

FILE LOCATION: S:\2012\2005-PAINTBRUSH HILLS FILING 14\1010 DWG\104 PLAN SET\DEVELOPMENT PLAN\PAINTBRUSH HILLS 14 PRELIMINARY PLAN.DWG

The Subdivider(s) agrees on behalf of him/herself and any developer or builder successors and assignees that Subdivider and/or said successors and assigns shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program Resolution (Resolution No. 19-471), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on plat notes to ensure that a title search would find the fee obligation before sale of the property.

please add notes in green

Note Regarding Stormwater Drainage: All property owners are responsible for maintaining proper storm water drainage in and through their property. Public drainage easements as specifically noted on the plat shall be maintained by the individual lot owners unless otherwise indicated. Structures, fences, materials or landscaping that could impede the flow of runoff shall not be placed in drainage easements.

Easements: Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 10 foot (use 5 feet for lots smaller than 2.5 acres) public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries are hereby platted with a 20 foot (use 7 feet for lots smaller than 2.5 acres) public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.

existing zoning is now RS6000 & RS20000

LEGAL DESCRIPTION: PAINT BRUSH FILING 14

A PARCEL OF LAND IN THE NORTHEAST QUARTER (NE 1/4) OF SECTION 26, T12S, R65W OF THE 6TH P. M., EL PASO COUNTY, COLORADO, SAID PARCEL BEING TRACT E, "PAINT BRUSH HILLS FILING NO. 13E", RECORDED UNDER RECEPTION NO. 219714420 IN THE RECORDS OF EL PASO COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT THE QUARTER CORNER COMMON TO SECTIONS 23 AND 26, T12S, R65W OF THE 6TH P. M.; THENCE N88°44'51"E ALONG THE SOUTH LINE OF "PAINT BRUSH HILLS FILING NO. 3" RECORDED IN PLAT BOOK U-3 AT PAGE 79 OF THE EL PASO COUNTY RECORDS 2289.18 FEET; THENCE S00°23'09"E ALONG THE WEST LINE OF TRACT A "PAINT BRUSH HILLS FILING NO. 3" A DISTANCE OF 847.61 FEET; THENCE ALONG THE NORTHERLY LINES OF LOTS 117 THROUGH 120, "PAINT BRUSH HILLS FILING NO. 3" THE FOLLOWING FIVE (5) COURSES; 1. THENCE N60°39'45"W A DISTANCE OF 136.44 FEET; 2. THENCE N75°42'34"W A DISTANCE OF 136.62 FEET; 3. THENCE S82°53'35"W A DISTANCE OF 58.52 FEET; 4. THENCE S74°48'58"W A DISTANCE OF 68.80 FEET; 5. THENCE S25°20'15"W A DISTANCE OF 45.28 FEET TO THE RIGHT-OF-WAY LINE OF DEVENCOVE DRIVE AS PLATTED ON "PAINT BRUSH HILLS FILING NO. 3"; THENCE ALONG SAID RIGHT-OF-WAY LINE THE FOLLOWING THREE (3) COURSES; 1. THENCE N64°40'00"W A DISTANCE OF 56.87 FEET; 2. THENCE S25°20'00"W A DISTANCE OF 50.00 FEET; 3. THENCE S64°40'00"E A DISTANCE OF 16.86 FEET TO THE WEST RIGHT-OF-WAY LINE OF KEATING DRIVE AS PLATTED ON "PAINT BRUSH HILLS FILING NO. 3"; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE THE FOLLOWING FIVE (5) COURSES; 1. THENCE S25°20'15"W A DISTANCE OF 823.72 FEET TO A POINT OF CURVE; 2. THENCE 264.76 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 470.00 FEET, A CENTRAL ANGLE OF 32°16'34", THE CHORD OF 261.28 FEET BEARS S41°28'32"W TO A POINT OF REVERSE CURVE; 3. THENCE 430.28 FEET ON THE ARC OF A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 861.00 FEET, A CENTRAL ANGLE OF 28°38'00", THE CHORD OF 425.82 FEET BEARS S43°17'49"W TO A POINT OF COMPOUND CURVE; 4. THENCE 123.89 FEET ALONG THE ARC OF A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 530.00 FEET, A CENTRAL ANGLE OF 13°23'34", THE CHORD OF 123.60 FEET BEARS S22°17'02"W TO A POINT OF TANGENT; 5. THENCE S15°35'15"W A DISTANCE OF 76.75 FEET; THENCE ALONG THE NORTH LINES OF LOT 2 THROUGH LOT 5 AND ALONG THE NORTH LINE OF TRACT A "PAINT BRUSH HILLS FILING NO. 12" AS RECORDED UNDER RECEPTION NO. 205077511 IN THE EL PASO COUNTY RECORDS THE FOLLOWING SIX (6) COURSES; 1. THENCE N74°25'08"W A DISTANCE OF 231.02 FEET; 2. THENCE S34°46'45"W A DISTANCE OF 75.34 FEET; 3. THENCE S62°22'54"W A DISTANCE OF 141.21 FEET; 4. THENCE N80°50'04"W A DISTANCE OF 149.93 FEET; 5. THENCE N42°52'08"W A DISTANCE OF 142.64 FEET; 6. THENCE S89°26'02"W A DISTANCE OF 299.04 FEET TO THE NORTH-SOUTH CENTERLINE OF SECTION 26; THENCE N00°34'35"W ALONG SAID NORTH-SOUTH CENTERLINE 2169.63 FEET TO THE POINT OF BEGINNING.

CONTAINING A CALCULATED AREA OF 3,860,479 S. F. (88.624 ACRES MORE OR LESS).

BASIS OF BEARING:

THE SECTION LINE BEING THE NORTH LINE OF TRACT A, TRACT E, AND A PORTION OF TRACT F "PAINT BRUSH HILLS FILING NO. 13E", AS RECORDED UNDER RECEPTION NO. 219714420, BEING MONUMENTED AT THE QUARTER CORNER COMMON TO SECTIONS 23 AND 26, T12S, R65W OF THE 6TH P. M. WITH A 2.5" ALUMINUM CAP ON NO. 6 REBAR STAMPED "1/4 COR, S23 S26, 1999, PLS 4842", AND AT THE SECTION CORNER COMMON TO SECTIONS 23, 24, 25 AND 26 WITH A 1.5" ALUMINUM CAP ON NO. 5 REBAR STAMPED "(PARTIALLY ILLIGIBLE) L5 9646", SAID LINE BEARS N88°44'51"E A DISTANCE OF 2640.30 FEET.

Based on CGS Comments (CGS has not provided a comment to the contrary with 2cd review please add notes unless a CGS comment letter modifying CGS comments is obtained): Engineered site plans to include groundwater monitoring may be required for the following lots if basements are proposed: grading and a seasonal groundwater monitoring program. Lots 6, 7, 8, 9, 10, 11, 12, 13, 26, 54, 55, 56, 91, 92, 93, 99, 100, 101, 102, 103, 104, 105, 108, 109, 110, 118, 119, 121, 122, 123, 124, 126, 127, 128, 156, 157, 158, 159, 160, 165, 166, 167, 168, 171, 172, 173, 174, 175, 176, 177, 178, 179, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 195, 196, 197, 198, 199, 200, 201, 206, 207, 208, 215, 216, 224. Identified geologic hazards include shallow bedrock, erosion, expansive soils, issues related to seasonally shallow groundwater, frost heave related to shallow groundwater, artificial fill, potential groundwater seepage, shallow bedrock, perched groundwater (flowing on top of bedrock and within sandstone lenses). Areas of seasonal shallow groundwater and the potential for shallow groundwater have been mapped and Entech has recommended that basements not be allowed in these areas and/or site grading raise the areas impacted. In addition, RMG states that an existing drainage has been infilled without records indicating if drain recommendations were followed. As infilled drainages can become conduits for groundwater CGS recommends that the lots in the area of the infilled drainage (map unit valley infill "V") also exclude basements or below grade areas.

GENERAL NOTES:

- 1. Fees in lieu of land will be provided for schools and parks.
2. Pedestrian ramp locations and design will be finalized at plan and profile.
3. Public improvement and utilities to be provided with this project include new roadways, water lines and connections, wastewater services, storm water drainage, and landscaping. Pedestrian ramps will conform to the ramp details in the El Paso County Engineering Criteria Manual Appendix F.
4. All Electric Service shall be provided by Mountain View Electric Association. Utility easements will be provided as required.
5. All Gas Service shall be provided by Black Hills Energy. Utility easements will be provided as required.
6. See Grading Plan for proposed site grading.
7. Site lighting will meet the requirements set forth in Section 6.2.3 of the El Paso County Land Development Code.
8. Curb and gutter to be per the Civil Drawings.
9. Developer shall comply with federal and state laws, regulations, ordinances, review and permit requirements, and other agency requirements, if any, of applicable agencies including, but not limited to, the Colorado Division of Wildlife, Colorado Department of Transportation, U.S. Army Corps of Engineers and the U.S. Fish and Wildlife Service regarding the Endangered Species Act, particularly as it relates to the listed species (e.g., Preble's Meadow Jumping Mouse).
10. Water and wastewater services for this subdivision are provided by the Paint Brush Hills Metropolitan District subject to the district's rules, regulations, and specifications.
11. The sight distance easement shall be dedicated to the County. Maintenance of a sight distance easement shall be the responsibility of the Paint Brush Hills Metropolitan District. Any object within the sight distance triangle or easement more than 30 inches above the flowline elevation of the adjacent roadway shall constitute a sight obstruction, and shall be removed or lowered. The object may include but are not limited to berms, buildings, parked vehicles on private property, cut slopes, hedges, trees, bushes, utility cabinets or tall crops."

WOODMEN ROAD DISTRICT NOTE:

- 1. All property within this subdivision is within the boundaries of the Woodmen Road Metropolitan District and, as such, is subject to a mill levy, platting fees and building permit fees for the purpose of financing construction of specified improvements to Woodmen Road.

FLOODPLAIN NOTES:

- 1. This property is not located within a designated FEMA Floodplain as determined by the flood insurance rate map, community map number "08041C0535G" effective date December 7th, 2018.

PHASING PLAN:

PAINT BRUSH HILLS FILING 14 Preliminary Plan will be developed in one phase.

GEOLOGIC CONDITIONS:

- 1. A geotechnical investigation was prepared by RMG dated October 16, 2020. The report identified no geologic hazards that would preclude development of the site for construction of residential structures; however, the report identified existing geologic and engineering geologic conditions that will impose constraints on some development and construction. The most notable constraints that may affect development include shallow bedrock and on-site surface drainage. It is noted that these conditions can be mitigated with engineering design and construction methods commonly employed in the area. Conventional shallow foundation systems are anticipated to be suitable for proposed structures. Conventional methods can be used to accomplish site grading for rapid conveyance of surface runoff to storm sewer systems, utility installation, and foundation spread footings. In addition, surface and subsurface drainage systems should be considered. Exterior, perimeter foundation drains should be installed around below-grade habitable or storage spaces. Surface water should be efficiently removed from the building area to prevent ponding and infiltration into the subsurface soil.

TRACT TABLE

Table with 4 columns: TRACT, SIZE, TYPE/USE, OWNERSHIP & MAINTENANCE. Tract A: 57,339 SF, LANDSCAPE/OPEN SPACE/ LINE OF SIGHT/ DRAINAGE/ UTILITIES, PAINT BRUSH HILLS METRO DISTRICT. Tract B: 10,781 SF, LANDSCAPE/OPEN SPACE/ LINE OF SIGHT/ DRAINAGE/ UTILITIES, PAINT BRUSH HILLS METRO DISTRICT.

LAND USE TABLE:

Table with 3 columns: TYPE OF USE, # ACRES PROVIDED, % OF PROPERTY. SINGLE-FAMILY RESIDENTIAL (224 LOTS): 74.20 AC, 84%. TRACTS/OPEN SPACE: 1.56 AC, 2%. STREET RIGHTS-OF-WAY: 12.87 AC, 14%. TOTAL: 88.63 AC, 100%.

LEGEND

- PROPOSED EASEMENT (dashed line)
PROPERTY BOUNDARY (solid line)
ZONING LINE (RS-6000/ RS-20,000) (dash-dot line)
SHEET MATCHLINE (dashed line)
PUBLIC IMPROVEMENT EASEMENT (dashed line with symbols)
PROPOSED UTILITY STRUCTURES (line with symbols)
PROPOSED CONTOURS (solid line)
EXISTING CONTOURS (dashed line)
100' WIDTH FRONT SETBACK (NONSTANDARD) (dashed line)
SIGHT DISTANCE TRIANGLE (dashed line)

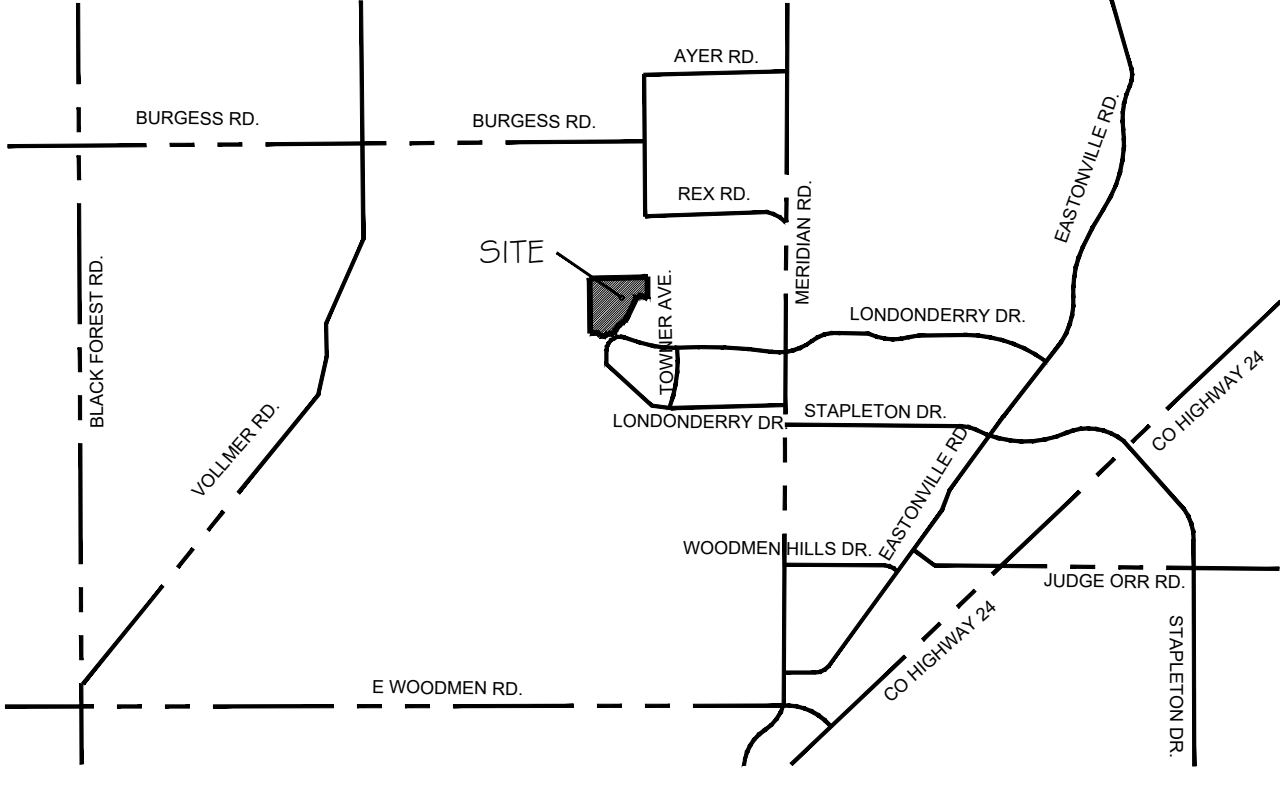
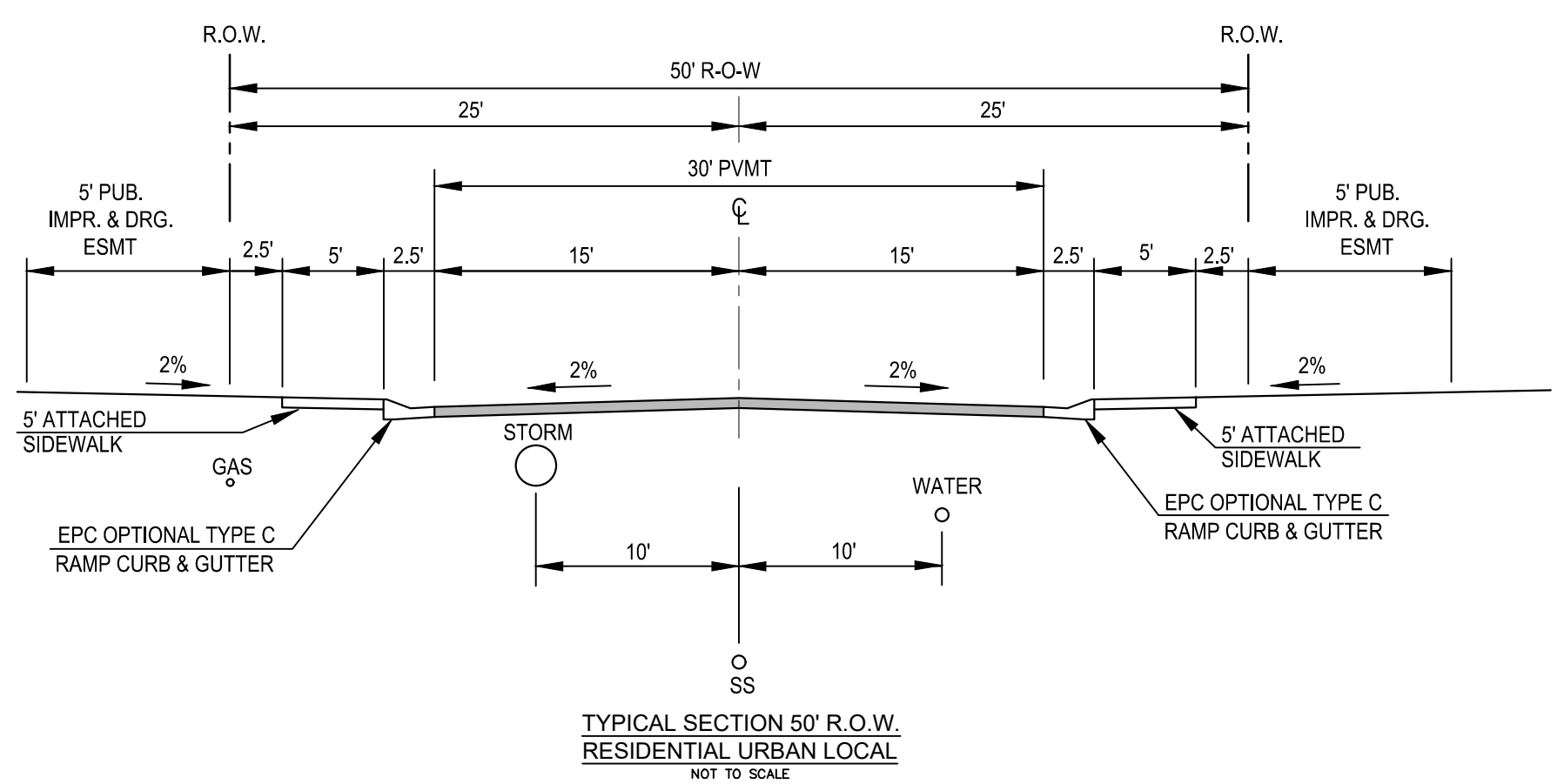
These are the identified constraints:

25' Region Trail Easement

ABBREVIATION LIST

Table with 2 columns: ACRONYM, FULL NAME. AC: ACRES, L: LENGTH, R.O.W.: RIGHT OF WAY, SF: SQUARE FEET.

Address and add a corresponding note: Are under drains and Perimeter drains to be utilized to mitigate in addition to the basement limitations? Who will be maintaining the under drains/perimeter drains



SHEET INDEX table with 2 columns: SHEET NAME, SHEET NUMBER. COVER SHEET: CS01, SITE PLAN: SP01 - SP02, PRELIM GRADING AND EROSION CONTROL PLAN: PGEC1, PRELIM UTILITY & PUBLIC FACILITY PLAN: PUT1.

please call out the lots specifically that have non-standard setbacks so that they are easily identified by Front counter staff...in a note on sheet 1 of prelim and plat.

CONSULTANTS:

PLANNER: Matrix logo and address: 2435 RESEARCH PARKWAY, SUITE 300, COLORADO SPRINGS, CO 80920. PHONE: (719) 575-0100, FAX: (719) 575-0208.

OWNER/DEVELOPER:

AEROPLAZA FOUNTAIN LLC, 212 N WAHSATCH AVE STE 301, COLORADO SPRINGS CO 80903, PHONE: (719) 635-3200

PROJECT DESCRIPTION:

PAINT BRUSH HILLS IS A SINGLE-FAMILY RESIDENTIAL DEVELOPMENT WITH 224 LOTS ON 88.63 ACRES.

RESIDENTIAL SITE DATA:

Table with 2 columns: FIELD, VALUE. SITE LOCATION: VACANT LAND, LONDONDRY DRIVE, FALCON, COLORADO. TAX SCHEDULE NUMBER: 5226101007. SITE ACREAGE: 88.632 AC. PROPOSED ZONING: RS-6000 (55.898 AC.). EXISTING ZONING: RS-20000 (32.734 AC). EXISTING LAND USE: VACANT. PROPOSED LAND USE: SINGLE-FAMILY DETACHED RESIDENTIAL. NUMBER OF UNITS: 224. DENSITY: (224 DU/ 88.632 AC) 2.53 DU / AC. SCHEDULE FOR CONSTRUCTION: 2021.

RS-6000 DEVELOPMENT STANDARDS:

Minimum Lot Size: 6,000 SF, Maximum Building Height: Thirty Feet (30'), Maximum Lot Coverage: 40% for lots with multi-story homes, *45% for lots with a 1-story ranch style home.

*Lot Coverage flexibility is being provided for single level homes compared to two-story (above-grade) homes; the intent is to allow additional lot coverage for single level homes while providing a variable architectural mix on similar sized lots.

Minimum Width at Front setback line: Fifty Feet (50'), Minimum Street Frontage: Thirty Feet (30'), Front Yard Setbacks: Twenty Five Feet (25'), Side Yard Setbacks: Five Feet (5'), Rear Yard Setbacks: Twenty Five Feet (25'), Corner Yard Setbacks (Non-Garage Side): Fifteen Feet (15')

RS-20,000 DEVELOPMENT STANDARDS:

Minimum Lot Size: 20,000 SF, Maximum Building Height: Thirty Feet (30'), Maximum Lot Coverage: 20%, Minimum Width at Front setback line: One Hundred Feet (100'), Minimum Street Frontage: Thirty Feet (30'), Front Yard Setbacks: Forty Feet (40'), Side Yard Setbacks: Fifteen Feet (15'), Rear Yard Setbacks: Forty Feet (40'), Corner Yard Setbacks (Non-Garage Side): Twenty Feet (20')

PROJECT:

PAINT BRUSH HILLS FILING 14 PRELIMINARY PLAN

FALCON, CO 12/30/2020 SECOND SUBMITTAL

REVISION HISTORY:

Table with 4 columns: NO., DATE, DESCRIPTION, BY. Revision 0: 08/24/2020, EPC SUBMITTAL, JRA. Revision 1: 12/30/2020, EPC SECOND SUBMITTAL, RAF.

DRAWING INFORMATION:

PROJECT NO: 20.1129.003, DRAWN BY: JRA, CHECKED BY: JRA, APPROVED BY: JRA, SHEET TITLE:

COVER SHEET

CS01 SHEET 1 OF 3

FILE LOCATION: S:\2012\2005 - PAINTBRUSH HILLS FILING 14\1010 DWG\104 PLAN SET\DEVELOPMENT PLAN\PAINTBRUSH HILLS 14 PRELIMINARY PLAN.DWG

REVISION HISTORY:

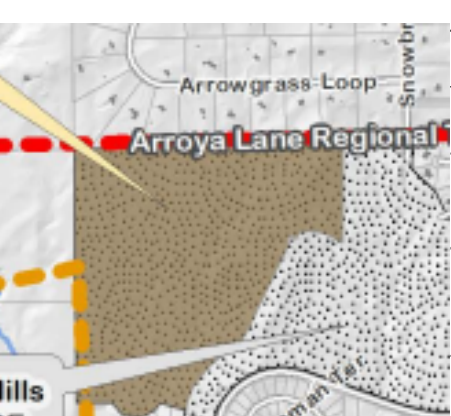
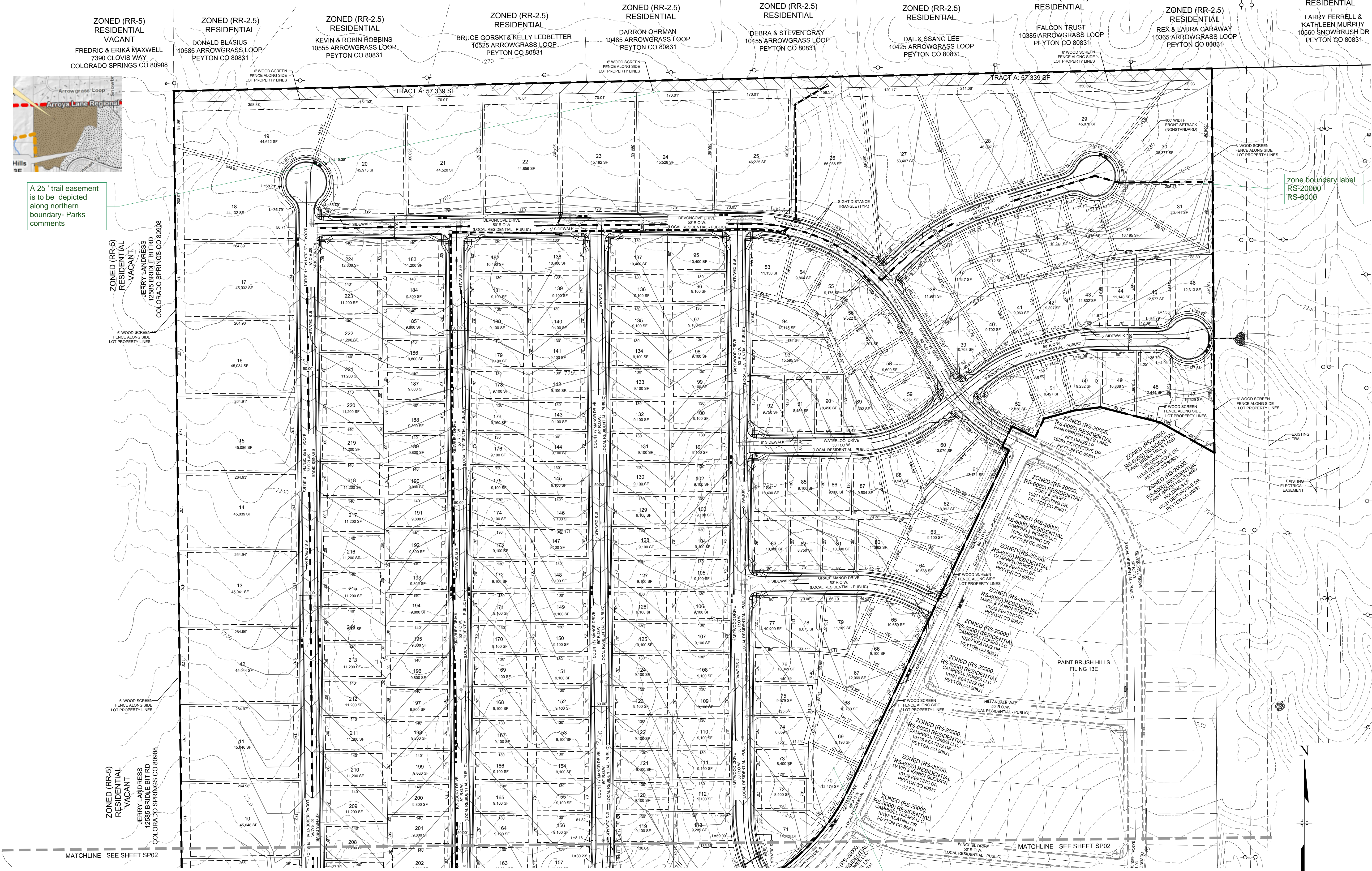
NO.	DATE	DESCRIPTION	BY
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1	12/30/2020	EPC SECOND SUBMITTAL	RAF

DRAWING INFORMATION:
 PROJECT NO: 20.1129.003
 DRAWN BY: JRA
 CHECKED BY: JRA
 APPROVED BY: JRA
 SHEET TITLE:

SITE PLAN

SP01

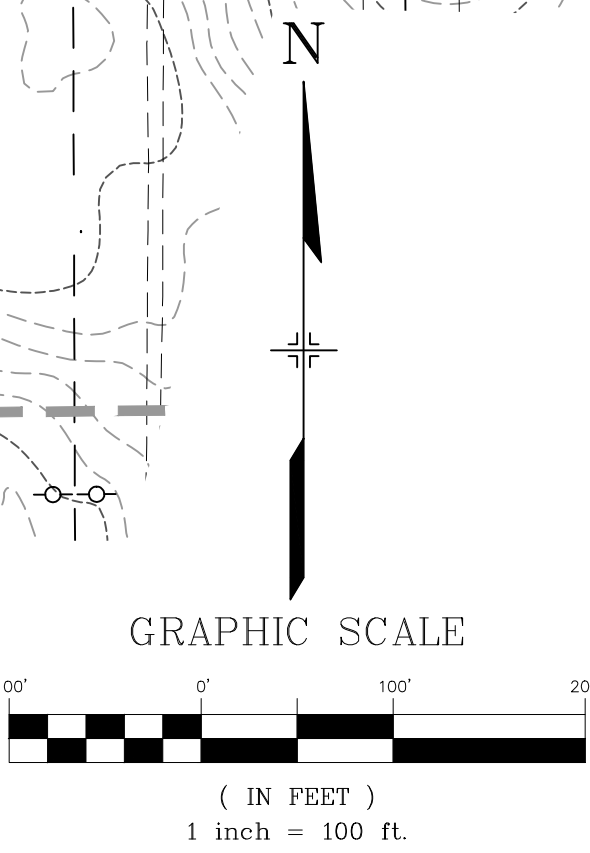
SHEET 2 OF 3



A 25' trail easement is to be depicted along northern boundary- Parks comments

zone boundary label
 RS-20000
 RS-6000

this appears to not a build-able lot- REAR and Front setbacks are 25 feet, side is 5 feet; merge with another lot(s) or make a tract



REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	08/24/2020	EPC SUBMITTAL	JRA
1	12/30/2020	EPC SECOND SUBMITTAL	RAF

DRAWING INFORMATION:

PROJECT NO: 20.1129.003

DRAWN BY: JRA

CHECKED BY: JRA

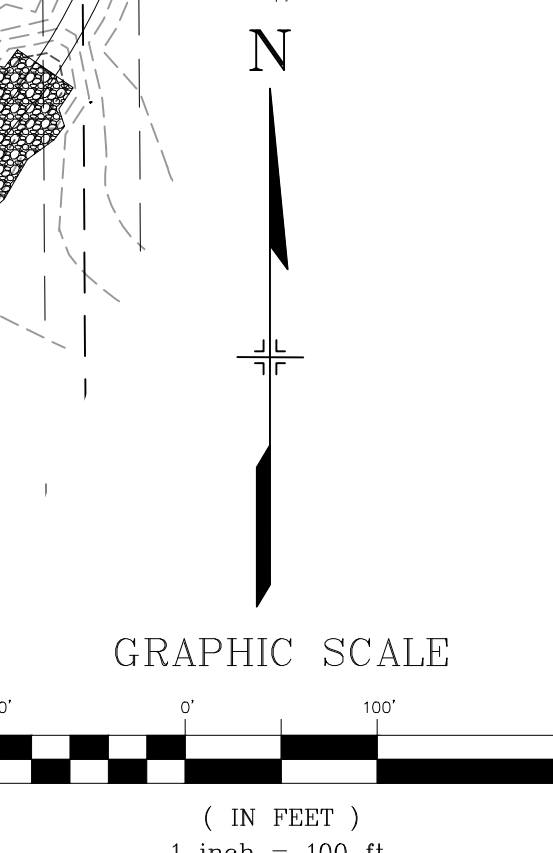
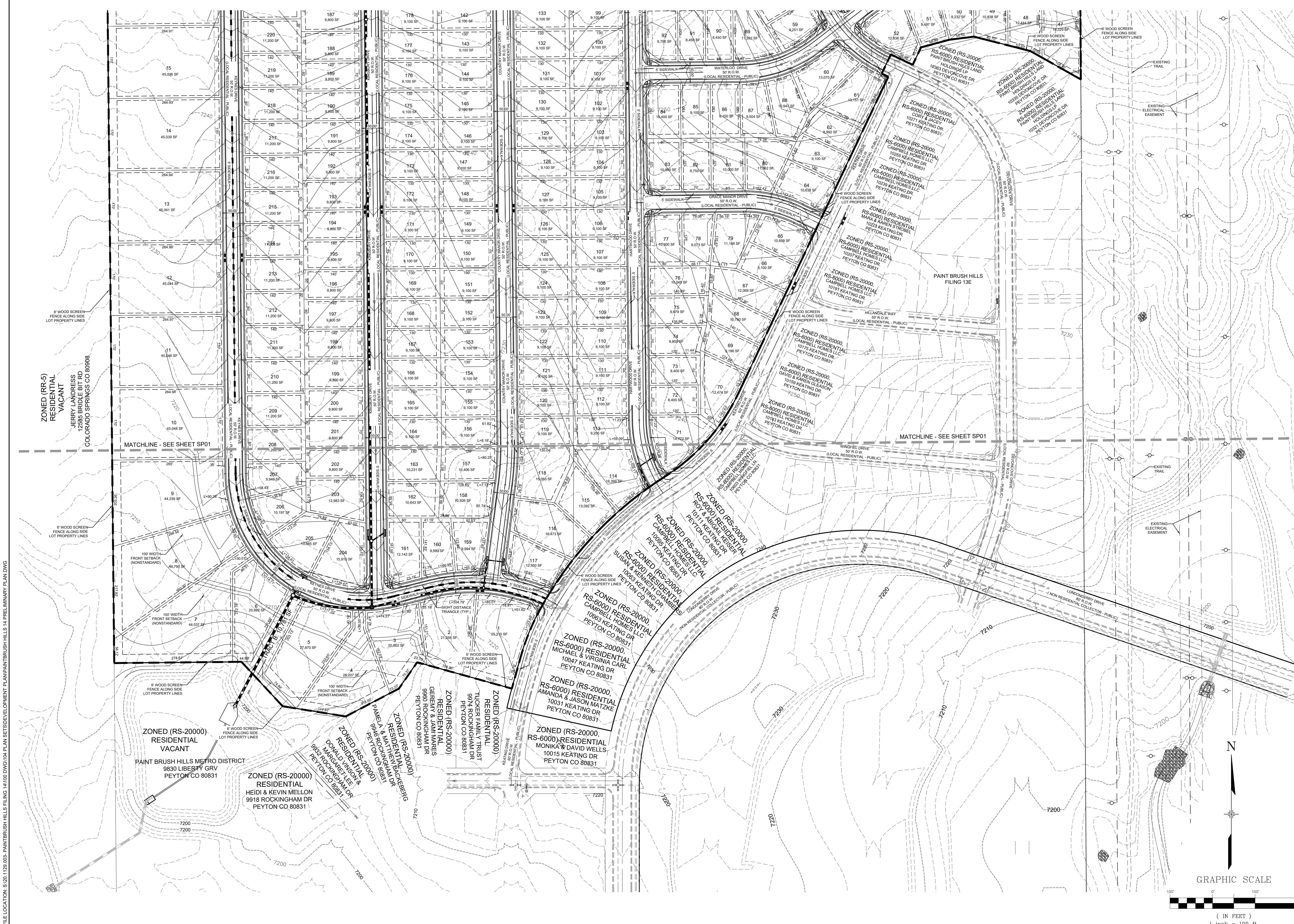
APPROVED BY: JRA

SHEET TITLE:

SITE PLAN

SP02

SHEET 3 OF 3



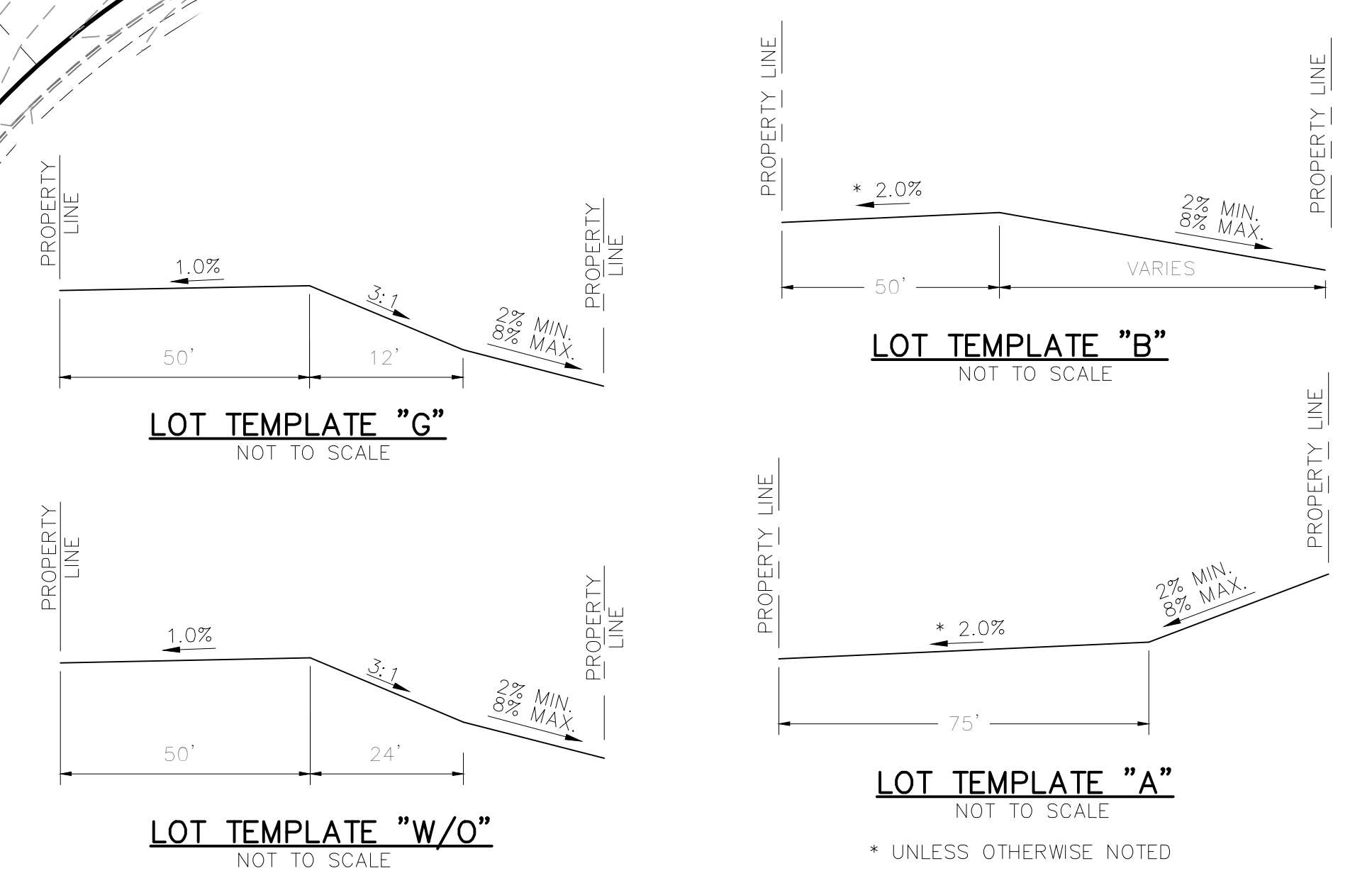
FILE LOCATION: S:20.1129.003-PAINTBRUSH HILLS FILING 14 PRELIMINARY PLAN SETS/DEVELOPMENT PLAN/PAINTBRUSH HILLS 14 PRELIMINARY PLAN.DWG

PAINT BRUSH HILLS FILING NO. 14

PRELIMINARY GRADING PLAN

DECEMBER 2020

- GRADING AND EROSION CONTROL NOTES:**
- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
 - NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE, AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REGULATIONS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
 - A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
 - ONCE THE ESQCP IS APPROVED AND A NOTICE TO PROCEED HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
 - CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
 - ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
 - TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE DURING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
 - FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND-DISTURBING ACTIVITIES ARE COMPLETED AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
 - ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT AFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE EGM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
 - EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
 - COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENEED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
 - ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
 - CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.
 - DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
 - EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL, WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
 - WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
 - TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
 - THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
 - THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
 - NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ON-SITE UNLESS PERMISSON FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE EGM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
 - BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ON-SITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
 - NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
 - OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DDM VOLUME II AND THE EGM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
 - ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
 - PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
 - A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
 - THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY ENTECH ENGINEERING, INC., ENTITLED GEOLOGIC HAZARD/LAND STUDY AND PRELIMINARY SUBSURFACE SOIL INVESTIGATION STERLING RANCH, DATED OCTOBER 31, 2009, AND SHALL BE CONSIDERED A PART OF THESE PLANS.
 - AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY CONTROL DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:
 COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
 WATER QUALITY CONTROL DIVISION
 WQCD - PERMITS
 4300 CHERRY CREEK DRIVE SOUTH
 DENVER, CO 80246-1530
 ATTN: PERMITS UNIT



LEGEND

— 6920 —	EXISTING MAJOR CONTOUR	"A"	TYPE A LOT
— 6918 —	EXISTING MINOR CONTOUR	"B"	TYPE B LOT
— 6920 —	PROPOSED MAJOR CONTOUR	"T"	TRANSITION LOT
— 6918 —	PROPOSED MINOR CONTOUR	"W/O"	WALK-OUT LOT
— — —	FILING BOUNDARY LINE	"G"	GARDEN LOT
— — —	RIGHT-OF-WAY LINE	"C"	CUSTOM/NATIVE LOT
— — —	PROPOSED PROPERTY LINE	L.P./H.P.	LOW POINT/HIGH POINT
SF	SILT FENCE	(2.0%)	FLOW DIRECTION & SLOPE
— — —	PROPOSED STORM DRAIN	→	FLOW DIRECTION ARROW
— — —	EXISTING STORM DRAIN	→	EMERGENCY OVERFLOW
— — —	SWALE	→	EXISTING FLOW DIRECTION ARROW
▨	VEHICLE TRACKING CONTROL	→	EMERGENCY OVERFLOW DIRECTION

LOT DRAINAGE TYPES AND SWALE DIRECTION

TYPE A, TYPE T, TYPE B/G

BREAK POINT ELEV. (TYP)

DIRECTION OF FLOW (TYP)

PCD FILE NO: SP206

PAINT BRUSH HILLS FILING NO. 14
 PRELIM GRADING PLAN
 PROJECT NO. 10-014
 FILE: \\VW\GOLDER\GIB\PROJECTS\1014-PRC-14M
 SCALE: 1" = 100'
 DATE: 12-29-20
 SHEET 1 OF 1
 PGEC1
 REVISIONS: NONE
 DATE: NONE
 BY: DESCRIPTION: NONE
 FOR AND ON BEHALF OF: CIVIL CONSULTANTS, INC.
 107 PEBBLE AVE. SUITE 300
 COLORADO SPRINGS, CO 80903
 PHONE 719.585.5485
 CIVIL CONSULTANTS, INC.

PAINT BRUSH HILLS FILING NO. 14

PRELIMINARY UTILITY AND PUBLIC FACILITY PLAN

DECEMBER 2020

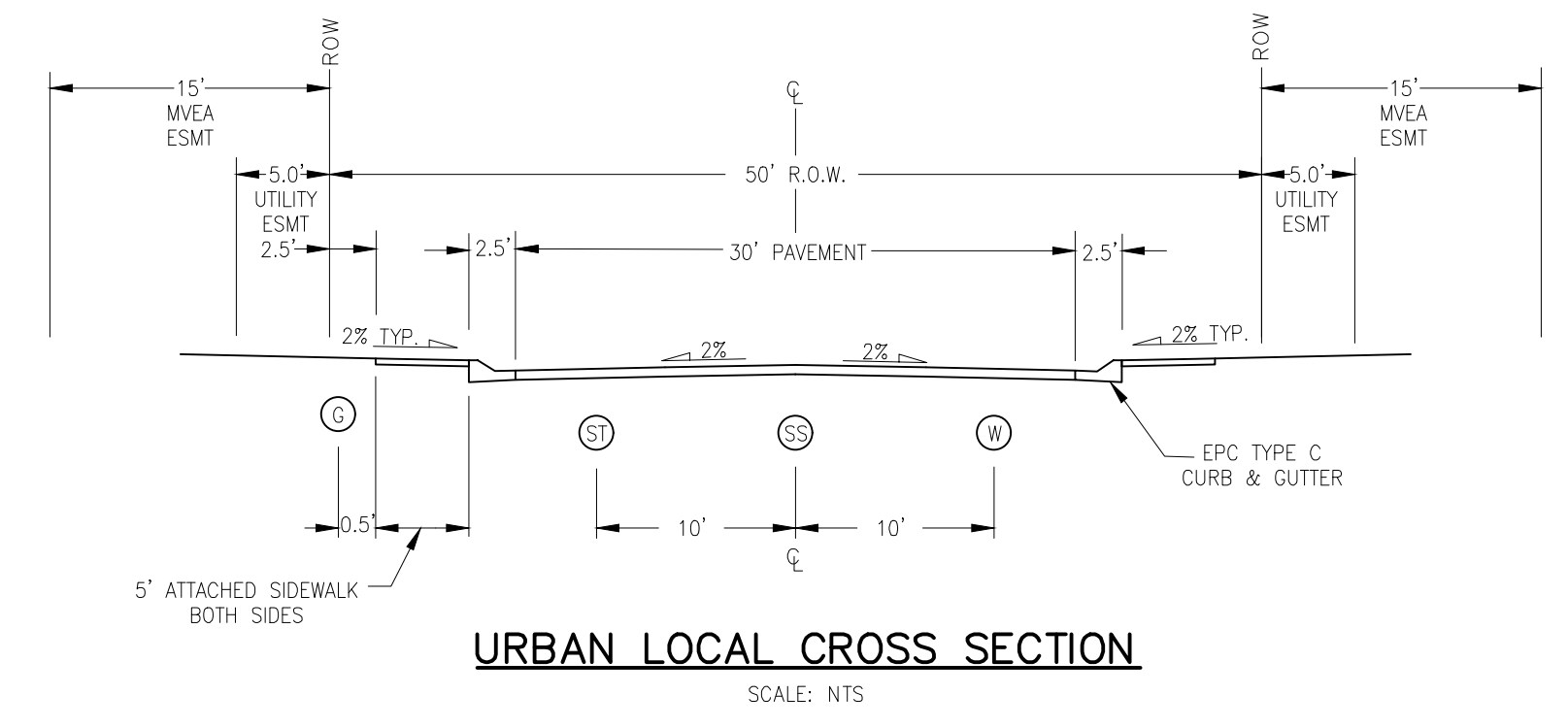


GENERAL NOTES

- THE LOCATION OF EXISTING UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND MAY NOT INCLUDE ALL UTILITIES. THE EXCAVATION CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.
- BEFORE COMMENCING ANY EXCAVATION, CALL 1-800-922-1867 FOR EXISTING UTILITY LOCATIONS.
- THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- ALL BACKFILL, SUB-BASE AND/OR BASE COURSE (CLASS 6) MATERIAL SHALL BE COMPACTED TO THE SOILS ENGINEER'S RECOMMENDATIONS, AND APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION.
- ALL STATIONING IS CENTERLINE UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE CENTERLINE UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL REVEGETATE ALL DISTURBED AREAS AS SOON AS POSSIBLE AND EROSION CONTROL SHALL BE MAINTAINED AND MAINTAINED IN A FUNCTIONAL MANNER AT ALL TIMES. DEVELOPER RESPONSIBLE FOR MAINTAINING DISTURBED AREAS UNTIL REVEGETATION IS COMPLETE.
- ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. REPAIR SHALL CONFORM TO THE EPC ECM APPENDIX K-1.2C.
- ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.
- BUILDING CONTRACTORS WILL BE RESPONSIBLE FOR CONSTRUCTING POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- ASPHALT THICKNESS AND BASE COURSE THICKNESS (COMPACTED) FOR ROADS SHALL BE PER DESIGN REPORT BY OWNER'S GEOTECHNICAL ENGINEER. OWNER'S GEOTECHNICAL ENGINEER TO BE ON SITE AT TIME OF ROAD CONSTRUCTION TO EVALUATE SOIL CONDITIONS AND DETERMINE IF ADDITIONAL MEASURES ARE NECESSARY TO ASSURE STABILITY OF THE NEW ROADS. PAVEMENT DESIGN SHALL BE APPROVED BY DEVELOPMENT SERVICES DEPARTMENT PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL REVEGETATE ALL DISTURBED AREAS WITHIN 21 DAYS OF SUBSTANTIAL GRADING COMPLETION. EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED IN A FUNCTIONAL MANNER AT ALL TIMES. DEVELOPER IS RESPONSIBLE FOR MAINTAINING DISTURBED AREAS UNTIL REVEGETATION IS COMPLETE.
- TYPE M RIP-RAP WITH 4" OF TYPE II GRANULAR BEDDING AND MIRIFI 180N OR EQUAL MAY BE SUBSTITUTED WHERE TYPE L RIP-RAP WITH MIRIFI FW 700 OR EQUAL IS SPECIFIED.
- ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN COMPLIANCE WITH ANY AND ALL APPLICABLE EL PASO COUNTY STANDARDS AND WITH PAINT BRUSH HILLS METRO DISTRICT CONSULTING ENGINEER APPROVAL.
- ALL WATER MAINS SHALL BE AWMA C900-SDR18 PVC WITH PUSH-ON SINGLE GASKET TYPE JOINTS.
- ALL WATER MAIN FITTINGS SHALL BE MADE FROM GRAY-IRON OR DUCTILE IRON AND FURNISHED WITH MECHANICAL JOINT ENDS. ALL FITTINGS SHALL HAVE A PRESSURE RATING OF 250 P.S.I.
- ALL WATER LINE BENDS, TEES, BLOW-OFFS AND PLUGS AT DEAD-END MAINS SHALL BE PROTECTED FROM THRUST BY USING CONCRETE THRUST BLOCKS AND/OR RODDING AND RESTRAINED PIPE PER THE PAINT BRUSH HILLS METRO DISTRICT CONSULTING ENGINEER APPROVAL.
- MAXIMUM DEFLECTION OF 8" & 12" PVC WATER MAIN JOINTS IS 4 DEGREES. CORRESPONDING MINIMUM CURVE RADIUS IS 286'. ADDITIONAL 11.25' OR 22.5' BENDS MAY BE REQUIRED FOR PROPER ALIGNMENT.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING DETAILED AS-BUILTS OF ALL WATER MAIN, STORM SEW AND SAN. SEW. MAIN INSTALLATIONS, INCLUDING ACCURATE DISTANCES OF MAIN LINES, VALVES, FITTINGS, MANHOLES AND LOCATIONS OF WATER AND SEWER SERVICES.
- SANITARY SEWER PIPE AND FITTINGS: PVC 4"-8" ASTM D3034, TYPE PSM, SDR 35; PUSH-ON JOINTS AND MOLDED RUBBER GASKETS. MAXIMUM HORIZONTAL DEFLECTION, AFTER INSTALLATION AND BACK FILLING SHALL NOT EXCEED 3% OF THE PIPE DIAMETER. (MINIMUM CURVE RADIUS IS 100' FOR 8" PVC SAN. SEW. MAIN).

STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - CDOT M & S STANDARDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ON-SITE AND OFF-SITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOORPLAN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER EPC STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS, OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS AND METRO CRITERIA.
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.



PAINT BRUSH HILLS FILING NO. 14

PRELIM UTILITY & PUBLIC FACILITY PLAN

PROJECT NO. 10-014 FILE: \\myvolera\subfiles\10014-P14.dwg

DESIGNED BY: DM DATE: 12-29-20

DRAWN BY: JG DATE: 12-29-20

CHECKED BY: VAS DATE: 12-29-20

SHEET 1 OF 1

PUT1

102 E. PINE PEAK AVE. SUITE 500
COLORADO SPRINGS, CO 80903
PHONE 719.535.5485

S
CIVIL CONSULTANTS, INC.

FOR AND ON BEHALF OF CIVIL CONSULTANTS, INC.

MICHELLE A. SANCHEZ, COLORADO P.E. NO. 37180

DATE: _____

APPROVE BY: _____

REVISIONS:

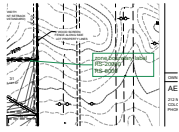
NO.	DATE	BY	DESCRIPTION

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

CAUTION

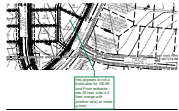
Preliminary Plan Drawings_V2 planning only.pdf Markup Summary 1-29-2021

dsdparsons (17)



Subject: Callout
Page Label: 2
Author: dsdparsons
Date: 1/29/2021 2:11:19 PM
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zone boundary label RS-20000
RS-6000



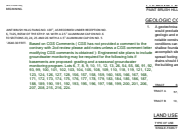
Subject: Callout
Page Label: 2
Author: dsdparsons
Date: 1/29/2021 2:13:38 PM
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this appears to not a build-able lot- REAR and Front setbacks are 25 feet, side is 5 feet; merge with another lot(s) or make a tract



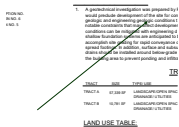
Subject: Callout
Page Label: 1
Author: dsdparsons
Date: 1/29/2021 2:16:24 PM
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please call out the lots specifically that have non-standard setbacks so that they are easily identified by Front counter staff...in a note on sheet 1 of prelim and plat.



Subject: Text Box
Page Label: 1
Author: dsdparsons
Date: 1/29/2021 2:17:49 PM
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Based on CGS Comments (CGS has not provided a comment to the contrary with 2cd review please add notes unless a CGS comment letter modifying CGS comments is obtained): Engineered site plans to include groundwater monitoring may be required for the following lots if basements are proposed: grading and a seasonal groundwater monitoring program. Lots 6, 7, 8, 9, 10, 11, 12, 13, 26, 54, 55, 56, 91, 92, 93, 99, 100, 101, 102, 103, 104, 105, 108, 109, 110, 118, 119, 121, 122, 123, 124, 126, 127, 128, 156, 157, 158, 159, 160, 165, 166, 167, 168, 171, 172, 173, 174, 175, 176, 177, 178, 179, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 195, 196, 197, 198, 199, 200, 201, 206, 207, 208, 215, 216, 224.



Subject: Arrow
Page Label: 1
Author: dsdparsons
Date: 1/29/2021 8:18:23 AM
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Identified geologic hazards include shallow bedrock, erosion, expansive soils, issues related to shallow groundwater, frost heave related to shallow groundwater, artificial fill, potential groundwater seepage, shallow bedrock, perched groundwater (flowing on top of bedrock and within sandstone lenses).

Subject: Text Box
Page Label: 1
Author: dsdparsons
Date: 1/29/2021 8:23:42 AM
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Identified geologic hazards include shallow bedrock, erosion, expansive soils, issues related to seasonally shallow groundwater, frost heave related to shallow groundwater, artificial fill, potential groundwater seepage, shallow bedrock, perched groundwater (flowing on top of bedrock and within sandstone lenses). Areas of seasonal shallow groundwater and the potential for shallow groundwater have been mapped and Entech has recommended that basements not be allowed in these areas and/or site grading raise the areas impacted. In addition, RMG states that an existing drainage has been infilled without records indicating if drain recommendations were followed. As infilled drainages can become conduits for groundwater CGS recommends that the lots in the area of the infilled drainage (map unit valley infill "Vi") also exclude basements or below grade areas.

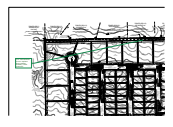
These are the identified constraints:
D EASEMENT
Y BOUNDARY
G/ 85-20.000
T MATCHLINE

Subject: Callout
Page Label: 1
Author: dsdparsons
Date: 1/29/2021 9:00:27 AM
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These are the identified constraints:



Subject: Image
Page Label: 2
Author: dsdparsons
Date: 1/29/2021 9:03:17 AM
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Subject: Callout
Page Label: 2
Author: dsdparsons
Date: 1/29/2021 9:04:17 AM
Status:
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A 25 ' trail easement is to be depicted along northern boundary- Parks comments

ABBREVIATION LIST

Subject: Image
Page Label: 1
Author: dsdparsons
Date: 1/29/2021 9:10:01 AM
Status:
Color: ■
Layer:
Space:

Address and add a corresponding note: Are under drains and Perimeter drains to be utilized to mitigate in addition to the basement limitations? Who will be maintaining the under drains/perimeter drains

Subject: Callout
Page Label: 1
Author: dsdparsons
Date: 1/29/2021 9:10:04 AM
Status:
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Address and add a corresponding note: Are under drains and Perimeter drains to be utilized to mitigate in addition to the basement limitations? Who will be maintaining the under drains/perimeter drains

The Subdivider agrees on behalf of himself and his successors or other successors and assignees that Subdivider and/or said successors and assignees shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program Resolution (Resolution No. 19-471), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on plat notes to ensure that a title search would find the fee obligation before sale of the property.

Subject: Road Impact
Page Label: 1
Author: dsdparsons
Date: 1/29/2021 9:20:22 AM
Status:
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The Subdivider(s) agrees on behalf of him/herself and any developer or builder successors and assignees that Subdivider and/or said successors and assigns shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program Resolution (Resolution No. 19-471), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on plat notes to ensure that a title search would find the fee obligation before sale of the property.

The Subdivider agrees on behalf of himself and his successors or other successors and assignees that Subdivider and/or said successors and assignees shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program Resolution (Resolution No. 19-471), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on plat notes to ensure that a title search would find the fee obligation before sale of the property.

Subject: Stormwater Drainage
Page Label: 1
Author: dsdparsons
Date: 1/29/2021 9:23:01 AM
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Note Regarding Stormwater Drainage:
All property owners are responsible for maintaining proper storm water drainage in and through their property. Public drainage easements as specifically noted on the plat shall be maintained by the individual lot owners unless otherwise indicated. Structures, fences, materials or landscaping that could impede the flow of runoff shall not be placed in drainage easements.

Easements:
Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 10 foot (use 5 feet for lots smaller than 2.5 acres) public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries are hereby platted with a 20 foot (use 7 feet for lots smaller than 2.5 acres) public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.

Subject: Easements
Page Label: 1
Author: dsdparsons
Date: 1/29/2021 9:23:04 AM
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Easements:
Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 10 foot (use 5 feet for lots smaller than 2.5 acres) public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries are hereby platted with a 20 foot (use 7 feet for lots smaller than 2.5 acres) public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.

Design, water lines and connections, wastewater to the sewer details in the El Paso County

Subject: Callout
Page Label: 1
Author: dsdparsons
Date: 1/29/2021 9:23:16 AM
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please add notes in green

HILLS FILING 14
ARY PLAN

EXISTING ZONING IS NOW RS6000 & RS20000

Subject: Callout
Page Label: 1
Author: dsdparsons
Date: 1/29/2021 9:23:42 AM
Status:
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existing zoning is now RS6000 & RS20000

Region 25' easement on water development and construction. The easement is shown in blue on the map. The easement is shown in blue on the map. The easement is shown in blue on the map.

Subject: Callout
Page Label: 1
Author: dsdparsons
Date: 1/29/2021 9:24:35 AM
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25' Region Trail Easement