

SITE INFORMATION:	
ADDRESS 565 SUNRISE PEAK ROAD	
LEGAL S-93 (ARR) SITE ADDITION TO CRYSTAL PARK SUB NO. 2	
SITE DATA	
LOT SIZE =	30,498 SQ FT
BUILDING FOOTPRINT:	
HOUSE -	1,658 SQ FT
GARAGE -	665 SQ FT
DECKS -	288 SQ FT
TOTAL:	2,611 SQ FT
LOT COVERAGE =	7.15%
ZONING =	S-93 (ARR)
TAX SCHEDULE # =	7418000188
BUILDING HEIGHT =	SEE ELEVATIONS

- SITE INFORMATION:**
- 1) Topographic information is supplied by others.
 - 2) Dashed lines indicate existing contours. Solid lines indicate proposed contours.
 - 3) Contractor to verify easements.
 - 4) Contractor to limit cut and fill areas and limit material and vehicle storage to the building areas in order to minimize vegetation and site disturbance.
 - 5) Final landscaping to be determined by the Contractor/Owner(s). It shall minimize impact to the site. All landscaping to be completed by the Contractor/Owner(s).
 - 6) Use hay bales to minimize erosion during construction. And also stabilize area with seeded blankets for erosion control as necessary.
 - 7) Earth materials are not to be stockpiled on streets or sidewalks, but on site or staging areas.
 - 8) Contractor is required to provide positive drainage away from and around structure in all directions as shown.
 - 9) Any boulder retaining walls shown shall be 48" max high and 48"-60" min apart laterally if (2) or more retaining walls exist. Or retaining walls shall be engineered by a licensed CO soils engineer.
 - 10) General Contractor, Subcontractors, Suppliers, and Owner(s) shall familiarize themselves & verify all notes, dimensions and information on drawing(s) prior to starting construction. It shall be the responsibility of those parties to report any changes and/or discrepancies to the Designer. Questions regarding these drawings such as: drawing interpretation, dimensions, notes, scale and other similar questions shall be brought to the attention of the Designer immediately, in writing. Failure to do any of the above shall relieve the designer of any errors. Designer shall not be responsible for any changes not noted in writing to this plan.

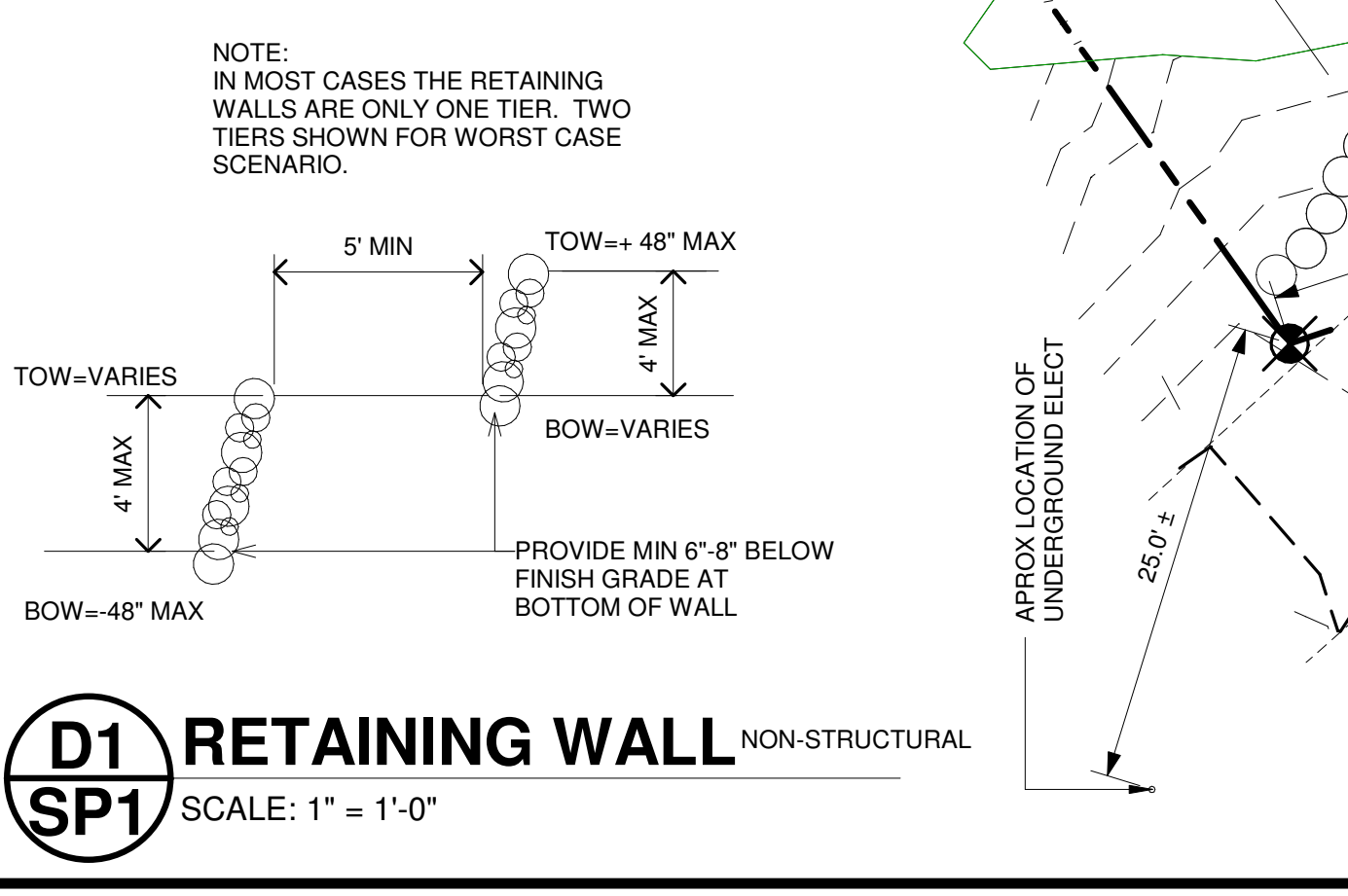
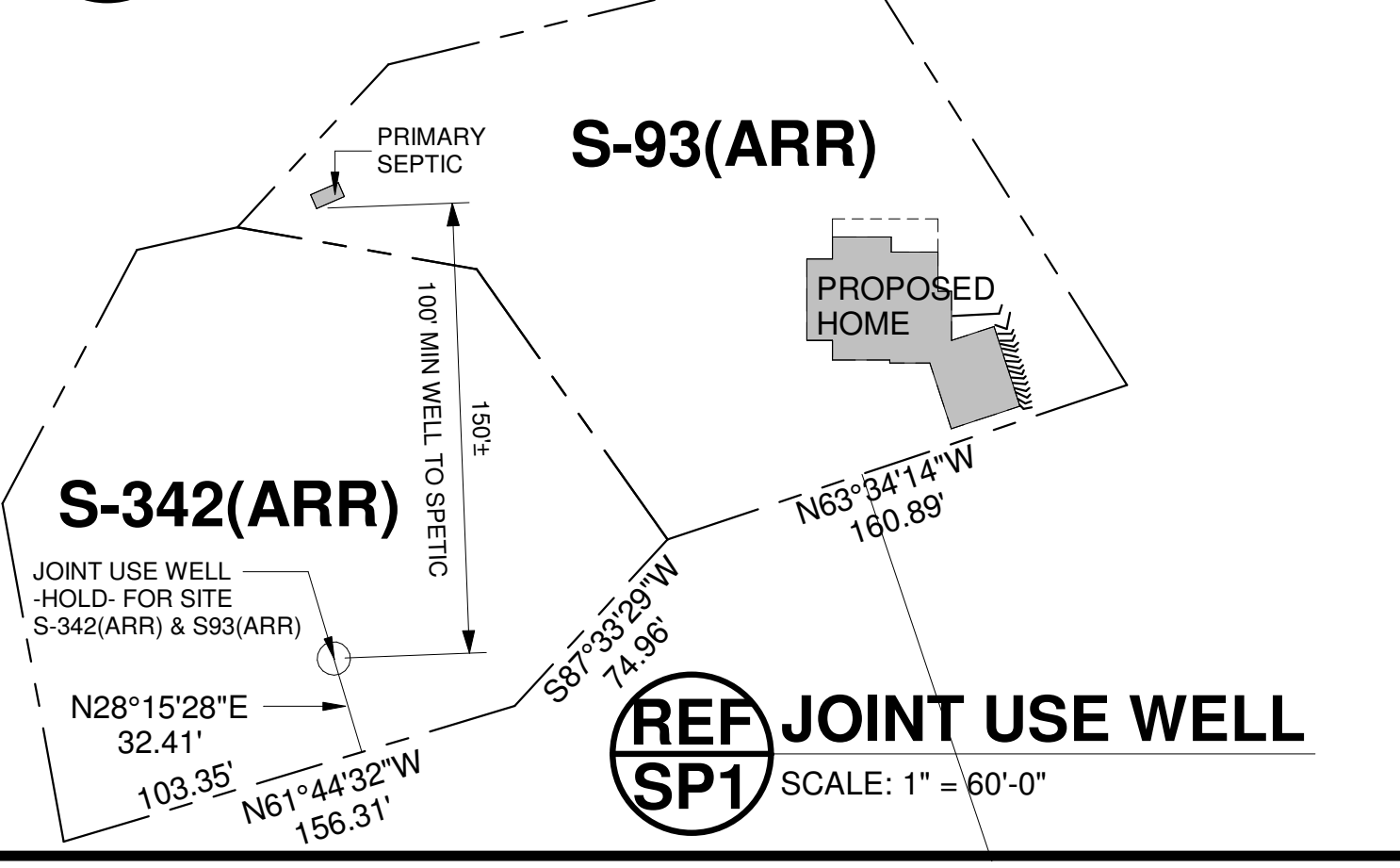
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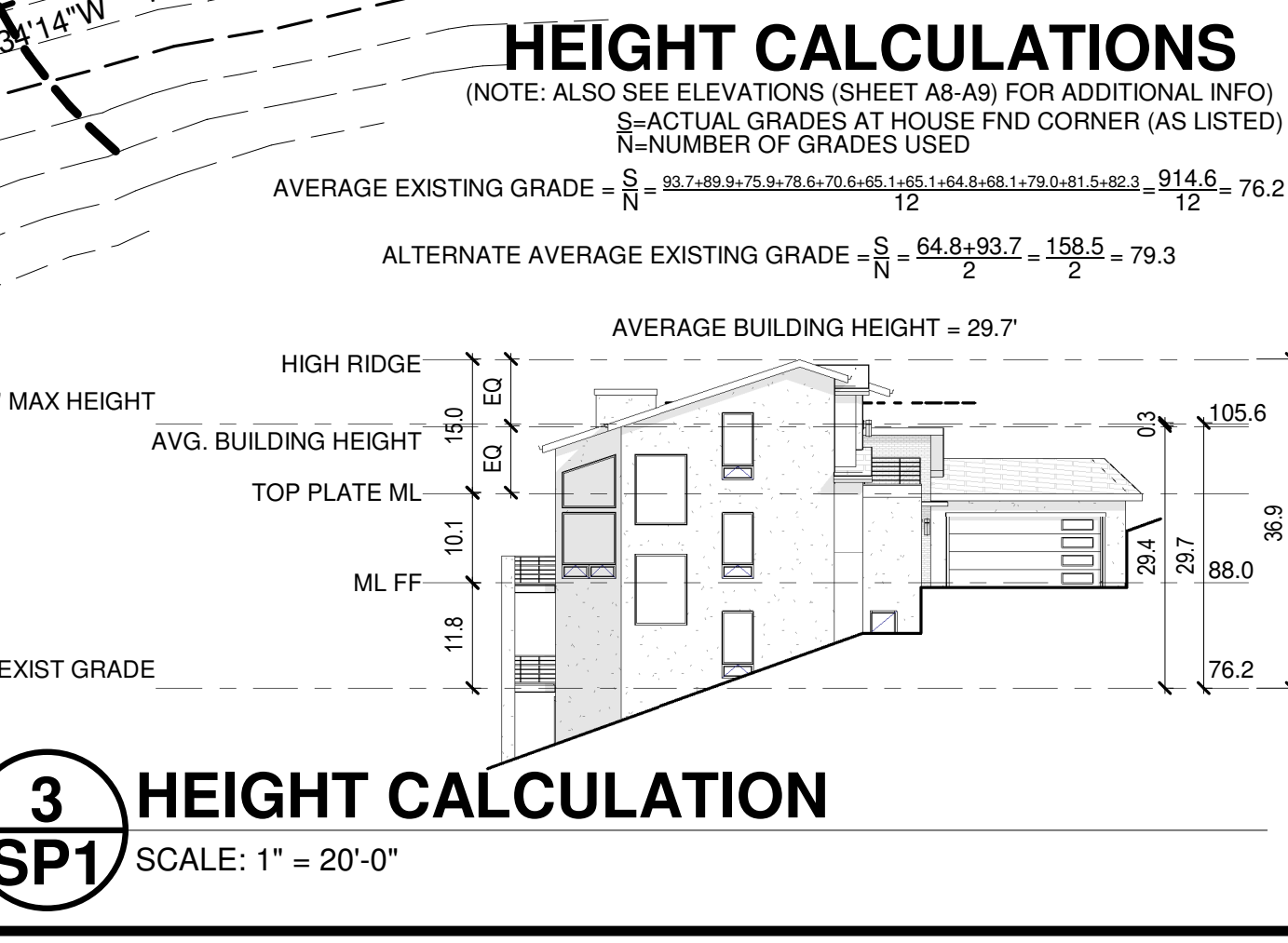
THE BURLERSON RESIDENCE
565 SUNRISE PEAK RD.
Project Number: (18-1630)

1 BUILDING FOOTPRINT & ROOF RIDGE
SP1 SCALE: 1" = 10'-0"



2 SITE PLAN
SP1 SCALE: 1" = 10'-0"

3 HEIGHT CALCULATION
SP1 SCALE: 1" = 20'-0"



SITE LEGEND:

PROPERTY LINES & CORNERS	
EXISTING CONTOURS	
PROPOSED CONTOURS	
PROPOSED RETAINING WALL	
-SEE RETAINING WALL SCHEDULE	
(R)=WALL HEIGHTS	
DRAINAGE SLOPE	
EXISTING GRADE	
FINISH GRADE	
(NOTE: GRADES LABELED @ HOUSE FND CORNER)	
MISC. TERMS:	
BOW=	BOTTOM OF RETAINING WALL
F.V.=	FIELD VERIFY
FND=	FOUNDATION
HGT=	HEIGHT
ML=	LOWER LEVEL
LL=	MAIN LEVEL
(N)=	NEW CONSTRUCTION
SQ.FT. or SF=	SQUARE FEET
TOF=	TOP OF FOUNDATION
TOW=	TOW OF RETAINING WALL
UL=	UPPER LEVEL
WO=	WALKOUT

NOTE: TOPO INFO IS BASED ON: TOPOGRAPHIC SURVEY - SITE S-93, SITE ADDITION TO CRYSTAL PARK, EL PASO COUNTY, COLORADO BY: RAMPART SURVEYS, LLC WOODLAND PARK, CO. 80866 (719)687-0920 DRAWING: 18036 TOPO.DWG

DRAWN BY: LR
CHECKED BY: LG, DS

PLOT: 7/28/2019

Sheet #
SP1
OF 1 SHEETS