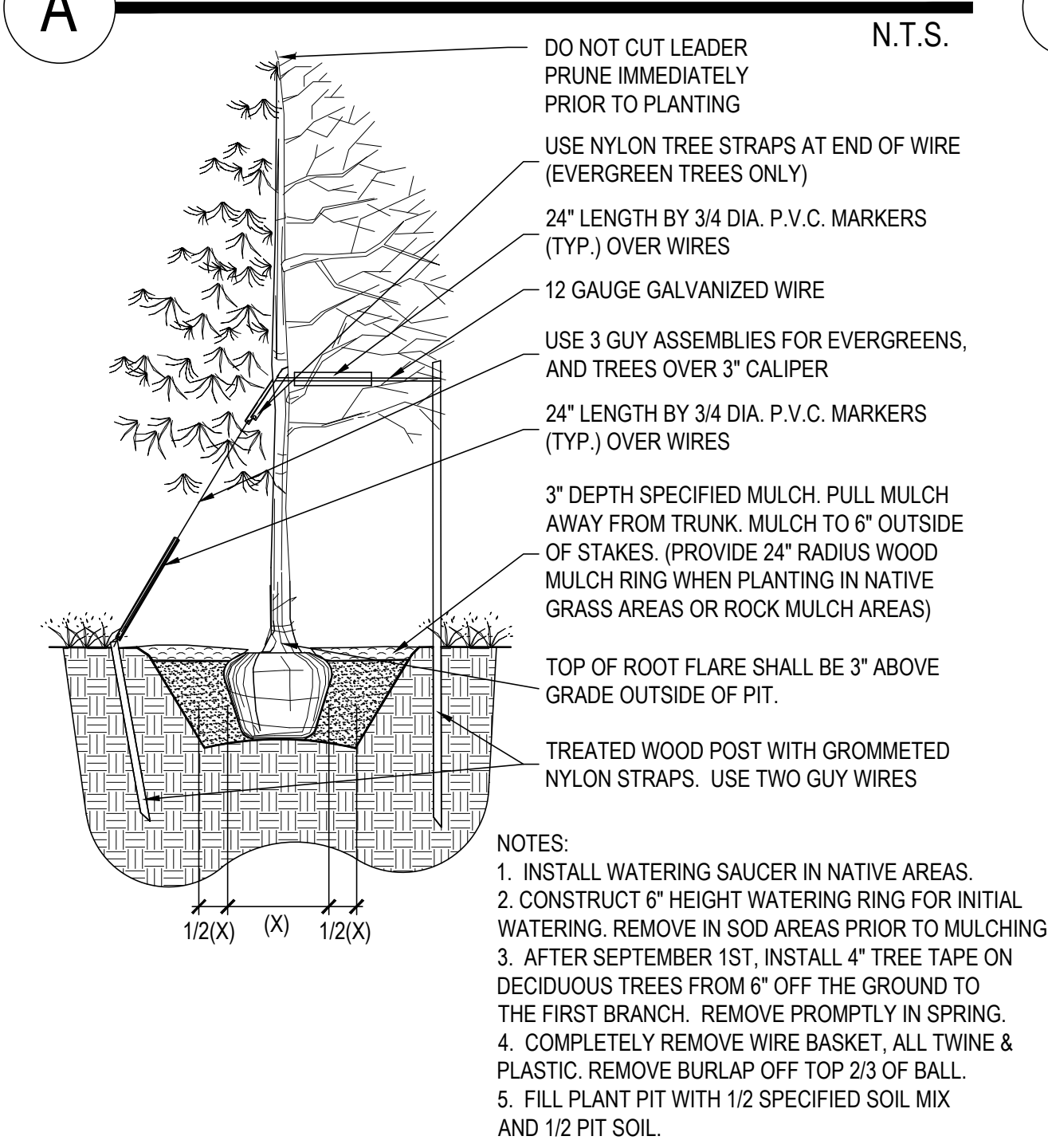


HYDROZONE LEGEND

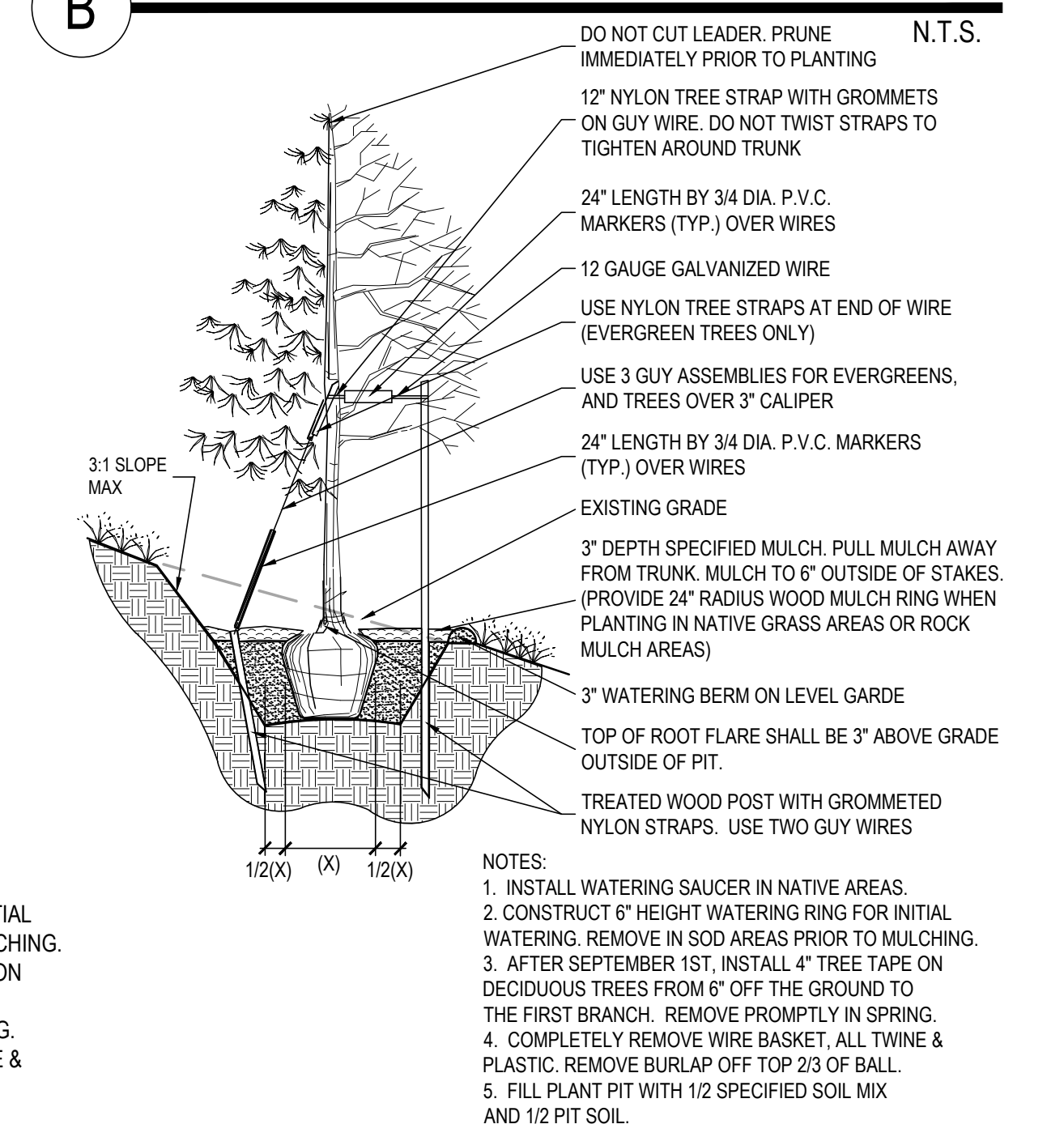


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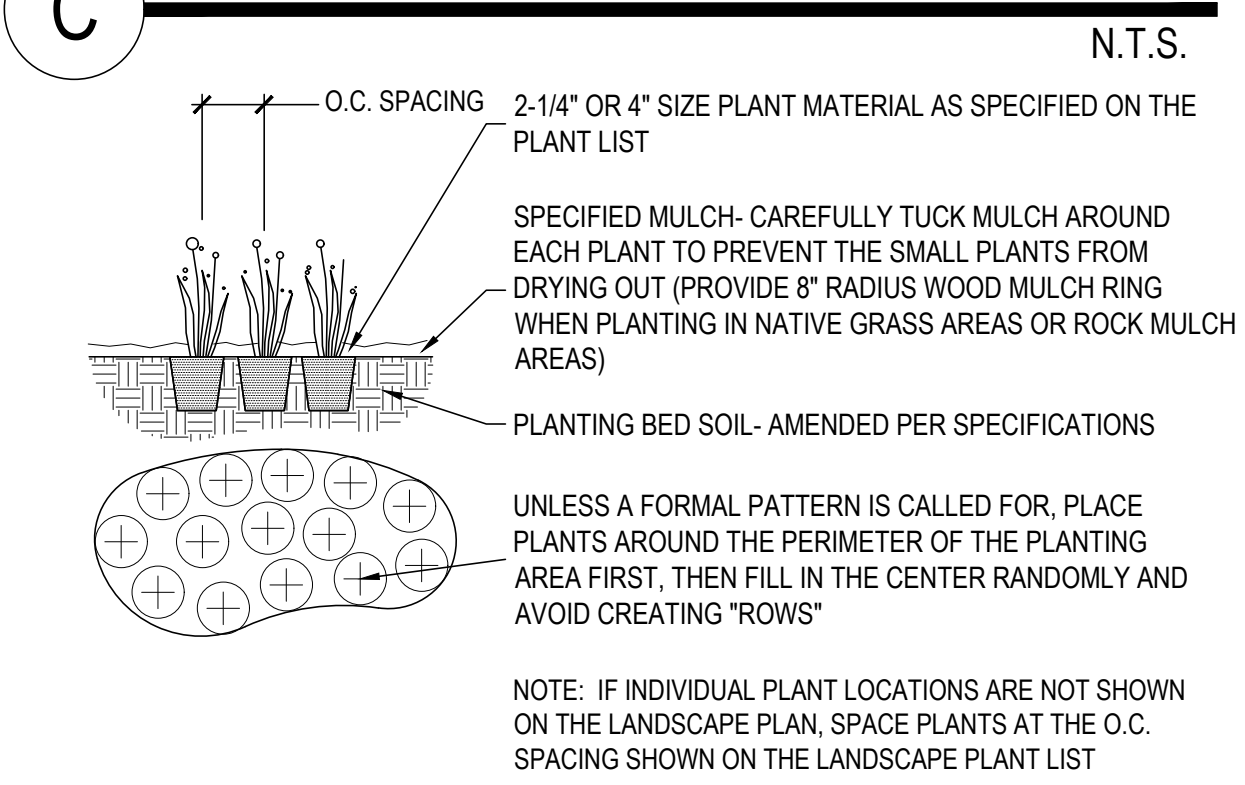
A PLANTING DETAIL FOR ALL TREES & B&B SHRUBS



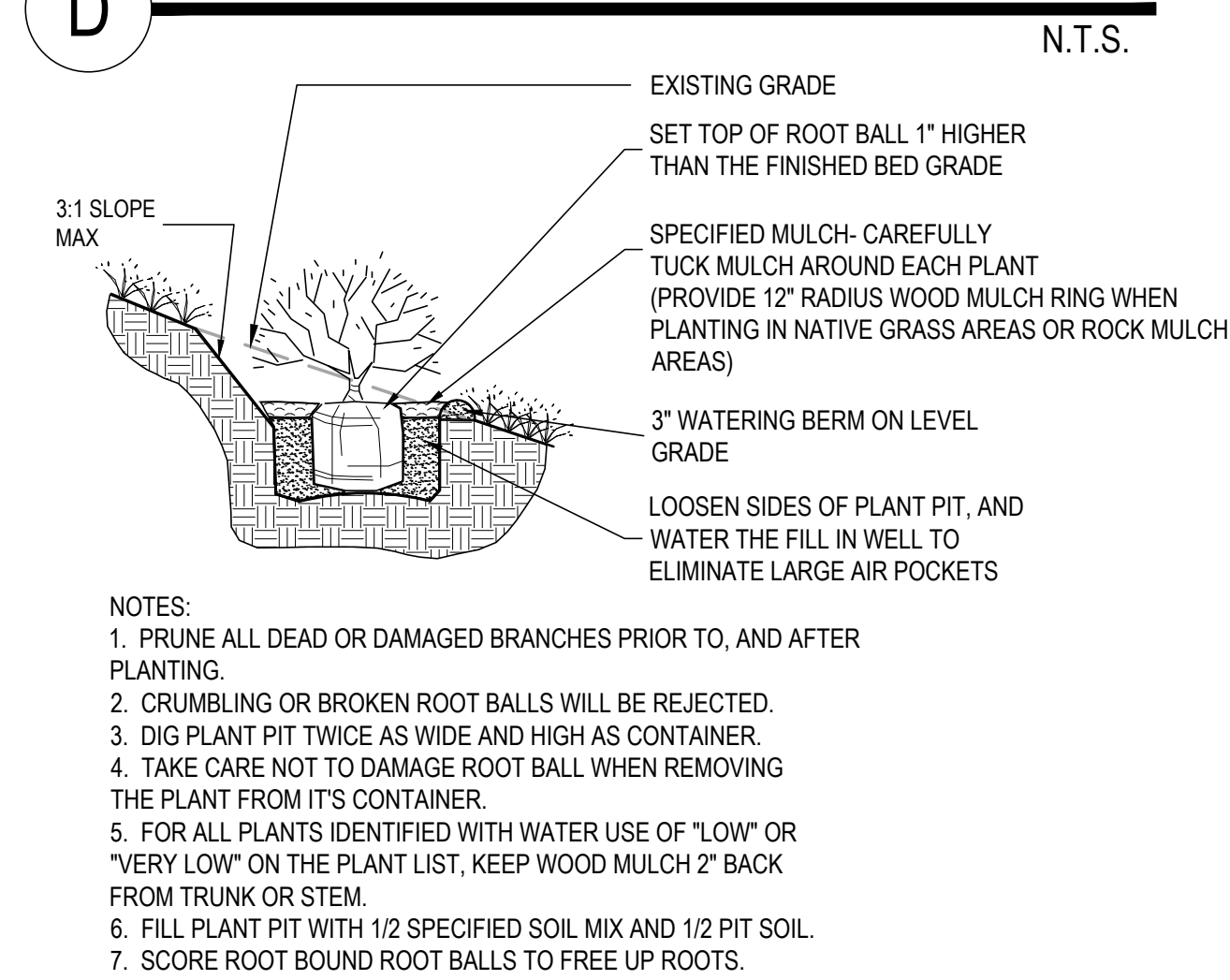
B SLOPE PLANTING DETAIL FOR ALL TREES & B&B SHRUBS



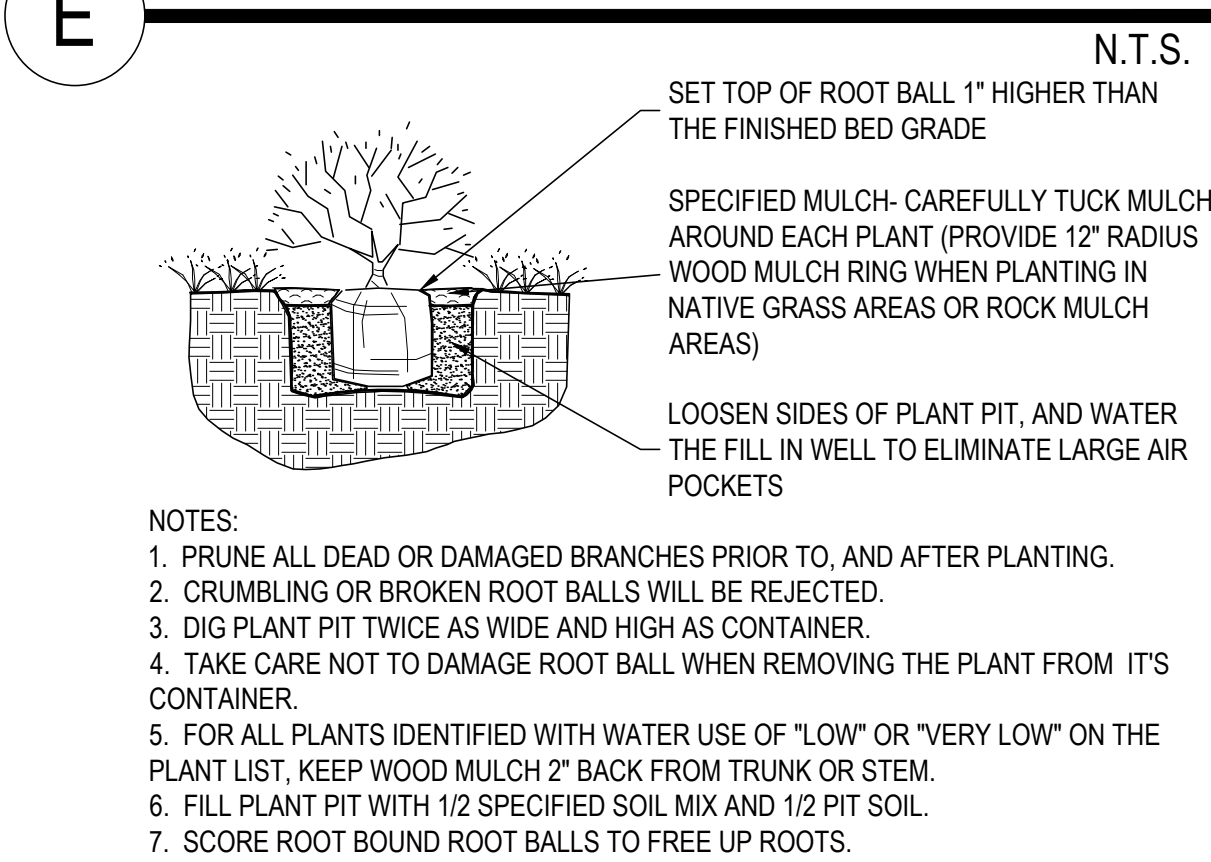
C PLANTING DETAIL FOR PERENNIALS, ANNUALS, & ALL CONTAINER PLANTS 1 GALLON OR SMALLER



D SLOPE PLANTING DETAIL FOR SHRUBS, AND ALL CONTAINER PLANTS LARGER THAN 1 GALLON



E PLANTING DETAIL FOR SHRUBS, AND ALL CONTAINER PLANTS LARGER THAN 1 GALLON



CITY APPROVAL:

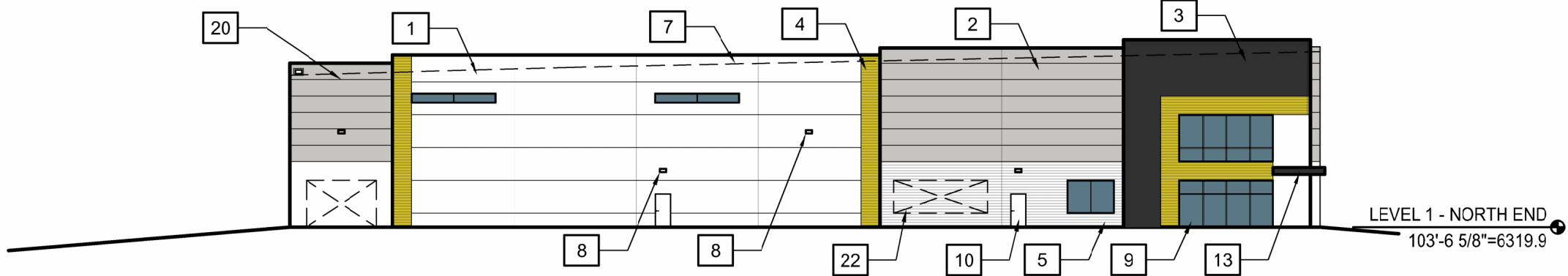
PRELIMINARY LANDSCAPE PLANS
LANDSCAPE NOTES & DETAILS
SHEET 18 OF 23

REAGAN RANCH INDUSTRIAL DEVELOPMENT PLAN

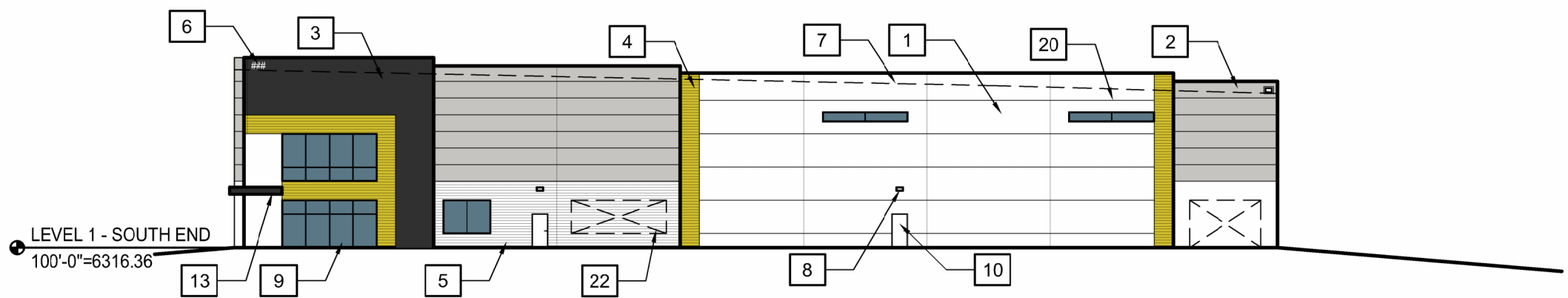
LOT 1, FILING NO.1 OF A PARCEL OF LAND SITUATED IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

MATERIAL LEGEND

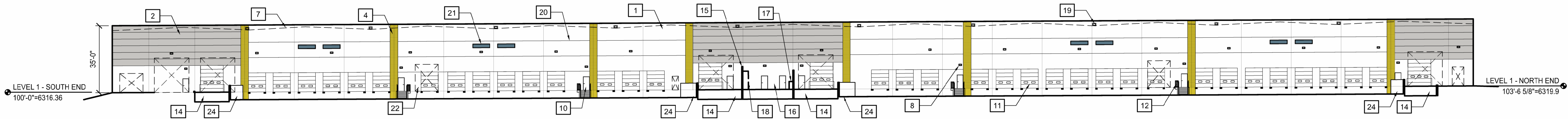
- 1 CONCRETE PANEL COLOR #1 WHITE
- 2 CONCRETE PANEL COLOR #2 MEDIUM GRAY
- 3 CONCRETE PANEL COLOR #3 ACCENT CHARCOAL GRAY
- 4 RIBBED CONCRETE PANEL COLOR #4 ACCENT YELLOW
- 5 RIBBED CONCRETE PANEL COLOR #1 WHITE
- 6 ADDRESS NUMBER, 16" HT., WHITE COLOR
- 7 LINE OF ROOF BEYOND THE PARAPET
- 8 LIGHT FIXTURE, RE. ELECT. PREFIN. DARK BRONZE
- 9 STOREFRONT PREFIN. DARK BRONZE FRAME & BLUE GLASS
- 10 H.M. MAN DOOR, PAINT COLOR TO MATCH ADJACENT WALL
- 11 OVERHEAD DOOR W/ VISION PANEL COLOR PREFINISHED WHITE
- 12 METAL STAIRS RAILING TO BE PAINTED BLACK
- 13 METAL CANOPY, PAINT ALL EXPOSED STEEL COLOR BLACK
- 14 CONCRETE RAMP, RE: CIVIL
- 15 CONCRETE SCREEN WALL, PAINT TO MATCH THE BUILDING, COLOR #1
- 16 FIRE DEPARTMENT CONNECTION, RE: CIVIL
- 17 SCREENED GAS METERS BEHIND 10' TALL CONCRETE SCREEN WALL TO MATCH THE BUILDING
- 18 SCREENED ELECTRIC METERS BEHIND 12' TALL CONCRETE SCREEN WALL TO MATCH THE BUILDING
- 19 OVERFLOW SCUPPER OPENING
- 20 REVEAL
- 21 CLERESTORY WINDOW PREFIN. DARK BRONZE FRAME & BLUE GLASS
- 22 PANEL KNOCK-OUT FOR FUTURE OPENING
- 23 TENANT SIGN SHOWN FOR REFERENCE ONLY. PART OF OTHER PERMIT
- 24 TRASH ENCLOSURE, RE: SITE PLAN



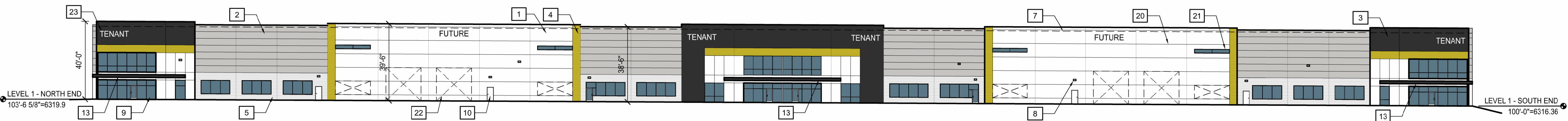
4 NORTH ELEVATION
1" = 30'-0"



3 SOUTHELEVATION
1" = 30'-0"



2 EAST ELEVATION
1" = 30'-0"



1 WEST ELEVATION
1" = 30'-0"

CITY APPROVAL:

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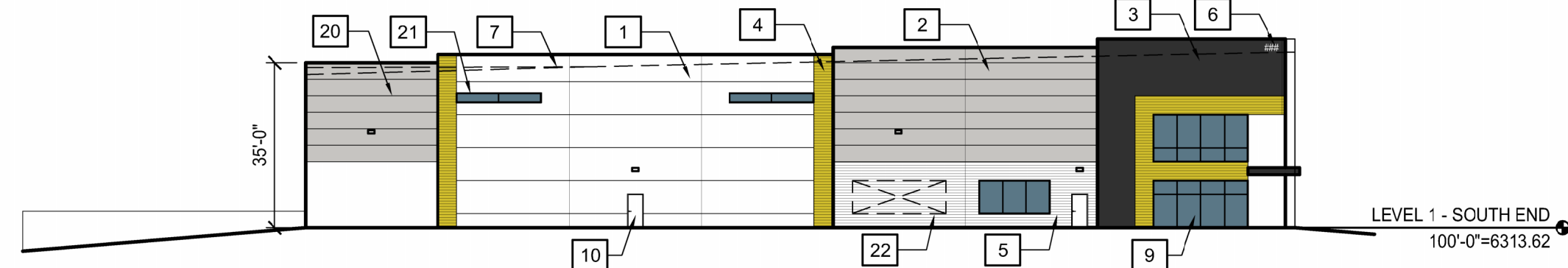
Contact:
JANA HUTKOVA
jana.hutkova@evstudio.com
720.980.3442

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SCALE: 1" = 30'

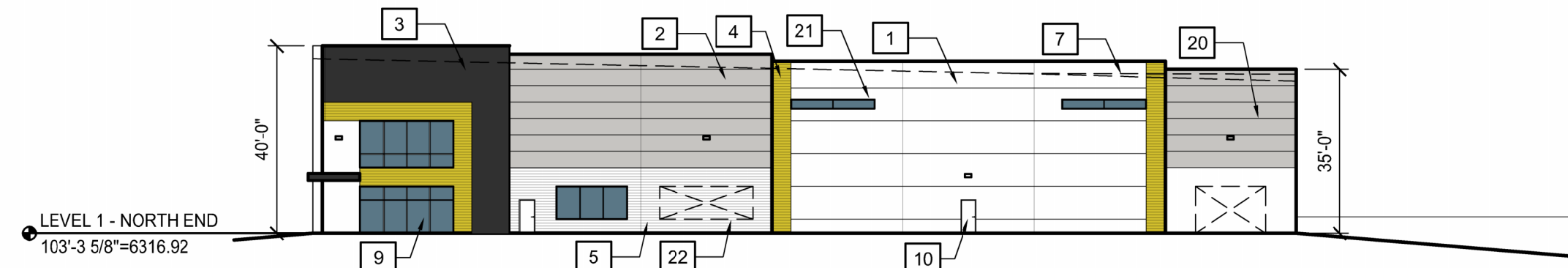
BUILDING 1 ELEVATIONS
SHEET 19 OF 23

REAGAN RANCH INDUSTRIAL DEVELOPMENT PLAN

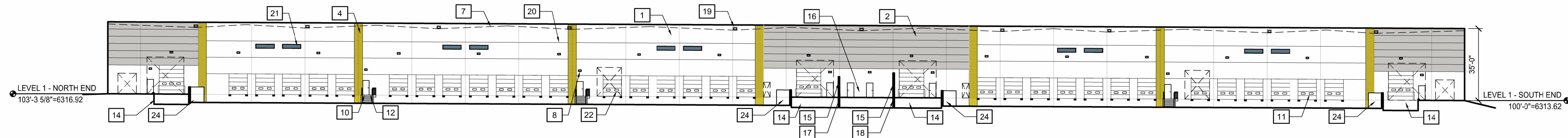
LOT 1, FILING NO.1 OF A PARCEL OF LAND SITUATED IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



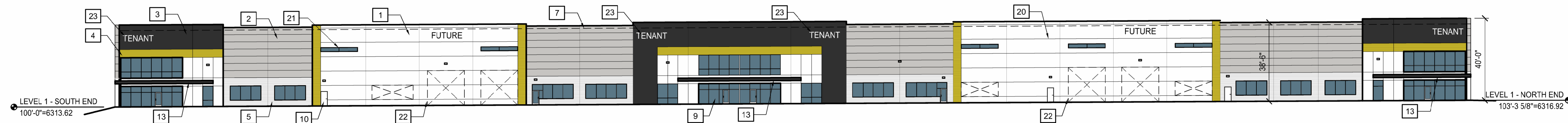
4 SOUTH ELEVATION
1" = 30'-0"



3 NORTH ELEVATION
1" = 30'-0"



2 WEST ELEVATION
1" = 30'-0"



1 EAST ELEVATION
1" = 30'-0"

MATERIAL LEGEND

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- 3 CONCRETE PANEL COLOR #3 ACCENT CHARCOAL GRAY
- 4 RIBBED CONCRETE PANEL COLOR #4 ACCENT YELLOW
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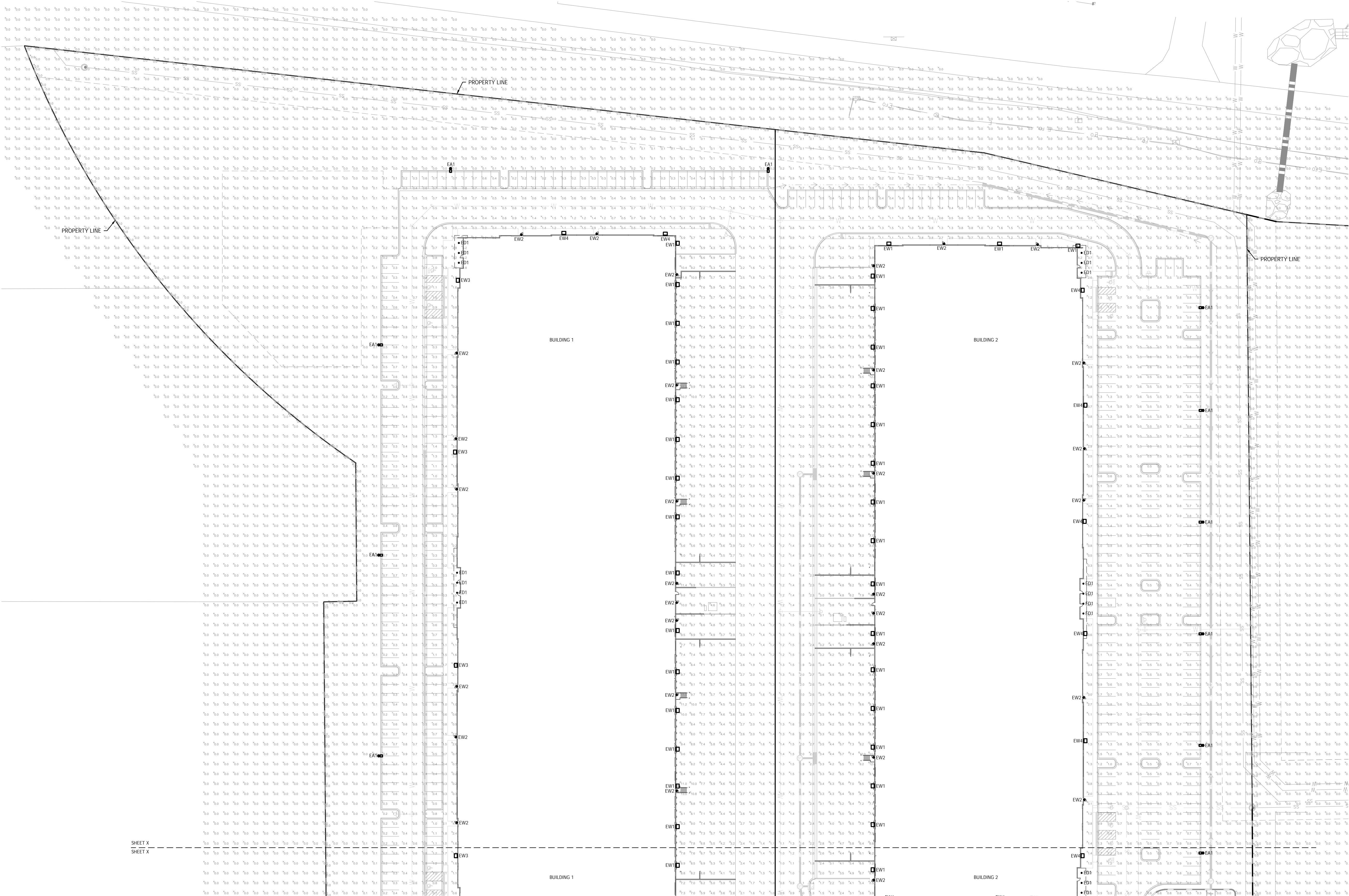
Contact:
JANA HUTKOVA
jana.hutkova@evstudio.com
720.980.3442

0 30 45 60
SCALE: 1" = 30'

BUILDING 2 ELEVATIONS
SHEET 20 OF 23

REAGAN RANCH INDUSTRIAL DEVELOPMENT PLAN

LOT 1, FILING NO.1 OF A PARCEL OF LAND SITUATED IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



- GENERAL NOTES
- A. LIGHTING CALCULATIONS WERE MADE USING A LIGHT LOSS FACTOR OF 1.0.
 - B. CALCULATION POINTS WERE TAKEN AT GRADE LEVEL ON A 10'X10' GRID. CALCULATIONS DO NOT REPRESENT ANY SLOPE OF ELEVATION CHANGE.
 - C. ILLUMINANCE CONTRIBUTIONS FROM STREET LIGHTING AND ADJACENT PROPERTIES ARE NOT INCLUDED.
 - D. ALL LIGHT FIXTURES ARE FULL-CUTOFF AND SHIELDED TO REDUCE GLARE BEYOND THE PROPERTY LINE. LIGHTS SHALL BE SO ORIENTED AND SHIELDED THAT THE SOURCE OF ILLUMINATION IS NOT VISIBLE IN A DIRECT LINE OF SIGHT FROM ANY PORTION OF THE OTHER PROPERTY OR ABOVE THE HORIZONTAL. ALL LAMPS DO NOT EXTEND BELOW THE HOUSING OF THE FIXTURE.
 - E. ALL LIGHT FIXTURES TO BE CONTROLLED VIA ASTRONOMICAL TIMELOCK WITH PHOTOCELL TO ALLOW LIGHTS TO BE TURNED "ON" ONLY DURING NON-DAYLIGHT HOURS.
 - F. PARKING LOT LIGHTING DESIGNED TO MEET THE REQUIREMENTS OF LIGHTING ZONE 2 (LZ2) 20-1 MAXIMUM UNIFORMITY, 7.5FC MAXIMUM, AND 0.4FC AT PROPERTY LINE.
 - G. WALL MOUNTED LIGHTING IS FULL CUTOFF AND IS NOT MOUNTED ABOVE 20'-0" AFG.
 - H. POLE MOUNTED LIGHTING IS FULL CUTOFF AND DOES NOT EXCEED 20'-0" AFG.
 - I. 18. LIGHT LEVELS AT THE PROPERTY LINE DO NOT EXCEED 1.0FC UNC.

ABBREVIATIONS AND SYMBOLS

AFG	ABOVE FINISHED GRADE
AHJ	AUTHORITY HAVING JURISDICTION
BOF	BOTTOM OF FIXTURE
C	CONDUIT
CCT	CORRELATED COLOR TEMPERATURE
DWG(S)	DRAWING(S)
(E)	EXISTING TO REMAIN
(ER)	EXISTING TO BE RELOCATED
EM	EMERGENCY
LTG	LIGHTING
P	POLE
(R)	REMOVED, EXISTING TO BE REMOVED
(RL)	RELOCATED LOCATION
v	VOLT(S)
W	WATT(S) OR WIRE
	DETAIL NOTE

LIGHTING FIXTURES

	LUMINAIRE TYPE, REFERENCING LUMINAIRE SCHEDULE, TYPICAL ALL FIXTURES. SUBSCRIPT, IF SHOWN, REFERENCES WALL SWITCH OR RELAY/ZONE CONTROL.
	WALL MOUNTED LUMINAIRE
	WALL PACK
	EXTERIOR AREA LIGHT
	DOWNLIGHT

POINT ILLUMINANCE SUMMARY:

AREA	SYMBOL	AVERAGE (fc)	MAX (fc)	MIN (fc)	MAX/MIN	AVG/MIN
OVERALL SITE	X	0.7 fc	13.0 fc	0.0 fc	N/A	N/A
PARKING - BUILDING 1	+	0.6 fc	2.6 fc	0.2 fc	13.0:1	3.1:1
PARKING - BUILDING 2	+	0.6 fc	1.4 fc	0.2 fc	7.0:1	3.0:1
PROPERTY LINE	X	0.0 fc	0.7 fc	0.0 fc	N/A	N/A
TRUCK - BUILDING 1	□	6.1 fc	12.4 fc	2.0 fc	6.2:1	3.1:1
TRUCK - BUILDING 2	□	6.3 fc	13.0 fc	2.4 fc	5.4:1	2.6:1

CITY APPROVAL:

Kimley»Horn

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GREENWOOD VILLAGE, COLORADO 80237 (303) 228-2300

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Integrated Lighting and Electrical Solutions
1900 Wazee Street #205 | Denver, CO 80202 | 303.296.3034
aesign@aec.com Project #6621.00

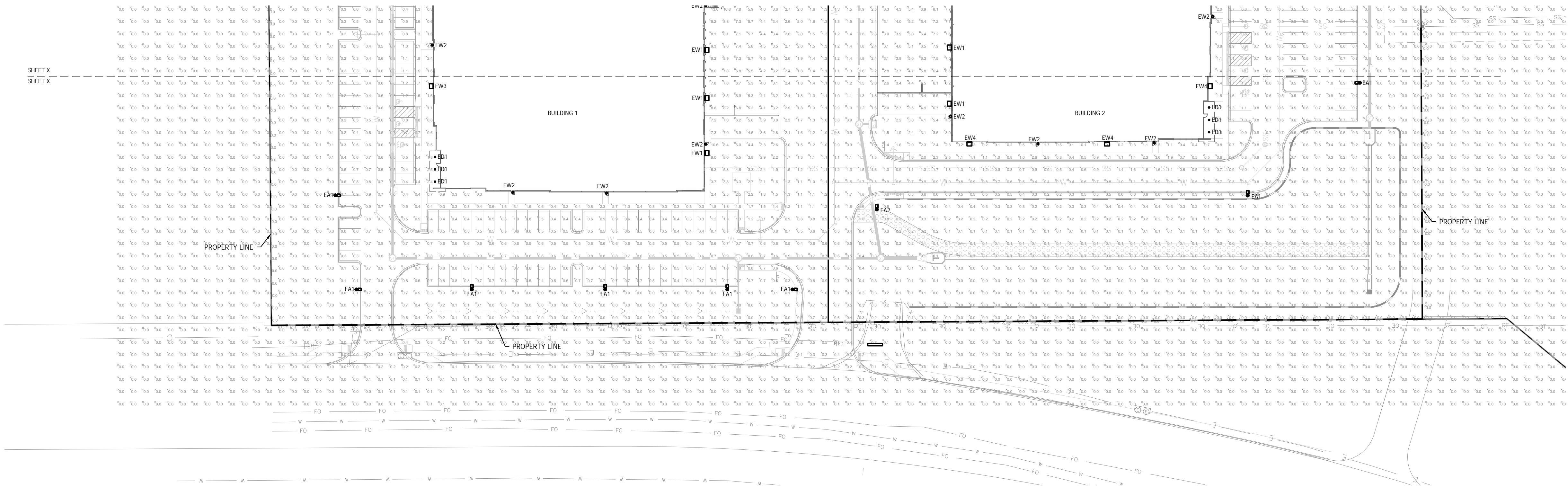


1 | PHOTOMETRIC PLAN
21 | SCALE: 1" = 50'-0"

PHOTOMETRIC PLAN
SHEET 21 OF 23

REAGAN RANCH INDUSTRIAL DEVELOPMENT PLAN

LOT 1, FILING NO.1 OF A PARCEL OF LAND SITUATED IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



1 | PHOTOMETRIC PLAN
22 SCALE: 1"=50'-0"

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 - F. PARKING LOT LIGHTING DESIGNED TO MEET THE REQUIREMENTS OF LIGHTING ZONE 2 (LZZ) 20:1 MAXIMUM UNIFORMITY, 7.5FC MAXIMUM, AND 0.4FC AT PROPERTY LINE.
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PROPERTY LINE	X	0.0 fc	0.7 fc	0.0 fc	N/A
TRUCK - BUILDING 1	□	6.1 fc	12.4 fc	2.0 fc	6.2:1
TRUCK - BUILDING 2	□	6.3 fc	13.0 fc	2.4 fc	5.4:1

CITY APPROVAL:

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6200 SOUTH SYRACUSE WAY, SUITE 300
GREENWOOD VILLAGE, COLORADO 80237 (303) 228-2300

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aesign@ae-inc.com Project #6621.00

LOT 1, FILING NO.1 OF A PARCEL OF LAND SITUATED IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

SPECIFIC NOTES:

1. VERIFY FINISH WITH ARCHITECT.



1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

5	TYPE EW2
	SCALE: NONE

4	TYPE EW1
	SCALE: NONE

3	TYPE ED1
	SCALE: NONE

2	TYPE EA1,EA2, EW3, EW4
	SCALE: NONE