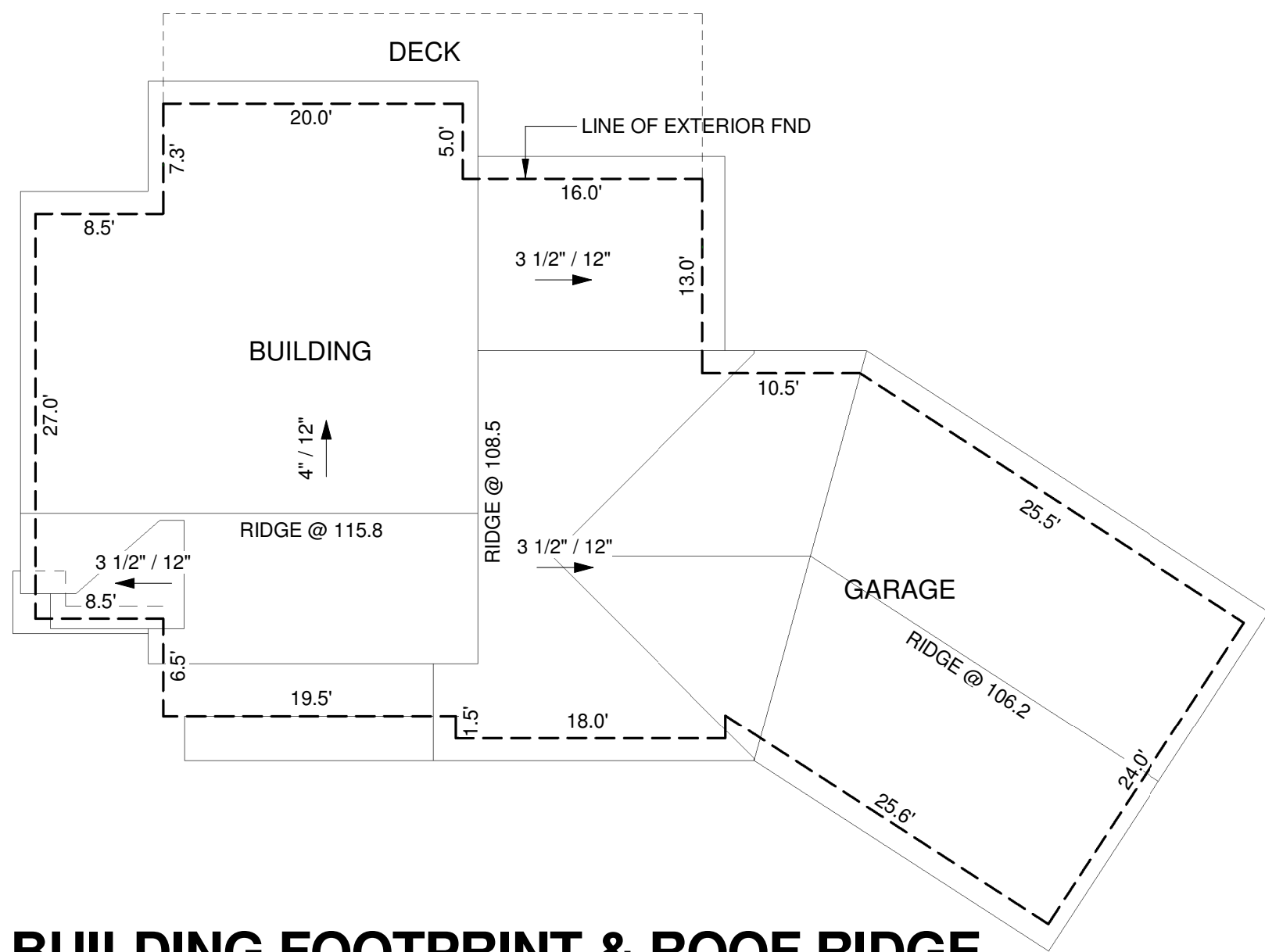
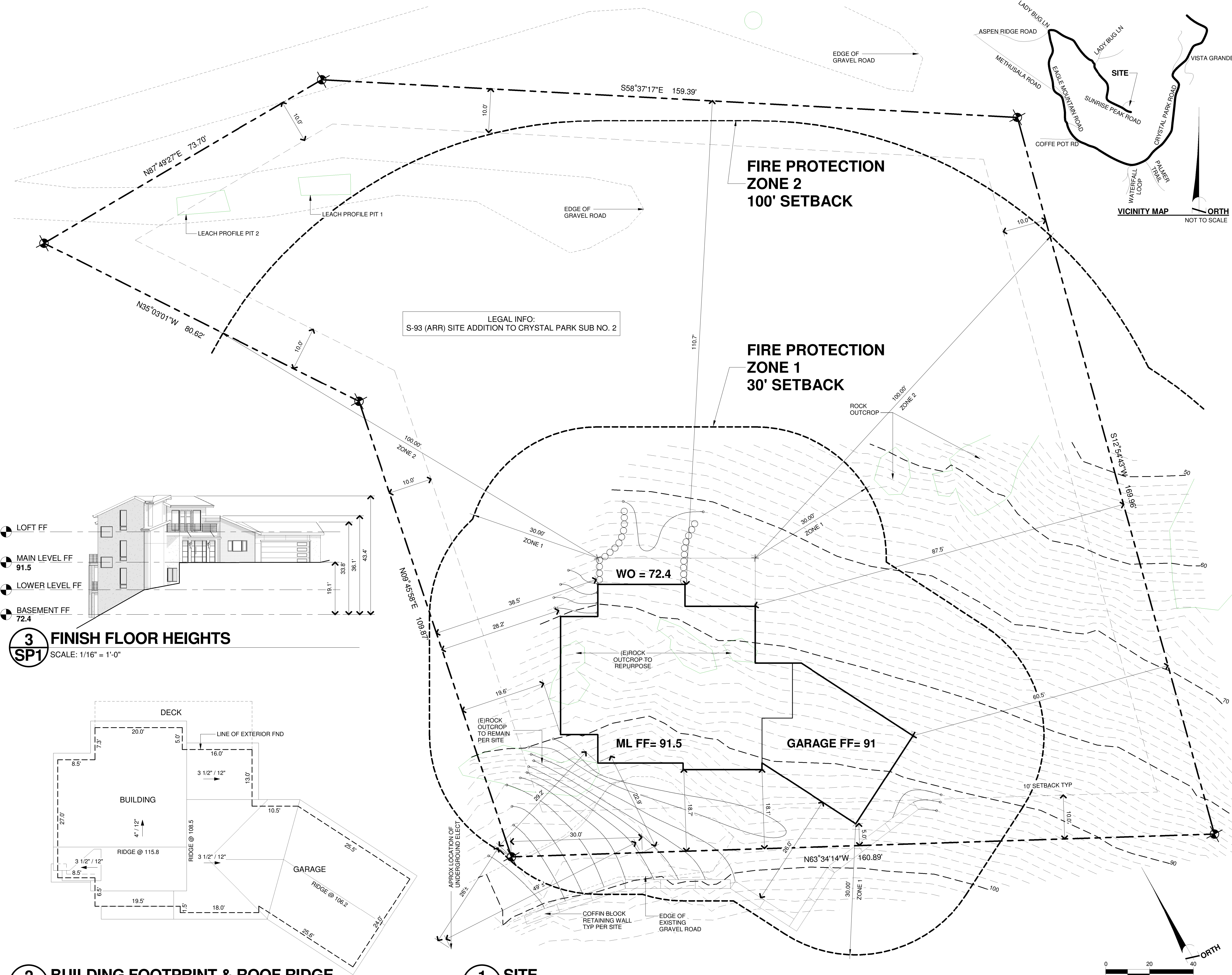




3 FINISH FLOOR HEIGHTS
SCALE: 1/16" = 1'-0"



2 BUILDING FOOTPRINT & ROOF RIDGE
SCALE: 1" = 10'-0"



1 SITE
SCALE: 1" = 10'-0"

SITE INFORMATION:

ADDRESS 565 SUNRISE PEAK ROAD	
LEGAL S-93 (ARR) SITE ADDITION TO CRYSTAL PARK SUB NO. 2	
SITE DATA	
LOT SIZE =	30,498 SQ FT
BUILDING FOOTPRINT:	
HOUSE -	1,771 SQ FT
GARAGE -	687 SQ FT
DECKS -	296 SQ FT
TOTAL:	2,754 SQ FT
LOT COVERAGE = 9.03%	
ZONING =	
TAX SCHEDULE # = 7418000188	
BUILDING HEIGHT = SEE ELEVATIONS	

SITE INFORMATION:

- 1) Topographic information is supplied by others.
- 2) Dashed lines indicate existing contours. Solid lines indicate proposed contours.
- 3) Contractor to verify easements.
- 4) Contractor to limit cut and fill areas and limit material and vehicle storage to the building areas in order to minimize vegetation and site disturbance.
- 5) Final landscaping to be determined by the Contractor/Owner(s). It shall minimize impact to the site. All landscaping to be completed by the Contractor/Owner(s).
- 6) Use hay bales to minimize erosion during construction. And also stabilize area with seeded blankets for erosion control as necessary.
- 7) Earth materials are not to be stockpiled on streets or sidewalks, but on site or staging areas.
- 8) Contractor is required to provide positive drainage away from and around structure in all directions as shown.
- 9) Any boulder retaining walls shown shall be 48" max high and 48"-60" min apart laterally if (2) or more retaining walls exist. Or retaining walls shall be engineered by a licenced CO soils engineer.
- 10) General Contractor, Subcontractors, Suppliers, and Owner(s) shall familiarize themselves & verify all notes, dimensions and information on drawings(s) prior to starting construction. It shall be the responsibility of those parties to report any changes and/or discrepancies to the Designer. Questions regarding these drawings such as: drawing interpretation, dimensions, notes, scale and other similar questions shall be brought to the attention of the Designer immediately, in writing. Failure to do any of the above shall relieve the designer of any errors. Designer shall not be responsible for any changes not noted in writing to this plan.

SITE LEGEND:

PROPERTY LINES & CORNERS	
EXISTING CONTOURS	
PROPOSED CONTOURS	
PROPOSED RETAINING WALL -SEE RETAINING WALL SCHEDULE	 (R1) = WALL HEIGHTS
NO ROCK OUT CROPPING EXIST AT SITE	
DRAINAGE SLOPE	
91.0 = EXISTING GRADE	
90.0 = FINISH GRADE	
EXISTING TREE OVER 6" RADIUS	
MISC. TERMS:	
BOW=	BOTTOM OF RETAINING WALL
(E)=	EXISTING TO REMAIN
HGT=	HEIGHT
LL=	LOWER LEVEL
ML=	MAIN LEVEL
(N)=	NEW CONSTRUCTION
(R)=	REMOVE EXISTING
SQ.FT. or SF=	SQUARE FEET
TOF=	TOW OF FOUNDATION
TOW=	TOW OF RETAINING WALL
UL=	UPPER LEVEL
WO=	WALKOUT

NOTE: TOPO INFO IS BASED ON:
TOPOGRAPHIC SURVEY - SITE S-93, SITE ADDITION TO CRYSTAL PARK, EL PASO COUNTY, COLORADO
BY: RAMPART SURVEYS, LLC
WOODLAND PARK, CO. 80866
(719) 687-0920
DRAWING: 18036 TOPO.DWG

REVISIONS

LGA STUDIOS
201 E. Las Animas Street Suite 113
Colorado Springs, CO. 80903
Phone: (719) 635-0880
Fax: (719) 694-2088
LGAstudiosmailbox@gmail.com
www.lgastudios.com

CONTRACTOR
Palace Homes. Inc

1216 West Colorado Ave. #110
Colorado Springs, CO. 80904
City: (719) 632-8925
Fax: (719) 632-8925
Email: info@palacehomesinc.com

THE BURLESON RESIDENCE
565 SUNRISE PEAK RD.

PRELIMINARY REVIEW NOT
FOR CONSTRUCTION

Project Number: (18-1630)

DRAWN BY: LR
CHECKED BY: LG, DS

PLOT: 12/20/2018

Sheet #
SP1
OF 1 SHEETS