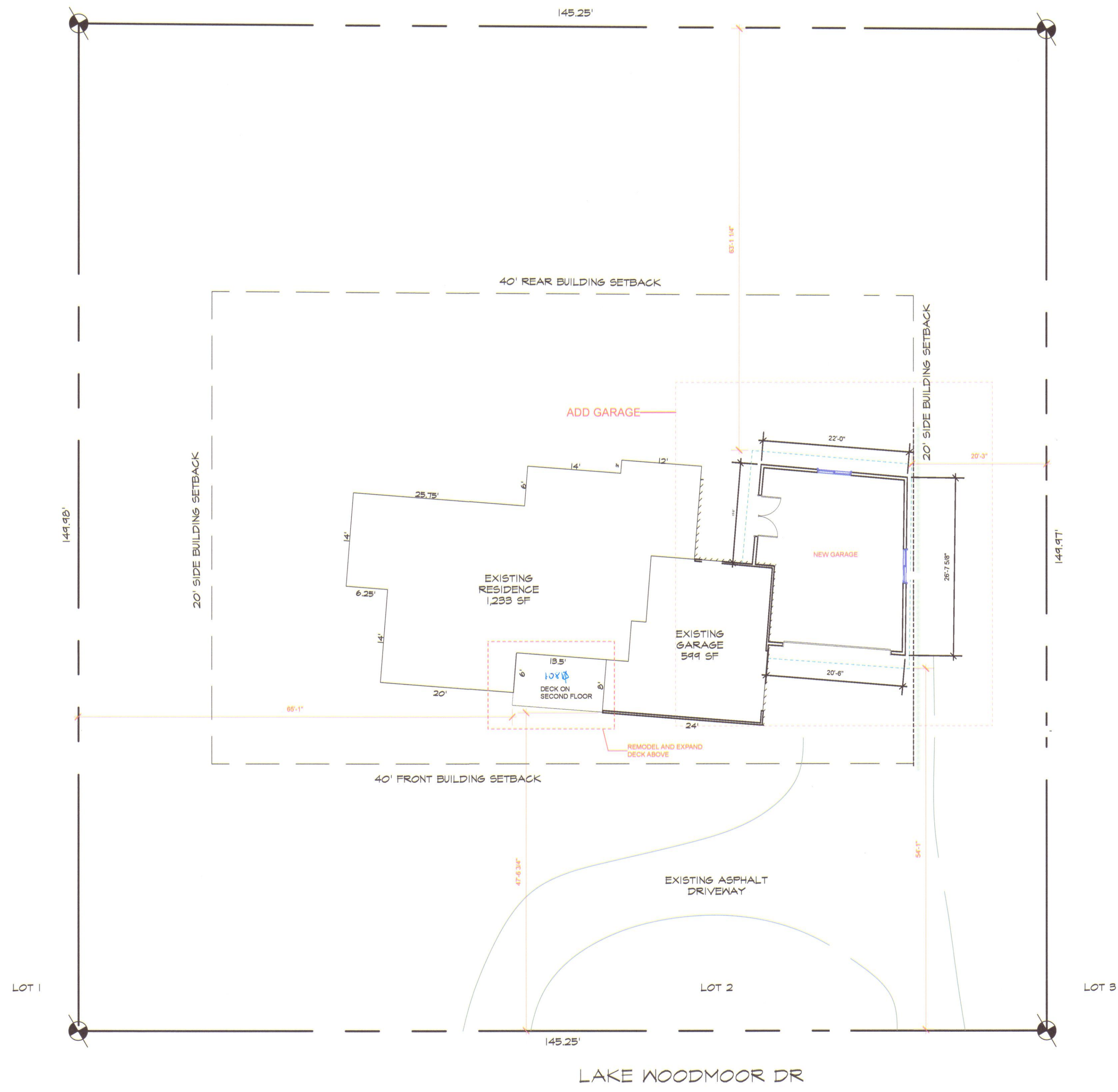


ADD22130
 PLAT 2043
 ZONE RR-0.5

APPROVED BY PA DATE 7/22/22 DENIED
 FOR garage addition
 NOTES: 108 & 112
 EL PASO COUNTY
 PLANNING AND COMMUNITY DEVELOPMENT

Planning and Community Development approval is contingent upon compliance with all applicable notes on the recorded plat.
 An access permit must be granted by the Planning and Community Development Engineering Division prior to the establishment of any driveway onto a County Road.
 Division of blockage of any drainage way is not permitted without the approval of the Planning and Community Development Engineering Division.
 Any approval given by El Paso County does not obviate the need to comply with applicable Federal, State or local laws and/or regulations.

BESQCP Not Required
 by PA on 7/22/22



TRUE NORTH
 C-1 SITE PLAN
 SCALE: 1"=10'

OWNER:
 LISA & THADDEUS KEESE
 9233 PARK MEADOWS DR
 LONE TREE CO 80124

CONTACT: PETER ALBERT
 414-587-4004
 info@granvillesales.com

DESIGNER:
 TIM OTTAWAY
 COLORADO DESIGN CONCEPTS
 3578 HARTSEL DRIVE E323
 COLORADO SPRINGS, CO 80920
 (719) 380-1040
 design@comcast.net

PROPERTY INFORMATION:
 920 LAKE WOODMOOR DR
 MONUMENT, CO 80132

SCHEDULE #: 7113202002

LEGAL DESCRIPTION:
 LOT 2 BLK 8 KNOLLWOOD ESTATES FIL 2

PLAT: 2043

ALLOWABLE BUILDING HEIGHT: 30 FT.
 BUILDING HEIGHT: EXISTING CONDITION TO REMAIN LESS THAN 30' APPROXIMATELY 28'1" TO TOP OF PEAK FROM GRADE.

LOT SIZE: 21,787 SF

LOT COVERAGE: 2,408 SF - 11%

RESIDENCE SETBACKS PER ZONING: RR-0.5
 FRONT YARD: 40 FT
 SIDE YARD: 20 FT
 REAR YARD: 40 FT

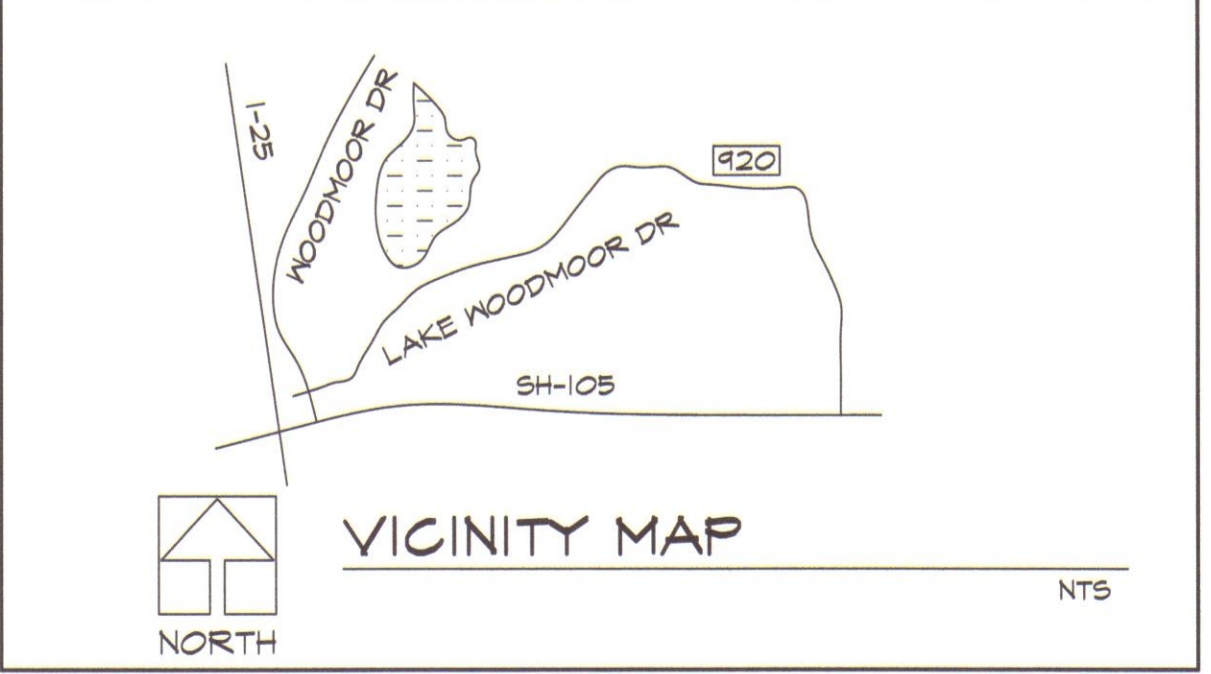
APPROXIMATE SITE ELEVATION: ~7,242 FT

AREA CALCULATIONS:

EXISTING RESIDENCE (ABOVE GRADE):	2,277 SQ FT
(1,233 MAIN 1,044 UPPER)	
EXISTING GARAGE:	599 SQ FT
PROPOSED GARAGE ADDITION:	582 SQ FT
NEW CONCRETE PATIO	103 SFT.
TOTAL AREA:	3,561 SQ FT

- APPLICABLE CODES:**
- 2017 PIKES PEAK REGIONAL BUILDING CODE
 - 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
 - 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 - 2015 INTERNATIONAL MECHANICAL CODE (IMC)
 - 2015 INTERNATIONAL FUEL GAS CODE (IFGC)
 - 2018 INTERNATIONAL PLUMBING CODE (IPC)
 - 2020 NATIONAL ELECTRIC CODE (NEC)
 - 2015 INTERNATIONAL FIRE CODE AND AMENDMENTS
 - 2004 ICC/ANSI 117.1 ACCESSIBILITY STANDARD

- DRAWING INDEX**
- C-1 SITE PLAN
 - A-1.1 (E) & (D) MAIN LEVEL FLOOR PLAN
 - A-1.2 (E) & (D) UPPER LEVEL FLOOR PLAN
 - A-1.3 (P) MAIN LEVEL FLOOR PLAN
 - A-1.4 (P) UPPER LEVEL FLOOR PLAN
 - A-2 BUILDING SECTIONS
 - A-3.1 (P) SOUTH & EAST ELEVATIONS
 - A-3.2 (P) NORTH ELEVATION
 - A-4 (P) ROOF AND FLOOR FRAMING PLANS



CALL BEFORE YOU DIG...
 FOR ALL CITY UTILITY LOCATIONS
 8 1 1

ITEMS IN RED ADDED BY JOYNER CONSTRUCTION CO.

719.380.1090
 Architecture & Landscape Design
Colorado Design Concepts
 3578 Hartsel Drive E323
 Colorado Springs, CO 80920

SUBJECT
 SITE PLAN & DATA

PROJECT
 ADDITION & REMODEL
 920 LAKE WOODMOOR DR.
 MONUMENT, CO. 80132

PLAN #
 -

JOB #
 20210517

RELEASE DATE
 02/07/2022

REVISION DATE

DESIGNED FOR:
 PETER ALBERT
 540 N. HWY 105, UNIT 167
 MONUMENT, CO 80132-9125
 414-587-4004
 info@granvillesales.com

SHEET
 C-1