

**SITE INFORMATION:**

**ADDRESS**  
565 SUNRISE PEAK ROAD

**LEGAL**  
S-93 (ARR) SITE ADDITION TO CRYSTAL PARK SUB NO. 2

**SITE DATA**

LOT SIZE =	30,498 SQ FT
BUILDING FOOTPRINT:	
HOUSE -	1,771 SQ FT
GARAGE -	887 SQ FT
DECKS -	296 SQ FT
TOTAL:	2,754 SQ FT
LOT COVERAGE =	9.03%
ZONING =	
TAX SCHEDULE # =	7418000188
BUILDING HEIGHT =	SEE ELEVATIONS

- SITE INFORMATION:**
- 1) Topographic information is supplied by others.
  - 2) Dashed lines indicate existing contours. Solid lines indicate proposed contours.
  - 3) Contractor to verify easements.
  - 4) Contractor to limit cut and fill areas and limit material and vehicle storage to the building areas in order to minimize vegetation and site disturbance.
  - 5) Final landscaping to be determined by the Contractor/Owner(s). It shall minimize impact to the site. All landscaping to be completed by the Contractor/Owner(s).
  - 6) Use hay bales to minimize erosion during construction. And also stabilize area with seeded blankets for erosion control as necessary.
  - 7) Earth materials are not to be stockpiled on streets or sidewalks, but on site or staging areas.
  - 8) Contractor is required to provide positive drainage away from and around structure in all directions as shown.
  - 9) Any boulder retaining walls shown shall be 48" max high and 48"-60" min apart laterally if (2) or more retaining walls exist. Or retaining walls shall be engineered by a licensed CO soils engineer.
  - 10) General Contractor, Subcontractors, Suppliers, and Owner(s) shall familiarize themselves & verify all notes, dimensions and information on drawings prior to starting construction. It shall be the responsibility of those parties to report any changes and/or discrepancies to the Designer. Questions regarding these drawings such as: drawing interpretation, dimensions, notes, scale and other similar questions shall be brought to the attention of the Designer immediately, in writing. Failure to do any of the above shall relieve the designer of any errors. Designer shall not be responsible for any changes not noted in writing to this plan.

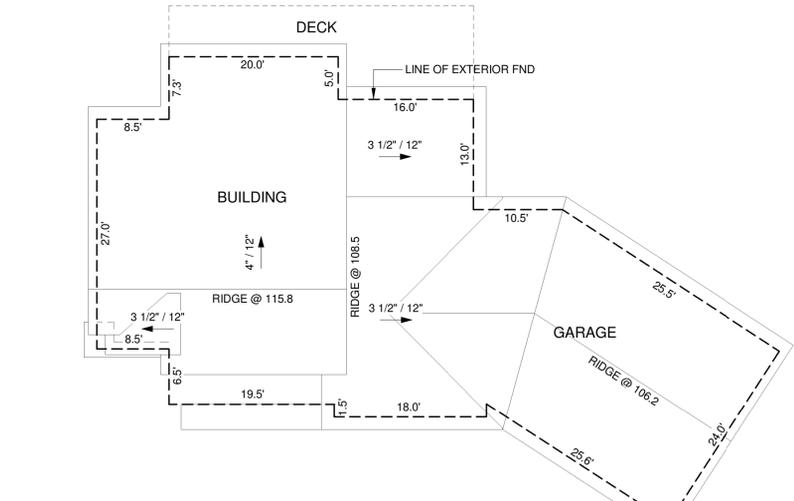
**SITE LEGEND:**

PROPERTY LINES & CORNERS	
EXISTING CONTOURS	
PROPOSED CONTOURS	
PROPOSED RETAINING WALL	
-SEE RETAINING WALL SCHEDULE	(R1) = WALL HEIGHTS
NO ROCK OUT CROPPING EXIST AT SITE	
DRAINAGE SLOPE	
91.0 = EXISTING GRADE	
90.0 = FINISH GRADE	
EXISTING TREE OVER 6" RADIUS	
MISC. TERMS:	
BOW =	BOTTOM OF RETAINING WALL
(E) =	EXISTING TO REMAIN
HGT =	HEIGHT
LL =	LOWER LEVEL
ML =	MAIN LEVEL
(N) =	NEW CONSTRUCTION
(R) =	REMOVE EXISTING
SQ.FT. or SF =	SQUARE FEET
TOF =	TOP OF FOUNDATION
TOW =	TOW OF RETAINING WALL
UL =	UPPER LEVEL
WO =	WALKOUT

NOTE: TOPO INFO IS BASED ON: TOPOGRAPHIC SURVEY - SITE S-93, SITE ADDITION TO CRYSTAL PARK, EL PASO COUNTY, COLORADO BY RAMPART SURVEYS, LLC WOODLAND PARK, CO. 80866 (719) 687-0920 DRAWING: 18036 TOPO.DWG



**3 FINISH FLOOR HEIGHTS**  
SCALE: 1/16" = 1'-0"



**2 BUILDING FOOTPRINT & ROOF RIDGE**  
SCALE: 1" = 10'-0"

LEGAL INFO:  
S-93 (ARR) SITE ADDITION TO CRYSTAL PARK SUB NO. 2

**1 SITE**  
SCALE: 1" = 10'-0"

**REVISIONS**

LGA STUDIOS  
201 E. Las Animas Street Suite 113  
Colorado Springs, CO. 80903  
Phone: (719) 635-0880  
Fax: (719) 694-2088  
LGAstudiosmailbox@gmail.com  
www.lgastudios.com

**CONTRACTOR**  
**Palace Homes, Inc**  
1216 West Colorado Ave. #110  
Colorado Springs, CO. 80904  
Tel: (719) 652-8925  
Fax: (719) 652-8925  
Email: info@palacehomesinc.com

**THE BURLERSON RESIDENCE**  
565 SUNRISE PEAK RD.  
Project Number: (18-1630)

**PRELIMINARY REVIEW NOT FOR CONSTRUCTION**

**DRAWN BY: LR**  
**CHECKED BY: LG, DS**

**PLOT: 12/20/2018**

Sheet #  
**SP1**  
OF 1 SHEETS