

COMMUNITY SERVICES DEPARTMENT
PARK OPERATIONS ~ JUSTICE SERVICES
ENVIRONMENTAL SERVICES ~ VETERANS SERVICES ~ RECREATION/CULTURAL SERVICES

March 18, 2021

Kari Parsons
Planner
El Paso County Planning & Community Development Department

Subject: Paint Brush Hills Filing No.14 Preliminary Plan (SP-206)

Kari,

The Park Operations Division of the Community Services Department has reviewed the Paint Brush Hills Filing No. 14 Preliminary Plan and has the following comments of behalf of El Paso County Parks.

This project was previously considered by the Park Advisory Board on February 10, 2021 date and was approved with the following recommendation:

“The Park Advisory Board recommends that the Planning Commission and the Board of County Commissioners include the following conditions when considering and/or approving the Paint Brush Hills Filing No. 14 Final Plat: (1) Provide to El Paso County a 25-foot trail easement along the northern boundary of Paint Brush Hills Filing No. 14 Final Plat, within Tract A, that allows for the construction, maintenance, and public access of the Arroya Lane Primary Regional Trail, and dedicate the aforementioned easement to El Paso County prior to the recording of the Final Plat; (2) The developer will relocate the proposed storm facility from Tact A to allow the trail to be constructed on the trail easement or provide the trail easement through lots 24-30. (3) require fees in lieu of land dedication for regional park purposes in the amount of \$130,293 and urban park fees in the amount of \$82,305. A Park Lands Agreement may be an acceptable alternative to urban park fees, provided the agreement is approved by the County and executed prior to recording the Final Plat.”

A revised subdivision grading plan was submitted which took into consideration the comments from the February 10 Park Advisory Board meeting. The trail easement in Tract A is now usable for a trail because it no longer will have a drainage swale in it. A revised recommendation is below.



Staff Recommendation:

Recommend that the Planning Commission and the Board of County Commissioners include the following conditions when considering and/or approving the Paint Brush Hills Filing No. 14 Final Plat: (1) Provide to El Paso County a 25-foot trail easement along the northern boundary of Paint Brush Hills Filing No. 14 Final Plat, within Tract A, that allows for the construction, maintenance, and public access of the Arroya Lane Primary Regional Trail, and dedicate the aforementioned easement to El Paso County prior to the recording of the Final Plat; (2) require fees in lieu of land dedication for regional park purposes in the amount of \$104,608 and urban park fees in the amount of \$66,080. A Park Lands Agreement may be an acceptable alternative to urban park fees, provided the agreement is approved by the County and executed prior to recording the Final Plat.

Sincerely,

Greg Stachon
Landscape Architect
Community Services Department
GregStachon@elpasoco.com

Development Application Permit Review



COMMUNITY SERVICES DEPARTMENT

Park Operations - Community Outreach - Environmental Services
Veterans Services - Recreation / Cultural Services

March 18, 2021

Subdivision requirements referenced in Section 8.5.2 of the El Paso County Land Development Code. Fees are based on average land values within designated areas. See El Paso County Board of County Commissioners (BoCC) Resolution for fees established on an annual basis. The Park Advisory Board meets the second Wednesday of each month, 1:30 p.m., BoCC Auditorium, second floor of Centennial Hall, 200 South Cascade Avenue, Colorado Springs.

Name:	Paint Brush Hills Filing No. 14	Application Type:	Preliminary Plan
PCD Reference #:	SF-2024	Total Acreage:	88.63
		Total # of Dwelling Units:	224
Applicant / Owner:	Owner's Representative:	Dwelling Units Per 2.5 Acres:	6.32
Aeroplaza Fountain, LLC	Matrix Design Group	Regional Park Area:	2
212 North Wasatch Avenue	2435 Research Parkway	Urban Park Area:	3
Suite 301	Suite 300	Existing Zoning Code:	RS-20000
Colorado Springs, CO 80903	Colorado Springs, CO 80920	Proposed Zoning Code:	RS-6000

REGIONAL AND URBAN PARK DEDICATION AND FEE REQUIREMENTS

<p>Regional Park land dedication shall be 7.76 acres of park land per 1,000 projected residents, while Urban Park land dedication shall be 4 acres of park land per 1,000 projected residents. The number of projected residents shall be based on 2.5 residents per dwelling unit.</p>	<p>The EPC Land Development Code defines urban density as land development of higher density and intensity which is characteristically provided with services of an urban nature. This category of development includes residential uses with densities of more than one dwelling unit per 2.5 acres.</p>
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

LAND REQUIREMENTS

Regional Park Area: 2

0.0194 Acres x 224 Dwelling Units = 4.346
Total Regional Park Acres: 4.346

Urban Density (>= 1 Dwelling Unit Per 2.5 Acres): **YES**

Urban Park Area: 3

Neighborhood: 0.00375 Acres x 224 Dwelling Units = 0.84
Community: 0.00625 Acres x 224 Dwelling Units = 1.40
Total Urban Park Acres: 2.24

FEE REQUIREMENTS

Regional Park Area: 2

\$467 / Dwelling Unit x 224 Dwelling Units = \$104,608
Total Regional Park Fees: \$104,608

Urban Park Area: 3









Neighborhood: \$116 / Dwelling Unit x 224 Dwelling Units = \$25,984
Community: \$179 / Dwelling Unit x 224 Dwelling Units = \$40,096
Total Urban Park Fees: \$66,080

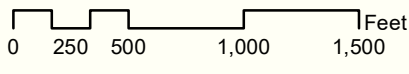
ADDITIONAL RECOMMENDATIONS

Staff Recommendation: Recommend that the Planning Commission and the Board of County Commissioners include the following conditions when considering and/or approving the Paint Brush Hills Filing No. 14 Final Plat: (1) Provide to El Paso County a 25-foot trail easement along the northern boundary of Paint Brush Hills Filing No. 14 Final Plat, within Tract A, that allows for the construction, maintenance, and public access of the Arroya Lane Primary Regional Trail, and dedicate the aforementioned easement to El Paso County prior to the recording of the Final Plat; (2) require fees in lieu of land dedication for regional park purposes in the amount of \$104,608 and urban park fees in the amount of \$66,080. A Park Lands Agreement may be an acceptable alternative to urban park fees, provided the agreement is approved by the County and executed prior to recording the Final Plat.

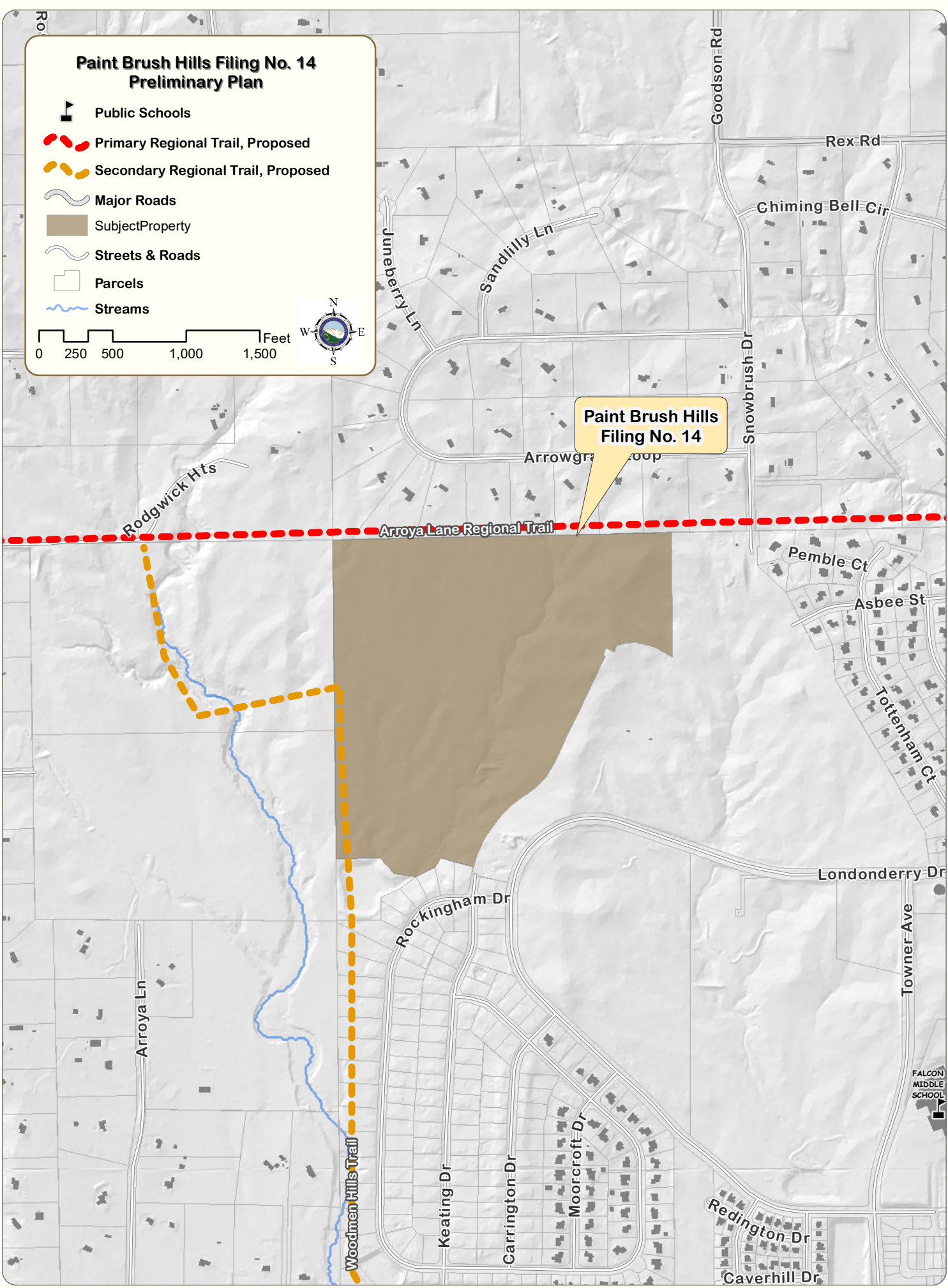
Park Advisory Board Recommendation: No PAB Endorsement Necessary

Paint Brush Hills Filing No. 14 Preliminary Plan

-  Public Schools
-  Primary Regional Trail, Proposed
-  Secondary Regional Trail, Proposed
-  Major Roads
-  Subject Property
-  Streets & Roads
-  Parcels
-  Streams



Paint Brush Hills
Filing No. 14



PAIN BRUSH HILLS FILING NO. 14

PRELIMINARY GRADING PLAN

MARCH 2021



- GRADING AND EROSION CONTROL NOTES:**
- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF THESE PLANS. ALL CHANGES TO THESE PLANS SHALL BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS. CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR UNAUTHORIZED CHANGES TO THESE PLANS.
 - NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO THIS GRADING AND EROSION CONTROL PLAN SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS OF THE STATE OF COLORADO, EDITION 2018, AND THE DRAINAGE CRITERIA MANUAL, VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
 - THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS OBSERVED THE EXISTING CONDITIONS AND STORMWATER QUALITY RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWAMP SHALL BE FIELD MONITORED FOR EROSION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN ON THESE PLANS.
 - ONCE THE EROSION CONTROL PLAN IS APPROVED AND A NOTICE TO PROCEED HAS BEEN ISSUED, THE CONTRACTOR SHALL INSTALL THE INITIAL EROSION CONTROL MEASURES AS INDICATED ON THE APPROVED PLAN. A PRE-CONSTRUCTION MEETING BETWEEN THE CONTRACTOR, THE DESIGNER, AND THE APPLICANT MUST BE HELD PRIOR TO CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
 - CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREA SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF SUCH ACTIVITIES.
 - ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBING ACTIVITIES ARE REQUIRED TO MAINTAIN AND MONITOR THE EROSION CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEEDING AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
 - TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STORMWATER CONTROL MEASURES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY IS TO BE PERFORMED FOR A PERIOD OF TIME EXCEEDING 14 DAYS. FINAL STABILIZATION IS REQUIRED WHEN ALL GRASSING AND EROSION CONTROL MEASURES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY MEETING THE DESIGN REQUIREMENTS OR HAVE BEEN REVEGETATED WITH A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY MEETING THE DESIGN REQUIREMENTS. ALL DISTURBED AREAS MUST BE REVEGETATED WITH A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY MEETING THE DESIGN REQUIREMENTS. ALL DISTURBED AREAS MUST BE REVEGETATED WITH A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY MEETING THE DESIGN REQUIREMENTS. ALL DISTURBED AREAS MUST BE REVEGETATED WITH A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY MEETING THE DESIGN REQUIREMENTS.
 - ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT AFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ERM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
 - ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBING ACTIVITIES ARE REQUIRED TO MAINTAIN AND MONITOR THE EROSION CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEEDING AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
 - CONSTRUCTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR NUTRIENT CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR NUTRIENT CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SOIL DISTURBANCE. ALL AREAS DESIGNATED FOR NUTRIENT CONTROL MEASURES MUST BE PROTECTED FROM SOIL DISTURBANCE. ALL AREAS DESIGNATED FOR NUTRIENT CONTROL MEASURES MUST BE PROTECTED FROM SOIL DISTURBANCE.
 - NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB OR GUTTER OR DITCH EXCEPT WITH APPROVED SEEDMENT CONTROL MEASURES.
 - OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE COLORADO WATER QUALITY CONTROL ACT (TITLE 25, ARTICLE 8, C.S.), AND THE FEDERAL CLEAN WATER ACT (33 U.S.C. 1362) AND THE NATIONAL POLLUTION DISCHARGE ELIMINATION ACT (33 U.S.C. 1362). ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (IWA, NPDES, FLOODPLAIN, 404, FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES). THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
 - ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
 - PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
 - THE SOILS REPORT FOR THIS SITE WAS PREPARED BY ENTECH ENGINEERING, INC., ENTITLED GEOLOGIC HAZARD/LAND STUDY AND PRELIMINARY SUBSURFACE SOIL INVESTIGATION STERLING HEIGHTS, DATED OCTOBER 20, 2008, AND SHALL BE CONSIDERED A PART OF THESE PLANS.
 - THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT WRITTEN APPLICATION FOR STORMWATER MANAGEMENT TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT: COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION, 1500 SOUTH UNIVERSITY AVENUE, SUITE 100, DENVER, CO 80202. TELEPHONE: 303.866.6000. FAX: 303.866.6001. WEBSITE: www.cdphe.com

DESIGNED BY: DLM	CHECKED BY: CP	DATE: 03-05-21
PROJECT NO.: 10-014	FILE: \\MAIL\01\BRUSH\1004\PRELIM	SCALE: N/A
SHEET: 1 OF 1	VERB: N/A	PC/ECL

PROJECT NO. 10-014
FILE: \\MAIL\01\BRUSH\1004\PRELIM

DESIGNED BY: DLM
CHECKED BY: CP
DATE: 03-05-21
SCALE: N/A
SHEET: 1 OF 1
PC/ECL

PROJECT NO. 10-014
FILE: \\MAIL\01\BRUSH\1004\PRELIM

DESIGNED BY: DLM
CHECKED BY: CP
DATE: 03-05-21
SCALE: N/A
SHEET: 1 OF 1
PC/ECL

PROJECT NO. 10-014
FILE: \\MAIL\01\BRUSH\1004\PRELIM

DESIGNED BY: DLM
CHECKED BY: CP
DATE: 03-05-21
SCALE: N/A
SHEET: 1 OF 1
PC/ECL