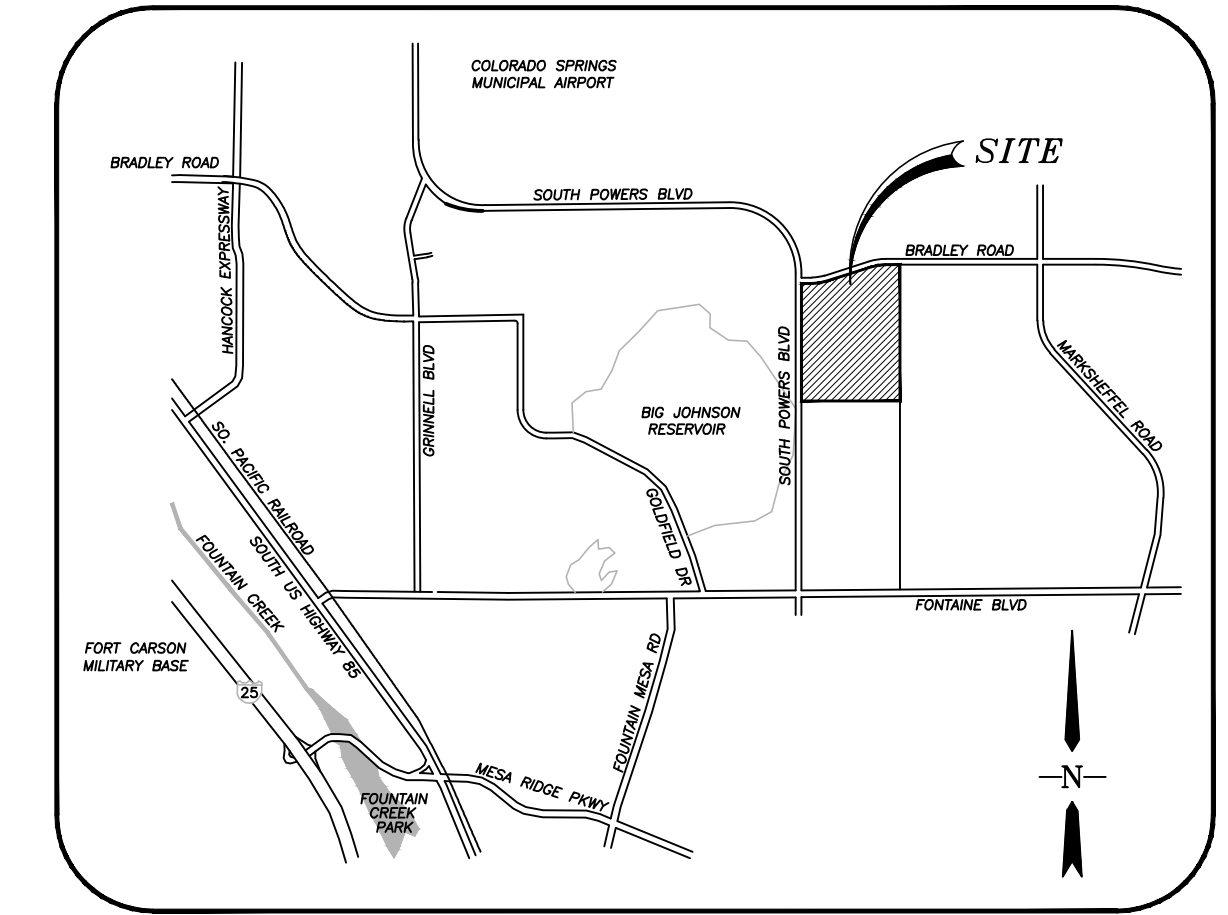


TOTAL LOTS: 713
TOTAL TRACTS: 10

WATERVIEW EAST PRELIMINARY PLAN

LOCATED IN A PORTION OF SECTION 9, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO



VICINITY MAP
N.T.S.

Remove the first 19 sheets of the pdf (Preliminary Plan and GEC Plan). These were submitted under a specific document item.

LAND OWNER:

31 N. TEJON ST., SUITE 500
COLORADO SPRINGS, CO 80903

SUBDIVIDER/PETITIONER:

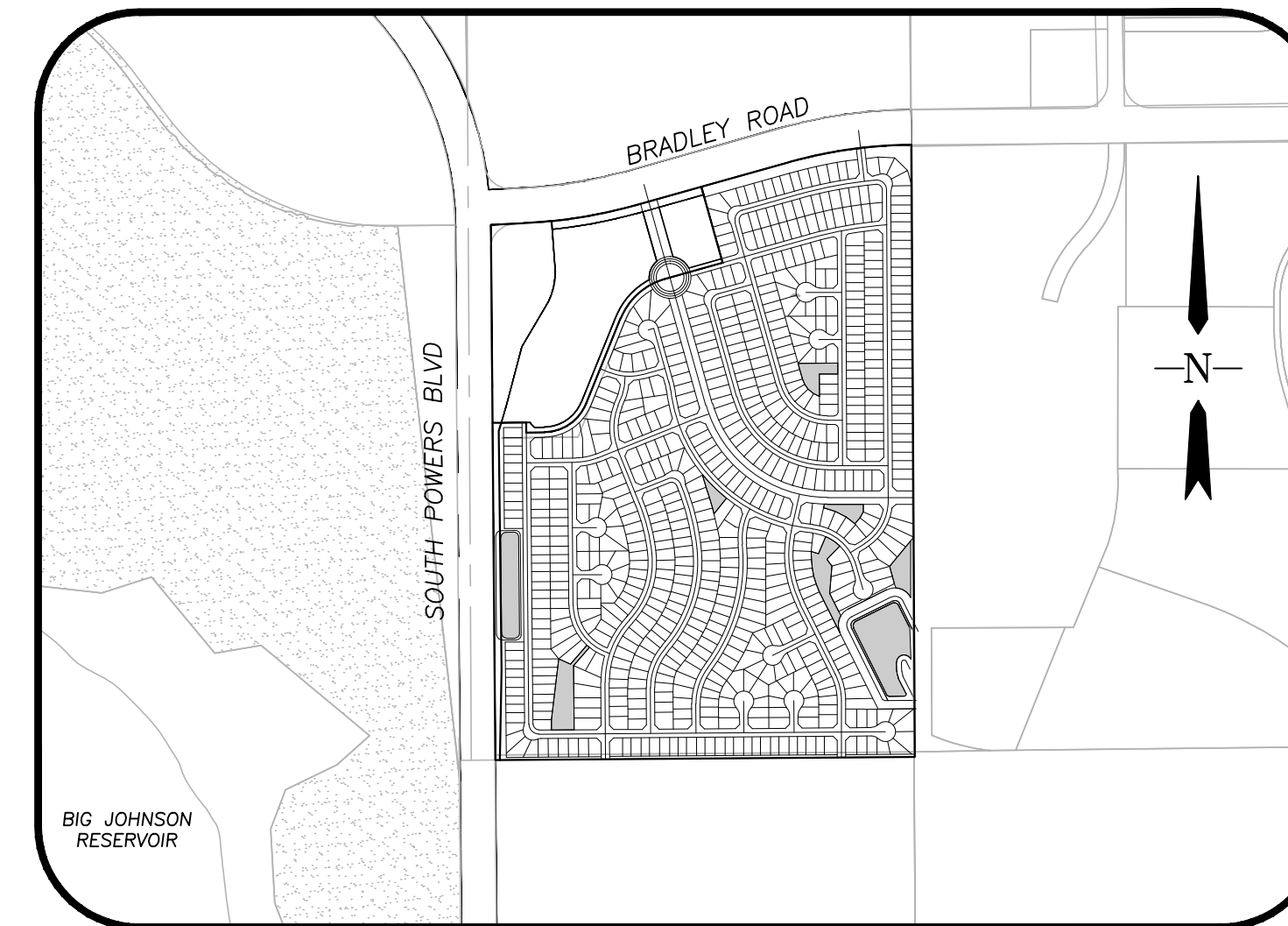
CPR ENTITLEMENTS AND SW, LLC
31 N. TEJON ST., SUITE 500
COLORADO SPRINGS, CO 80903

PLAN PREPARED BY:

STANTEC
1110 ELKTON DRIVE, SUITE B
COLORADO SPRINGS, CO 80907

SITE DATA:

NAME OF SUBDIVISION: WATERVIEW EAST
EXISTING ZONING: A-5
PROPOSED ZONING: RS-5000 AND COMMERCIAL
PROPOSED USE: DETACHED SINGLE FAMILY RESIDENTIAL DWELLINGS AND OPEN SPACE
AREA (GROSS): 195.4 ac. (169.3 Residential, 26.1 Commercial)
AREA (NET): 157.6 ac. (131.5 Residential, 23.7 Commercial)
NO. OF RESIDENTIAL LOTS: 713
D.U./ACRES (GROSS): 4.2
D.U./ACRES (NET): 5.4
MINIMUM LOT AREA: 5,000 s.f.
ALLOWED LOT AREA COVERAGE: 40%
STREET PAVEMENT TYPE: BITUMINOUS PAVEMENT (TYPICAL RESIDENTIAL)
SETBACKS:
FRONT: 20' ON ALL LOTS
SIDE: 5' ON ALL LOTS
REAR: 15' ON ALL LOTS
ACCESSORY STRUCTURES (SHEDS, GAZEBOS, ETC.) SHALL HAVE A 5' REAR LOT SETBACK.
BUILDING HEIGHT: 35' MAX.
USES: SINGLE FAMILY DWELLINGS AND ACCESSORY USES INCLUDE ADULT CARE HOME, PARK AND OPEN SPACE AND RESIDENTIAL CHILDCARE FACILITIES SERVING FEWER THAN 9 PERSONS.



LOCATION MAP
SCALE: 1"=1000'

LEGAL DESCRIPTION:

KNOW ALL MEN BY THESE PRESENTS:

THAT WATERVIEW INVESTMENTS LLC, BEING THE OWNER OF THE FOLLOWING DESCRIBED PARCEL OF LAND:

THAT INCLUDES: A TRACT OF LAND LOCATED IN A PORTION OF SECTION 19, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 65th P.M., EL PASO COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 9, A DISTANCE OF 1613.76 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION:
1. THENCE S00°19'32"E CONTINUING ALONG THE NORTH-SOUTH CENTERLINE OF SAID SECTION 9, A DISTANCE OF 3638.37 FEET TO THE SOUTH QUARTER CORNER OF SAID SECTION 9;
2. THENCE S89°33'35"W ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 9, A DISTANCE OF 2495.44 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF POWERS BOULEVARD AS RECORDED IN BOOK 5307 AT PAGE 1472 OF THE RECORDS OF SAID EL PASO COUNTY;
THE FOLLOWING TWO (2) COURSES FOLLOW SAID EASTERLY RIGHT-OF-WAY LINE:
3. THENCE N00°29'10"W A DISTANCE OF 3037.92 FEET TO A POINT OF CURVE TO THE RIGHT;
4. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT WITH A RADIUS OF 150.00 FEET, A DELTA ANGLE OF 87°49'03", AN ARC LENGTH OF 229.91 FEET, WHOSE LONG CHORD BEARS N43°25'21"E A DISTANCE OF 208.05 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF BRADLEY ROAD AS RECORDED IN BOOK 5307 AT PAGE 1472 OF THE RECORDS OF SAID EL PASO COUNTY;
THE FOLLOWING FIVE (5) COURSES FOLLOW SAID SOUTHERLY RIGHT-OF-WAY LINE:
5. THENCE N87°19'53"E A DISTANCE OF 53.06 FEET TO A POINT OF CURVE TO THE LEFT;
6. THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT WITH A RADIUS OF 2969.79 FEET, A DELTA ANGLE OF 12°59'05", AN ARC LENGTH OF 673.03 FEET, WHOSE LONG CHORD BEARS N80°50'20"E A DISTANCE OF 671.59 FEET;
7. THENCE N74°20'48"E A DISTANCE OF 952.02 FEET TO A POINT OF CURVE TO THE RIGHT;
8. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT WITH A RADIUS OF 2759.79 FEET, A DELTA ANGLE OF 15°09'41", AN ARC LENGTH OF 730.29 FEET, WHOSE LONG CHORD BEARS N81°55'38"E A DISTANCE OF 728.16 FEET;
9. THENCE N89°30'29"E A DISTANCE OF 3.77 FEET TO THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION.

THE ABOVE TRACT OF LAND CONTAINS 195.25 ACRES, MORE OR LESS.

SHEET INDEX

1. TITLE SHEET
2. SHEET INDEX
- 3.-9. PRELIMINARY PLAN

DEDICATION & TRACT MAINTENANCE INFORMATION:

TRACTS NOTED BELOW ARE TO BE OWNED AND MAINTAINED BY THE WATERVIEW II METROPOLITAN DISTRICT. THE DISTRICT WILL OWN AND MAINTAIN FACILITIES FOR THE FOLLOWING TRACTS BELOW:

TRACTS A, B, C, D, F AND G: OPEN SPACE, DRAINAGE, ACCESS & UTILITIES (MAY INCLUDE: RECREATIONAL EQUIPMENT, LIGHTS, SIGNAGE, MAIL BOXES AND UTILITIES/DRAINAGE).

TRACTS E AND H: DETENTION PONDS

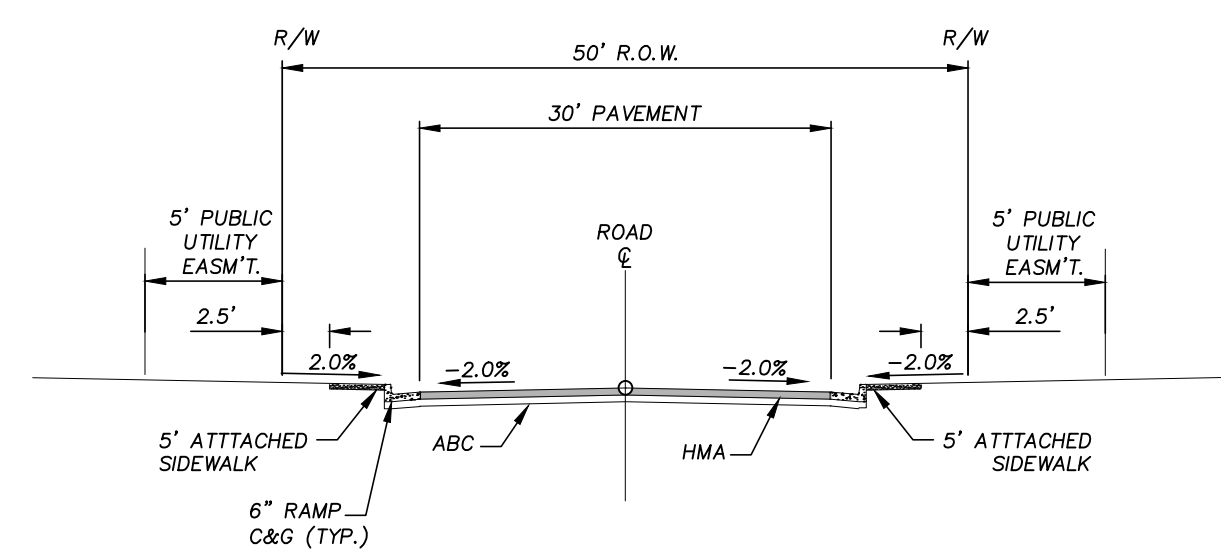
NOTE: ALL TRACTS CAN BE USED FOR PUBLIC UTILITY IMPROVEMENTS.

COLORADO SPRINGS AIRPORT STANDARD NOTES:

1. THE APPLICANT SHALL VOLUNTARILY MAKE A 30-DB REDUCTION IN EXTERIOR NOISE PENETRATION BY SOUNDPROOFING (UTILIZING FAA-RECOMMENDATIONS) CONSTRUCTION TECHNIQUES AND PERFORMED BY A CERTIFIED ACOUSTICAL ENGINEER.
2. THIS SUBDIVISION IS SUBJECT TO AVIGATION EASEMENT AS RECORDED AT RECEPTION #

GENERAL NOTES:

1. UNLESS SHOWN OTHERWISE, ALL SIDE LOT LINES SHALL BE PLATTED WITH A (5') WIDE PUBLIC UTILITY AND DRAINAGE EASEMENT. ALL FRONT AND REAR LOT LINES SHALL HEREBY BE PLATTED WITH A (5') AND (10') WIDE PUBLIC UTILITY AND DRAINAGE EASEMENT RESPECTIVELY. (20') EXTERIOR EASEMENTS SHALL BE PLATTED FOR THE OVERALL RESIDENTIAL BOUNDARY AS SHOWN PER PLAN.
- THE SOLE RESPONSIBILITY FOR MAINTENANCE OF THESE EASEMENTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNER(S).
2. ALL STRUCTURAL FOUNDATIONS SHALL BE LOCATED AND DESIGNED BY A PROFESSIONAL ENGINEER WHO IS CURRENTLY REGISTERED IN THE STATE OF COLORADO.
3. BEFORE CONSTRUCTION REFER TO THE GEOLOGIC HAZARD STUDY PREPARED BY ENTECH ENGINEERING INC. COMMON HAZARDS WILL BE MITIGATED THROUGH SITE GRADING TECHNIQUES.
4. PUBLIC IMPROVEMENTS TO BE GUARANTEED BY METHODS DESCRIBED BY THE ENGINEERING CRITERIA MANUAL AND SHALL BE GUARANTEED WITH A LETTER OF CREDIT IF APPLICABLE.
5. NO PART OF THIS PROPERTY FALLS IN THE 500 YEAR FLOOD PLAIN (EST. BY FEMA). NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED AND APPROVED IN WRITING TO BE ACCEPTABLE.
7. THERE WILL BE A 10' LANDSCAPE SETBACK ON ALL NON-ARTERIAL STREETS AS STATED IN CODE NUMBER 35.12.
8. BUILDERS ARE STRONGLY ENCOURAGED TO PROVIDE INDUSTRY STANDARD SOUND PROOFING MATERIALS FOR HOMES BUILT IN AREAS IMPACTED BY NOISE CAUSED BY AIRCRAFT OPERATIONS.
9. THE DEVELOPER, HOME BUILDERS AND HOA SHALL TRY TO THE BEST OF THEIR ABILITIES TO INCORPORATE THE COLORADO DIVISION OF WILDLIFE RECOMMENDATIONS FOR GARBAGE CONTAINMENT, WEED CONTROL AND RIPARIAN/WETLAND PROTECTION/BUFFER ZONES (CONTACT NUMBER:303-2097-1192)
10. THE WIDEFIELD WATER AND SANITATION DISTRICT HAS APPROVED 713 LOTS FOR THE WATERVIEW EAST DEVELOPMENT. THE DEVELOPER SHALL OBTAIN WRITTEN AUTHORIZATION FROM THE WATER DISTRICT AND SANITATION DISTRICT PRIOR TO PLATTING OVER 713 LOTS.
11. NOISE MITIGATION ALONG POWERS BOULEVARD WILL BE ACHIEVED BY A SOIL BERM.
12. ALL SIGHT TRIANGLES WILL BE CREATED BY ROW DEDICATION.
13. LANDSCAPING ALONG POWERS BOULEVARD WITHIN THE BUFFER WILL UTILIZE XERISCAPE PLANTS FROM THE EL PASO COUNTY XERISCAPE PLANT LIST.



TYPICAL SECTION
(URBAN LOCAL ROADWAY)
SCALE : N.T.S.

1. COUNTY STANDARD BASE COURSE-REFER TO THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL STANDARD SPECIFICATIONS.
2. SUBGRADE COMPACTED IN ACCORDANCE WITH EL PASO COUNTY STANDARD.
3. REFER TO COUNTY SUBDIVISION POLICY MANUAL FOR REQUIRED ROW AND STREET WIDTHS AND OTHER STREET SECTIONS.
4. REFER TO EL PASO COUNTY STANDARD DETAILS FOR CURB AND GUTTER.
5. CUL-DE-SAC DESIGN STANDARDS PER EL PASO COUNTY ENGINEERING CRITERIA MANUAL STANDARD SPECIFICATIONS.

Computer File Information		Index of Revisions		 Stantec Stantec Consulting Inc. 1110 Elkton Drive Suite B Colorado Springs, CO 80907 Tel. (719) 432-6889 Fax. www.stantec.com	WATERVIEW EAST PRELIMINARY PLAN		Project No./Code	
Creation Date: 2-27-17	Initials: CMD						181710214	
Last Modification Date: 4-3-17	Initials: BG			Designer: BG	Structure Numbers			
Full Path & Drawing File Name: V:\1817\active\181710214\CAD\Plansheets				Detailer: PF				
Title Sheet				Sheet Subset:				
Acad Ver. 2014	Scale: see plan	Units: Feet				Sheet Number 1 of 9		



Computer File Information	
Creation Date: 2-27-17	Initials: CMD
Last Modification Date: 4-3-17	Initials: BG
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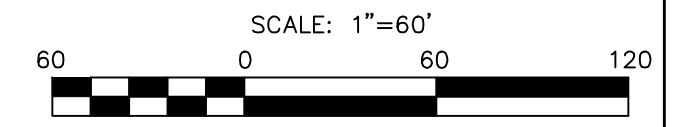
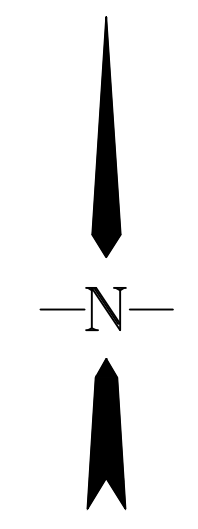
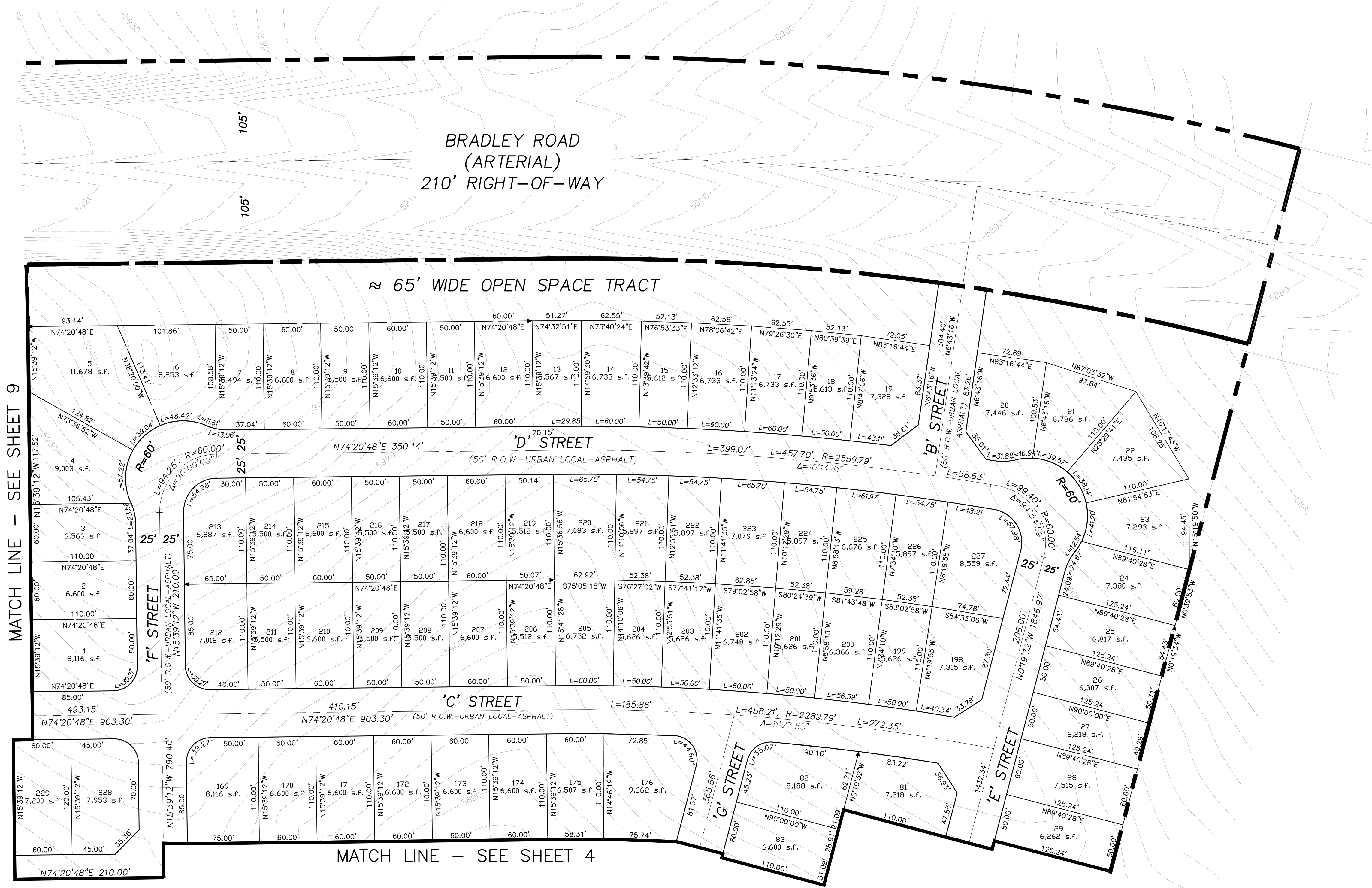
Index of Revisions	

EL PASO COUNTY
COLORADO

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WATERVIEW EAST PRELIMINARY PLAN INDEX MAP		
Designer: BG	Structure Numbers	
Detailer: PF		
Sheet Subset:		

Project No./Code	181710214
Sheet Number	2 of 9



MATCH LINE - SEE SHEET 9

MATCH LINE - SEE SHEET 4

Computer File Information	
Creation Date: 2-27-17	Initials: CMD
Last Modification Date: 4-3-17	Initials: BG
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Index of Revisions	



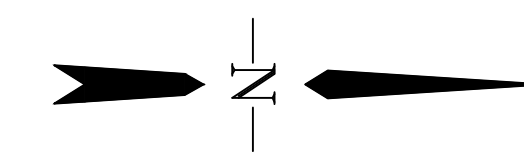
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WATERVIEW EAST PRELIMINARY PLAN	
Designer: CMD/BG	Structure Numbers
Detailer: PF/BG	
Sheet Subset:	

Project No./Code	181710214
Sheet Number	3 of 9

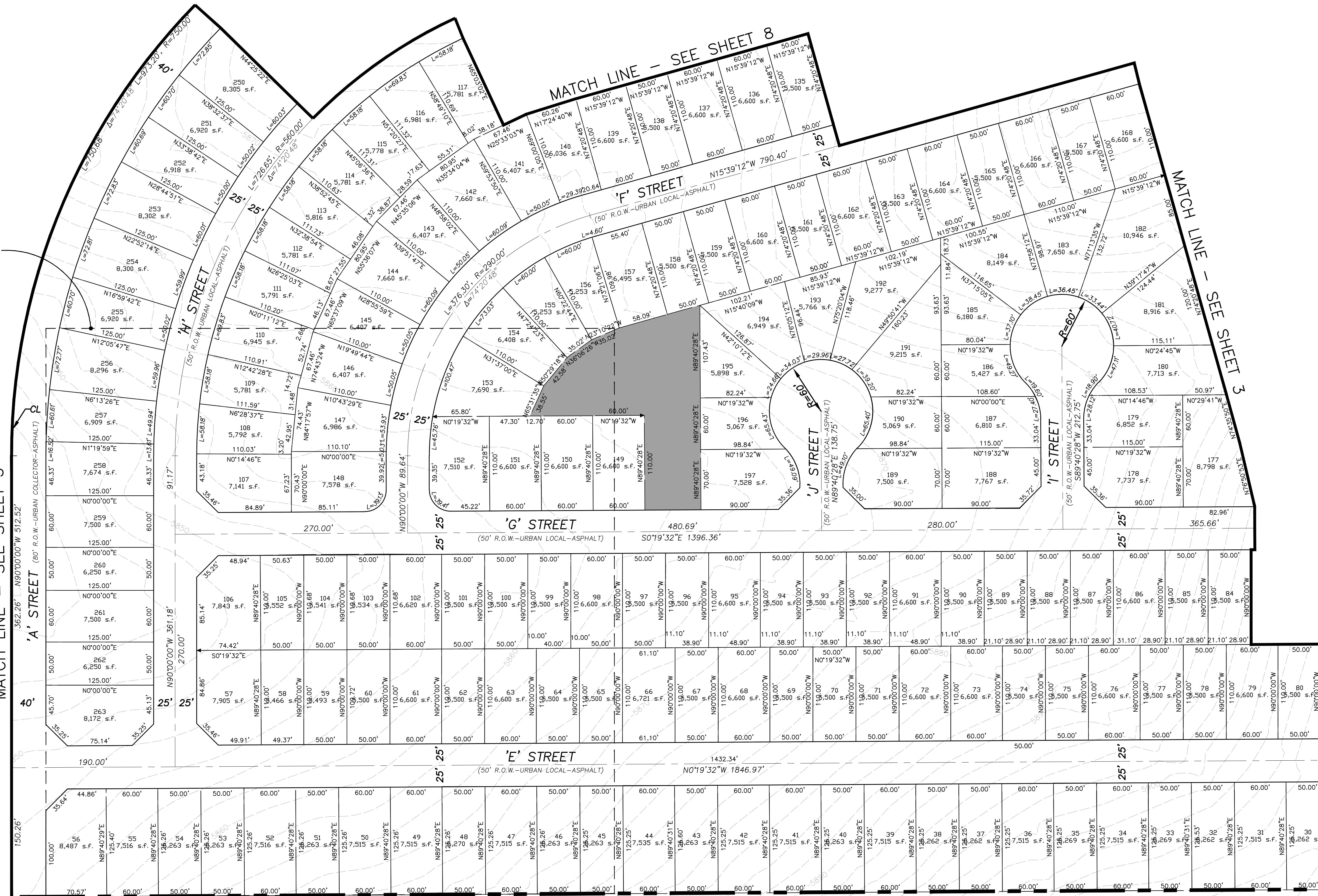


POTENTIAL SCHOOL SITE (10 ACRES)

MATCH LINE - SEE SHEET 8

MATCH LINE - SEE SHEET 3

MATCH LINE - SEE SHEET 5



Computer File Information

Creation Date: 2-27-17	Initials: CMD
Last Modification Date: 4-3-17	Initials: BG
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Index of Revisions

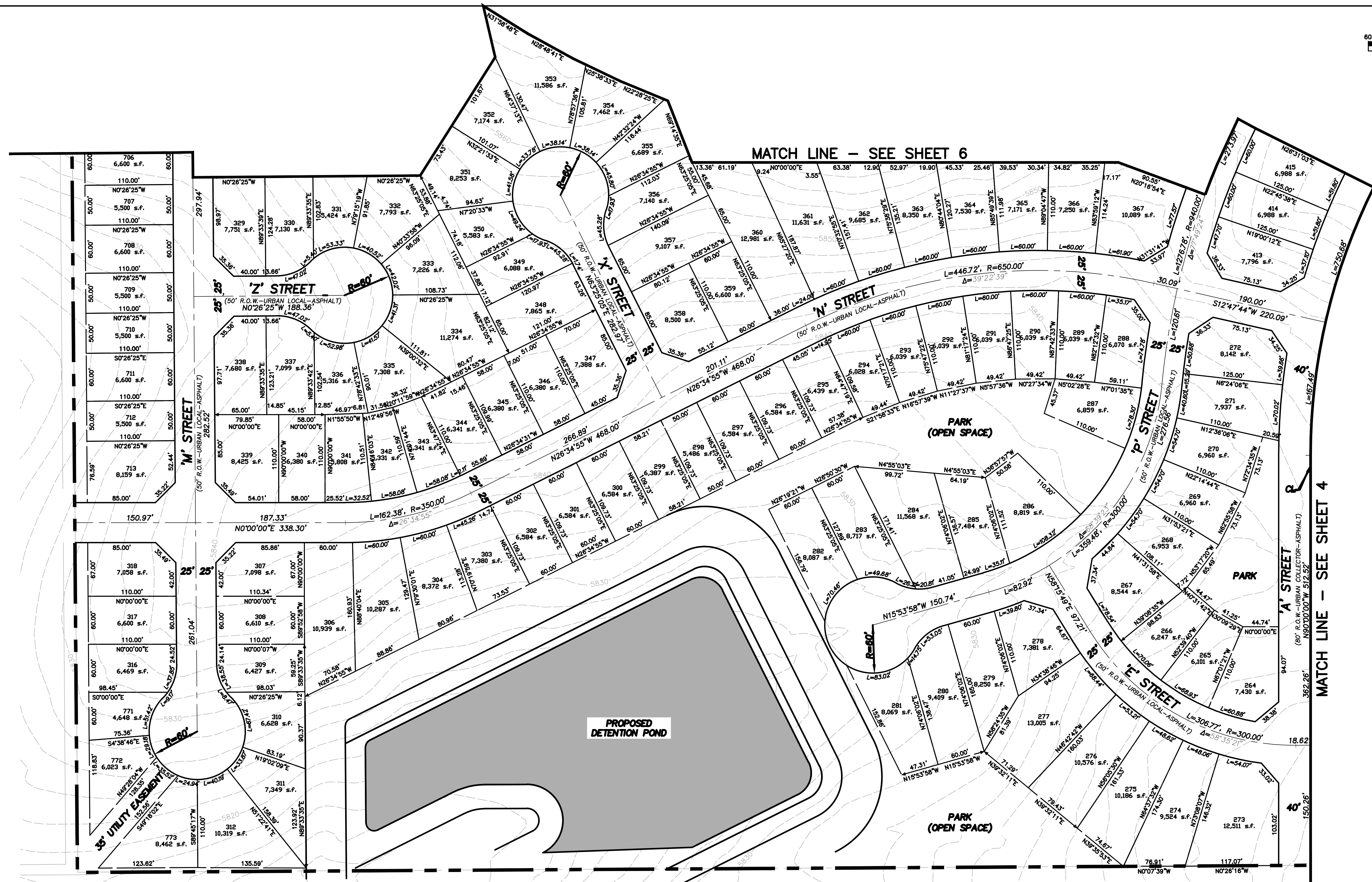


WATERVIEW EAST PRELIMINARY PLAN

Designer: CMD/BG	Structure Numbers
Detailer: PF/BG	
Sheet Subset:	

Project No./Code
181710214

Sheet Number 4 of 9



Computer File Information	
Creation Date: 2-27-17	Initials: CMD
Last Modification Date: 4-3-17	Initials: BG
Full Path & Drawing File Name: V:\1817\active\181710214\CAD\Plansheets Title Sheet	
Acad Ver. 2014	Scale: see plan Units: Feet

Index of Revisions	

EL PASO COUNTY
COLORADO

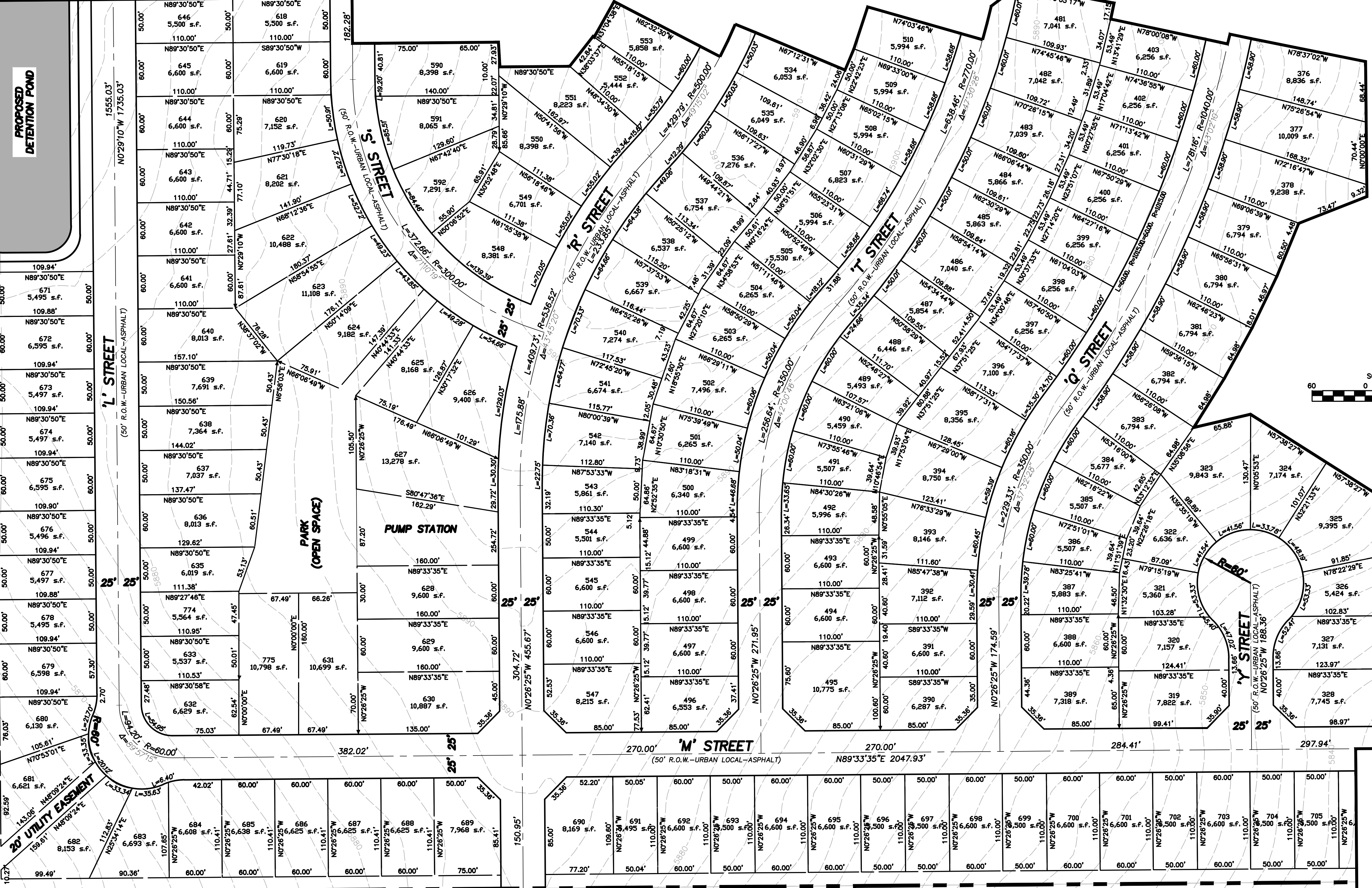
Stantec
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Colorado Springs, CO 80907
Tel. (719) 432-6889
Fax.
www.stantec.com

WATERVIEW EAST PRELIMINARY PLAN	
Designer: CMD/BG	Structure Numbers
Detailer: PF/BG	
Sheet Subst:	

Project No./Code	181710214
Sheet Number	5 of 9

MATCH LINE - SEE SHEET 7

POWERS BLVD.
(ARTERIAL)
120' RIGHT-OF-WAY



MATCH LINE - SEE SHEET 5

Computer File Information

Creation Date: 2-27-17	Initials: CMD
Last Modification Date: 4-3-17	Initials: BG
Full Path & Drawing File Name: V:\1817\active\181710214\CAD\Plansheets Title Sheet	
Acad Ver. 2014	Scale: see plan Units: Feet

Index of Revisions

EL PASO COUNTY COLORADO

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WATERVIEW EAST
PRELIMINARY PLAN

Designer: CMD/BG	Structure Numbers
Detailer: PF/BG	
Sheet Subst:	

Project No./Code	181710214
Sheet Number	6 of 9

POWERS BLVD.
(ARTERIAL)
120' RIGHT-OF-WAY

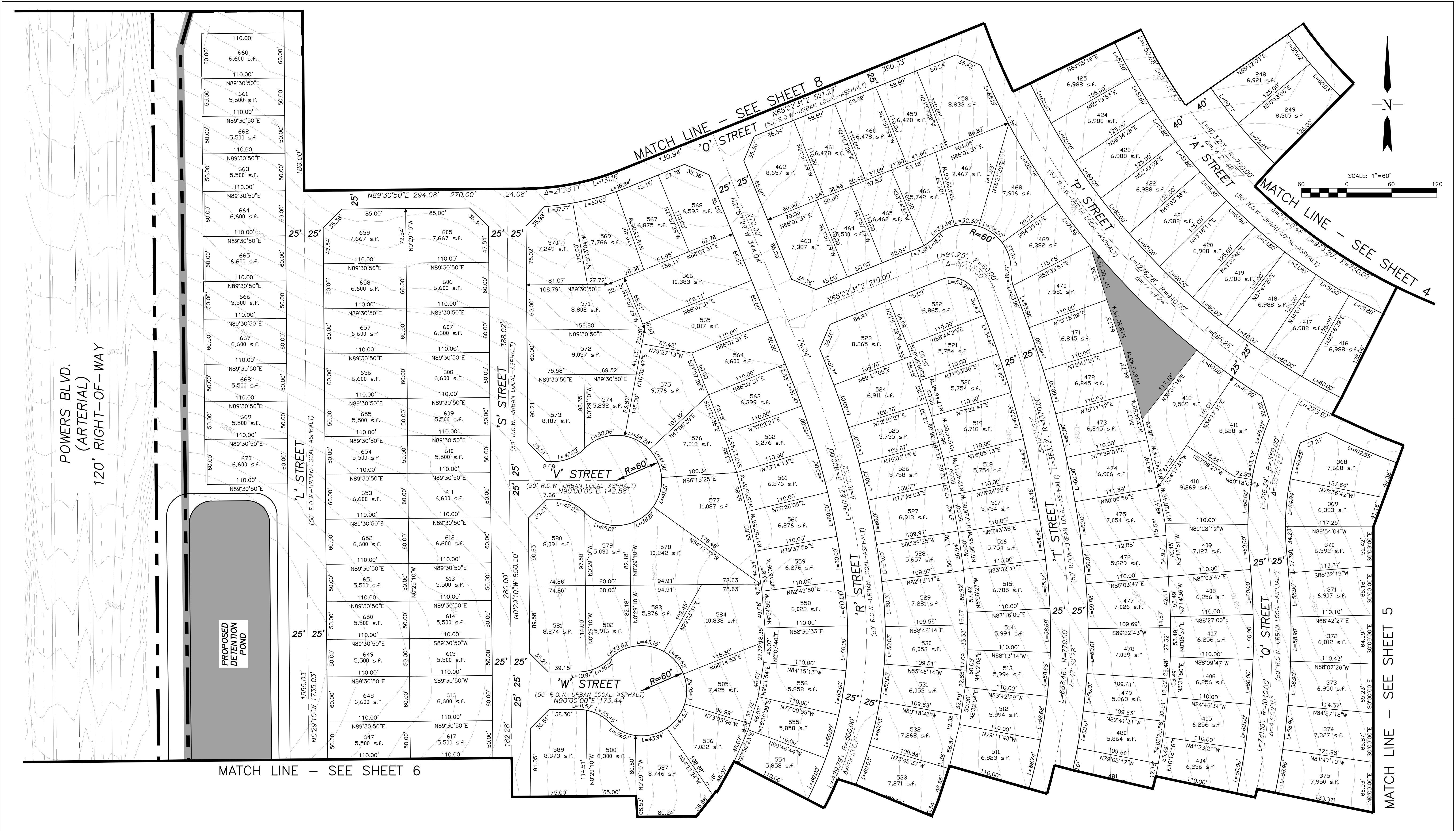
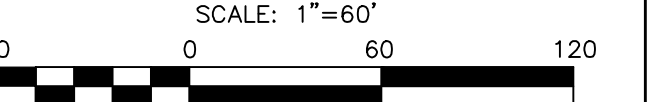
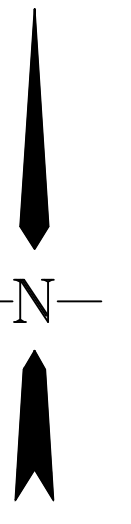
PROPOSED
DETENTION
POND

MATCH LINE - SEE SHEET 8

MATCH LINE - SEE SHEET 4

MATCH LINE - SEE SHEET 6

MATCH LINE - SEE SHEET 5



Computer File Information	
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Last Modification Date: 4-3-17	Initials: BG
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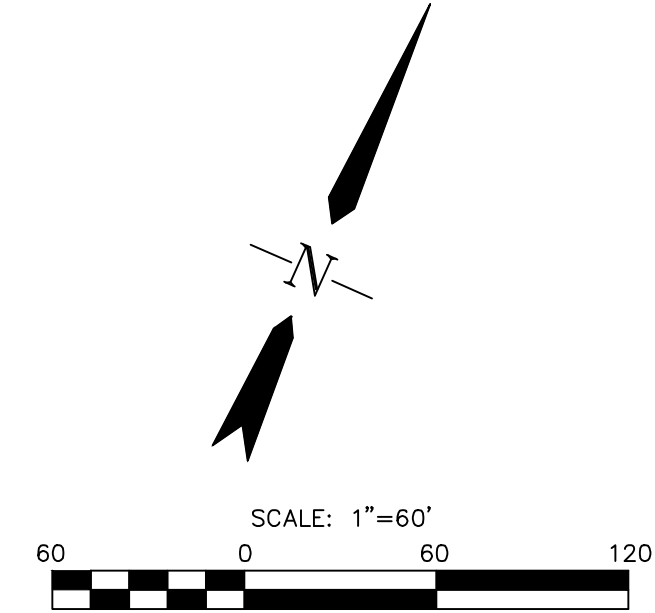
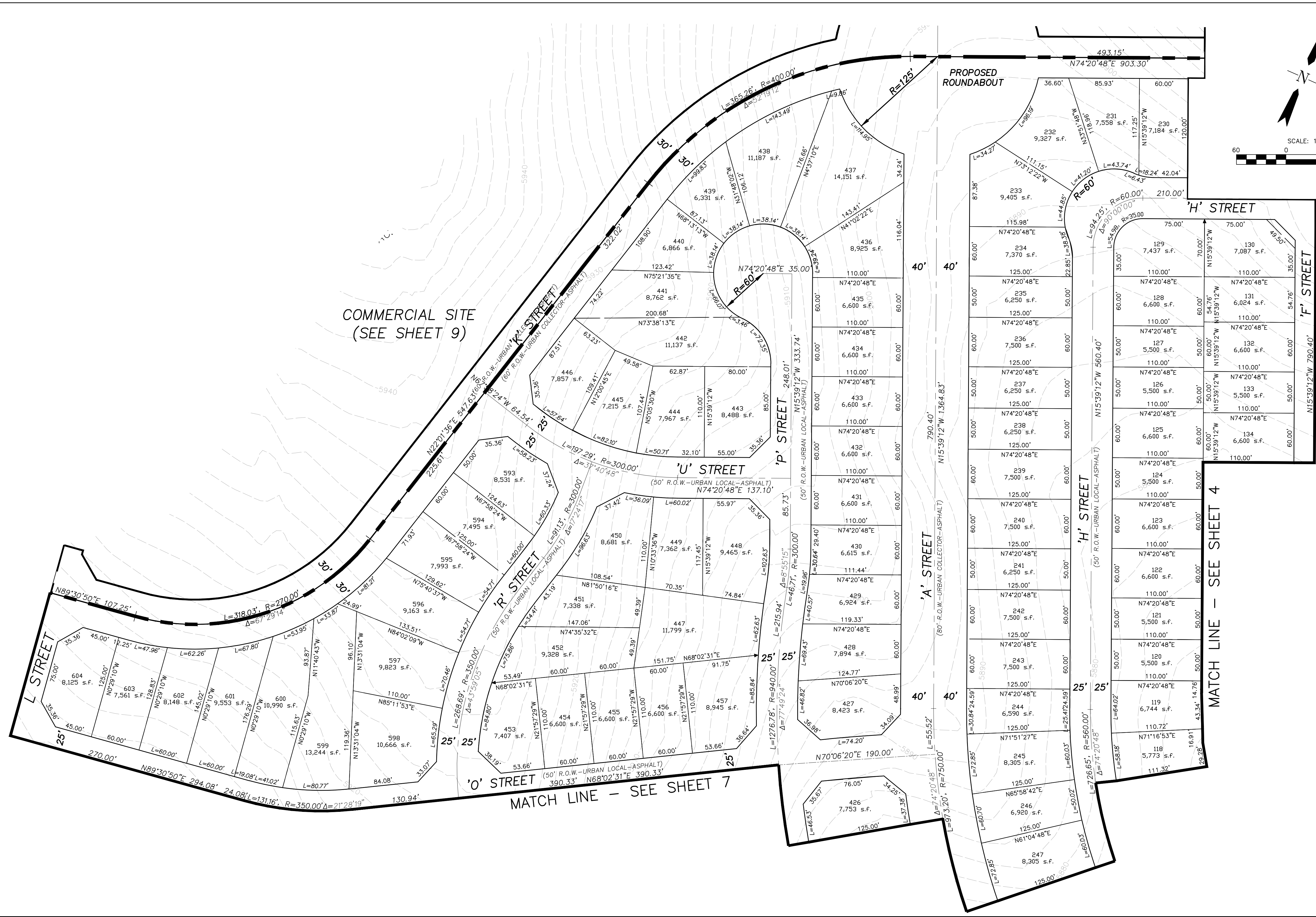
Index of Revisions	

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WATERVIEW EAST PRELIMINARY PLAN	
Designer: CMD/BG	Structure Numbers
Sheet Subset:	

Project No./Code
181710214
Sheet Number 7 of 9



Computer File Information	
Creation Date: 2-27-17	Initials: CMD
Last Modification Date: 4-3-17	Initials: BG
Full Path & Drawing File Name: V:\1817\active\181710214\CAD\Plansheets Title Sheet	
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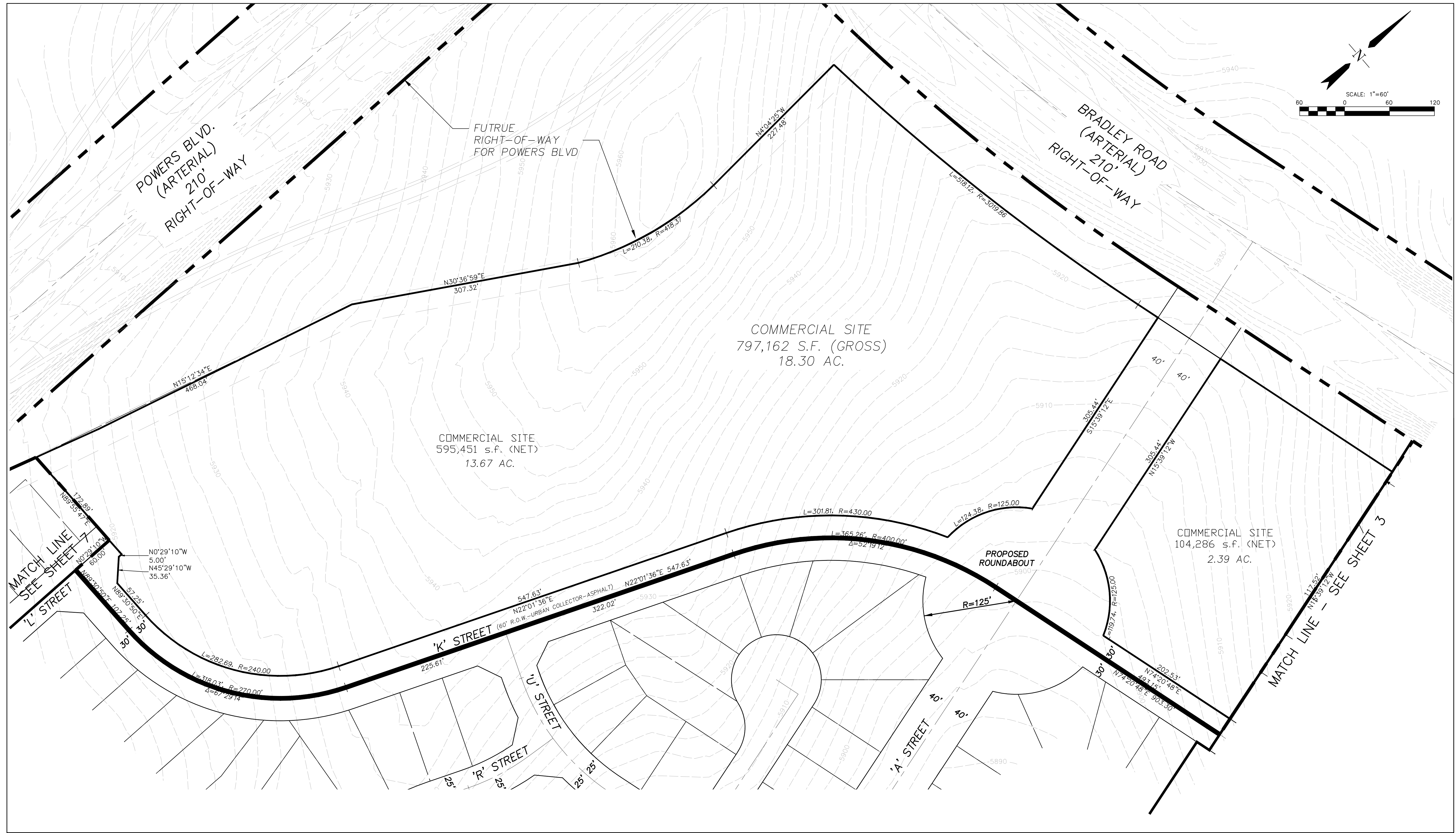
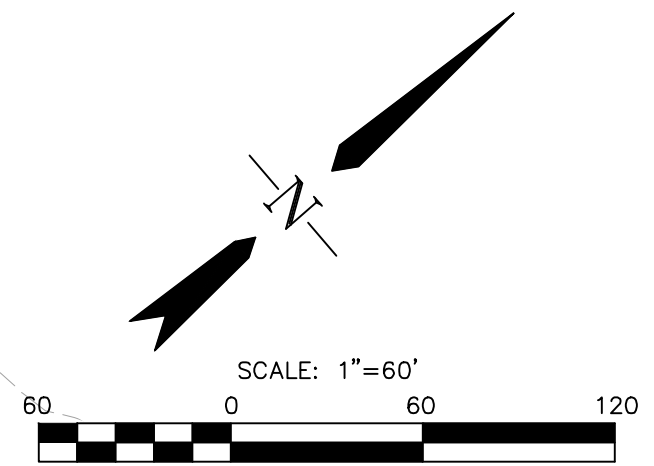
Index of Revisions	

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WATERVIEW EAST PRELIMINARY PLAN	
Designer: CMD/BG	Structure Numbers
Sheet Subset:	

Project No./Code	181710214
Sheet Number	8 of 9



Computer File Information	
Creation Date: 2-27-17	Initials: CMD
Last Modification Date: 4-3-17	Initials: BG
Full Path & Drawing File Name: V:\1817\active\181710214\CAD\Plansheets Title Sheet	
Acad Ver. 2014	Scale: see plan Units: Feet

Index of Revisions	

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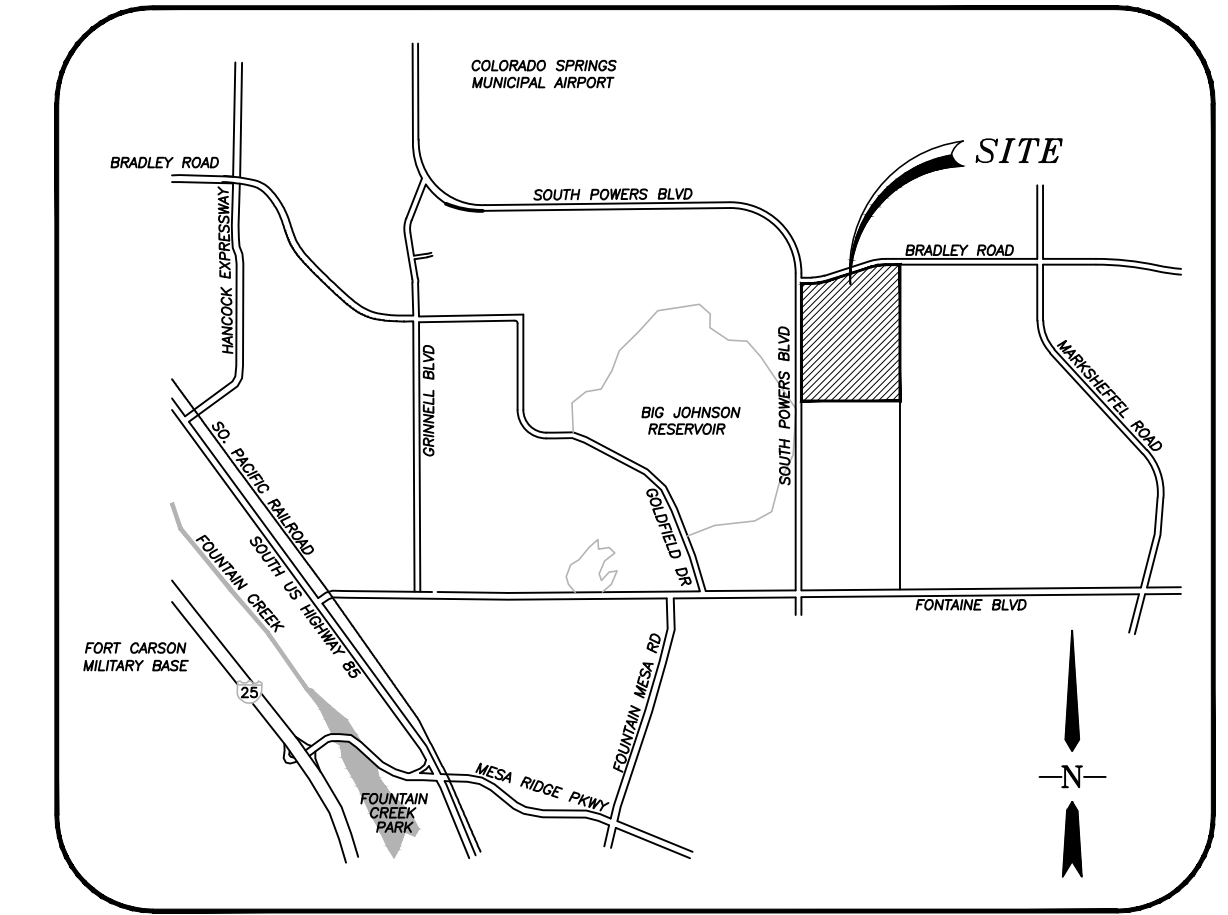
WATERVIEW EAST PRELIMINARY PLAN	
Designer: CMD/BG	Structure Numbers
Detailer: PF/BG	
Sheet Subset:	

Project No./Code	181710214
Sheet Number	9 of 9

TOTAL LOTS: 713
TOTAL TRACTS: 10

WATERVIEW EAST GRADING AND EROSION CONTROL PLAN

LOCATED IN THE NW 1/4 OF SECTION 7, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO



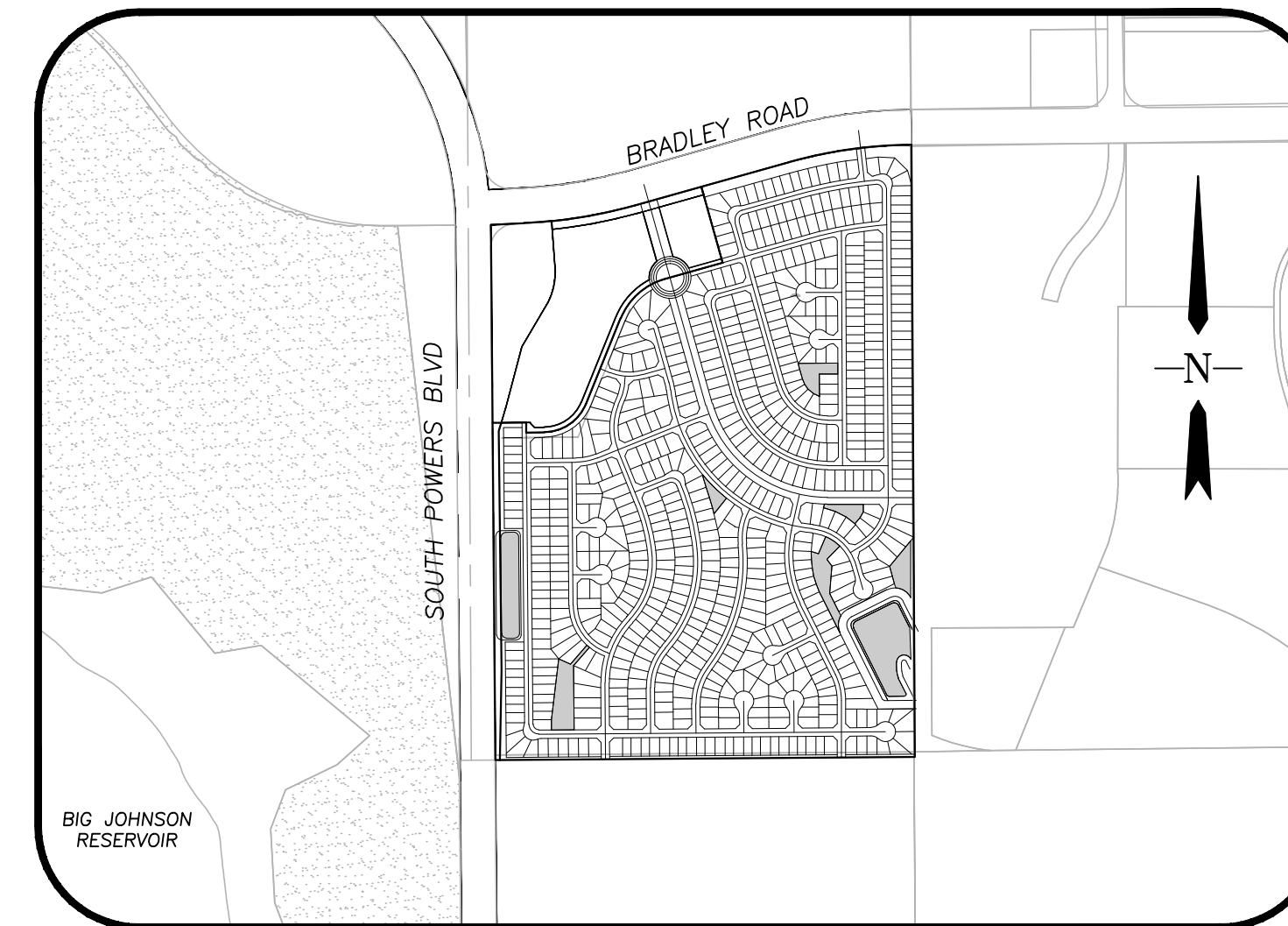
VICINITY MAP
N.T.S.

LAND OWNER:
RANKIN HOLDINGS LP
EUGENIA M & BASIL E. TRUST
JUDY R. TIMM
630 SOUTHPOINTE CT., SUITE 200
COLORADO SPRINGS, CO 80903

SUBDIVIDER/PETITIONER:
CPR ENTITLEMENT, LLC
31 N. TEJON ST., SUITE 500
COLORADO SPRINGS, CO 80903

PLAN PREPARED BY:
STANTEC
1110 ELKTON DRIVE, SUITE B
COLORADO SPRINGS, CO 80907

SITE DATA:
NAME OF SUBDIVISION: WATERVIEW EAST
EXISTING ZONING: A-5
PROPOSED ZONING: RS-5000 AND COMMERCIAL
PROPOSED USE: DETACHED SINGLE FAMILY RESIDENTIAL DWELLINGS AND OPEN SPACE
AREA (GROSS): 195.4 ac. (169.3 Residential, 26.1 Commercial)
AREA (NET): 157.6 ac. (131.5 Residential, 23.7 Commercial)
NO. OF RESIDENTIAL LOTS: 713
D.U./ACRES (GROSS): 4.2
D.U./ACRES (NET): 5.4
MINIMUM LOT AREA: 5,000 s.f.
ALLOWED LOT AREA COVERAGE: 40%
STREET PAVEMENT TYPE: BITUMINOUS PAVEMENT (TYPICAL RESIDENTIAL)
SETBACKS:
FRONT: 20' ON ALL LOTS
SIDE: 5' ON ALL LOTS
REAR: 15' ON ALL LOTS
ACCESSORY STRUCTURES (SHEDS, GAZEBO, ETC.) SHALL HAVE A 5' REAR LOT SETBACK.
BUILDING HEIGHT: 35' MAX.
USES: SINGLE FAMILY DWELLINGS AND ACCESSORY USES INCLUDE ADULT CARE HOME, PARK AND OPEN SPACE AND RESIDENTIAL CHILDCARE FACILITIES SERVING FEWER THAN 9 PERSONS.



LOCATION MAP
SCALE: 1"=1000'

GENERAL NOTES:

- UNLESS SHOWN OTHERWISE, ALL SIDE LOT LINES SHALL BE PLATTED WITH A (5') WIDE PUBLIC UTILITY AND DRAINAGE EASEMENT. ALL FRONT AND REAR LOT LINES SHALL HEREBY BE PLATTED WITH A (5') AND (10') WIDE PUBLIC UTILITY AND DRAINAGE EASEMENT RESPECTIVELY. (20') EXTERIOR EASEMENTS SHALL BE PLATTED FOR THE OVERALL RESIDENTIAL BOUNDARY AS SHOWN PER PLAN.
- THE SOLE RESPONSIBILITY FOR MAINTENANCE OF THESE EASEMENTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNER(S).
- ALL STRUCTURAL FOUNDATIONS SHALL BE LOCATED AND DESIGNED BY A PROFESSIONAL ENGINEER WHO IS CURRENTLY REGISTERED IN THE STATE OF COLORADO.
- BEFORE CONSTRUCTION REFER TO THE GEOLOGIC HAZARD STUDY PREPARED BY ENTECH ENGINEERING, MARCH 15, 2017. COMMON HAZARDS WILL BE MITIGATED THROUGH SITE GRADING TECHNIQUES.
- PUBLIC IMPROVEMENTS TO BE GUARANTEED BY METHODS DESCRIBED BY THE ENGINEERING CRITERIA MANUAL AND SHALL BE GUARANTEED WITH A LETTER OF CREDIT IF APPLICABLE.
- NO PART OF THIS PROPERTY FALLS IN THE 500 YEAR FLOOD PLAIN (EST. BY FEMA).
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED AND APPROVED IN WRITING TO BE ACCEPTABLE.
- THERE WILL BE A 10' LANDSCAPE SETBACK ON ALL NON-ARTERIAL STREETS AS STATED IN CODE NUMBER 35.12.
- BUILDERS ARE STRONGLY ENCOURAGED TO PROVIDE INDUSTRY STANDARD SOUND PROOFING MATERIALS FOR HOMES BUILT IN AREAS IMPACTED BY NOISE CAUSED BY AIRCRAFT OPERATIONS.
- THE DEVELOPER, HOME BUILDERS AND HOA SHALL TRY TO THE BEST OF THEIR ABILITIES TO INCORPORATE THE COLORADO DIVISION OF WILDLIFE RECOMMENDATIONS FOR GARBAGE CONTAINMENT, WEED CONTROL AND RIPARIAN/WETLAND PROTECTION/BUFFER ZONES (CONTACT NUMBER: 303-297-1192).
- NOISE MITIGATION ALONG POWERS BOULEVARD WILL BE ACHIEVED BY A SOIL BERM.
- WIDEFIELD WATER AND SANITATION DISTRICT HAS ANNEXED THIS PROPERTY INTO THE SERVICE AREA FOR WATER AND SANITARY SEWER SERVICE.

DEDICATION & TRACT MAINTENANCE INFORMATION:

TRACTS NOTED BELOW ARE TO BE OWNED AND MAINTAINED BY THE WATERVIEW II METROPOLITAN DISTRICT. THE DISTRICT WILL OWN AND MAINTAIN FACILITIES FOR THE FOLLOWING TRACTS:

- TRACTS A THRU H: OPEN SPACE, DRAINAGE, ACCESS & UTILITIES (MAY INCLUDE: RECREATIONAL EQUIPMENT, LIGHTS, SIGNAGE, MAIL BOXES AND UTILITIES/DRAINAGE)

NOTE: TRACTS A THRU H CAN BE USED FOR PUBLIC UTILITY IMPROVEMENTS.

COLORADO SPRINGS AIRPORT STANDARD NOTES:

- THE APPLICANT SHALL VOLUNTARILY MAKE A 30-DB REDUCTION IN EXTERIOR NOISE PENETRATION BY SOUNDPROOFING (UTILIZING FAA-RECOMMENDATIONS) CONSTRUCTION TECHNIQUES AND PERFORMED BY A CERTIFIED ACOUSTICAL ENGINEER.
- THIS SUBDIVISION IS SUBJECT TO AVIGATION EASEMENT AS RECORDED AT RECEPTION #

LEGAL DESCRIPTION:

KNOW ALL MEN BY THESE PRESENTS:

THAT WATERVIEW INVESTMENTS LLC, BEING THE OWNER OF THE FOLLOWING DESCRIBED PARCEL OF LAND:

THAT INCLUDES: A TRACT OF LAND LOCATED IN A PORTION OF SECTION 19, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 65th P.M., EL PASO COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

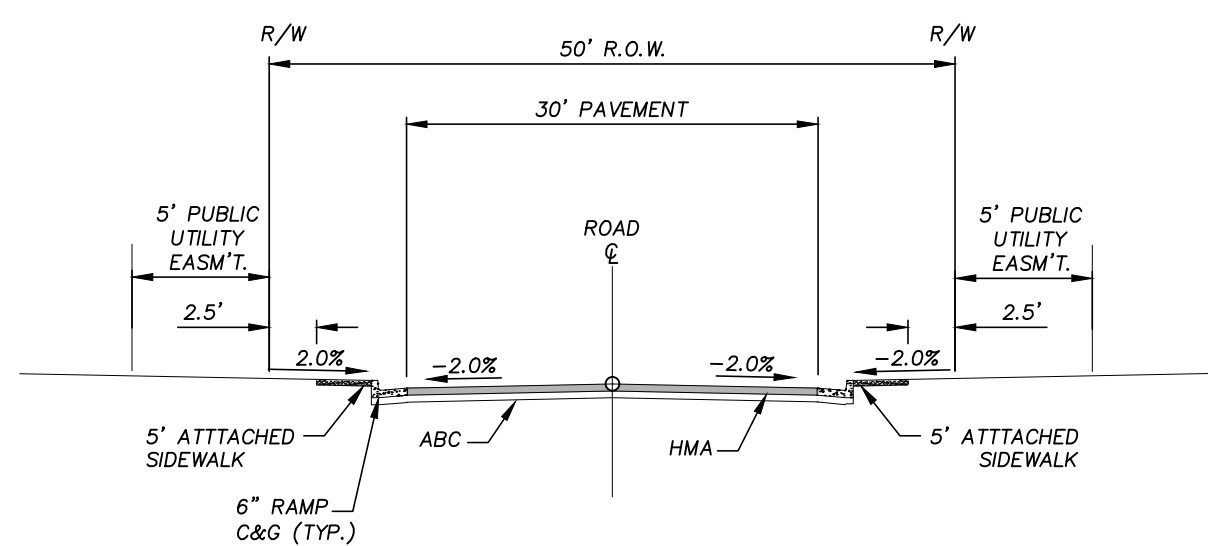
COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 9, A DISTANCE OF 1613.76 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION:

- THENCE S00°19'32"E CONTINUING ALONG THE NORTH-SOUTH CENTERLINE OF SAID SECTION 9, A DISTANCE OF 3636.37 FEET TO THE SOUTH QUARTER CORNER OF SAID SECTION 9;
- THENCE S89°33'35"W ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 9, A DISTANCE OF 2495.44 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF POWERS BOULEVARD AS RECORDED IN BOOK 5307 AT PAGE 1472 OF THE RECORDS OF SAID EL PASO COUNTY;
- THE FOLLOWING TWO (2) COURSES FOLLOW SAID EASTERLY RIGHT-OF-WAY LINE:
1. THENCE N00°29'10"W A DISTANCE OF 3037.92 FEET TO A POINT OF CURVE TO THE RIGHT;
2. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT WITH A RADIUS OF 150.00 FEET, A DELTA ANGLE OF 87°49'03", AN ARC LENGTH OF 229.91 FEET, WHOSE LONG CHORD BEARS N43°25'21"E A DISTANCE OF 208.05 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF BRADLEY ROAD AS RECORDED IN BOOK 5307 AT PAGE 1472 OF THE RECORDS OF SAID EL PASO COUNTY;
- THE FOLLOWING FIVE (5) COURSES FOLLOW SAID SOUTHERLY RIGHT-OF-WAY LINE:
1. THENCE N87°19'53"E A DISTANCE OF 53.06 FEET TO A POINT OF CURVE TO THE LEFT;
2. THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT WITH A RADIUS OF 2969.79 FEET, A DELTA ANGLE OF 12°59'05", AN ARC LENGTH OF 673.03 FEET, WHOSE LONG CHORD BEARS N80°50'20"E A DISTANCE OF 671.59 FEET;
3. THENCE N74°20'48"E A DISTANCE OF 952.02 FEET TO A POINT OF CURVE TO THE RIGHT;
4. THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT WITH A RADIUS OF 2759.79 FEET, A DELTA ANGLE OF 15°09'41", AN ARC LENGTH OF 730.29 FEET, WHOSE LONG CHORD BEARS N81°55'38"E A DISTANCE OF 728.16 FEET;
5. THENCE N89°30'29"E A DISTANCE OF 3.77 FEET TO THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION.

THE ABOVE TRACT OF LAND CONTAINS 195.25 ACRES, MORE OR LESS.

SHEET INDEX

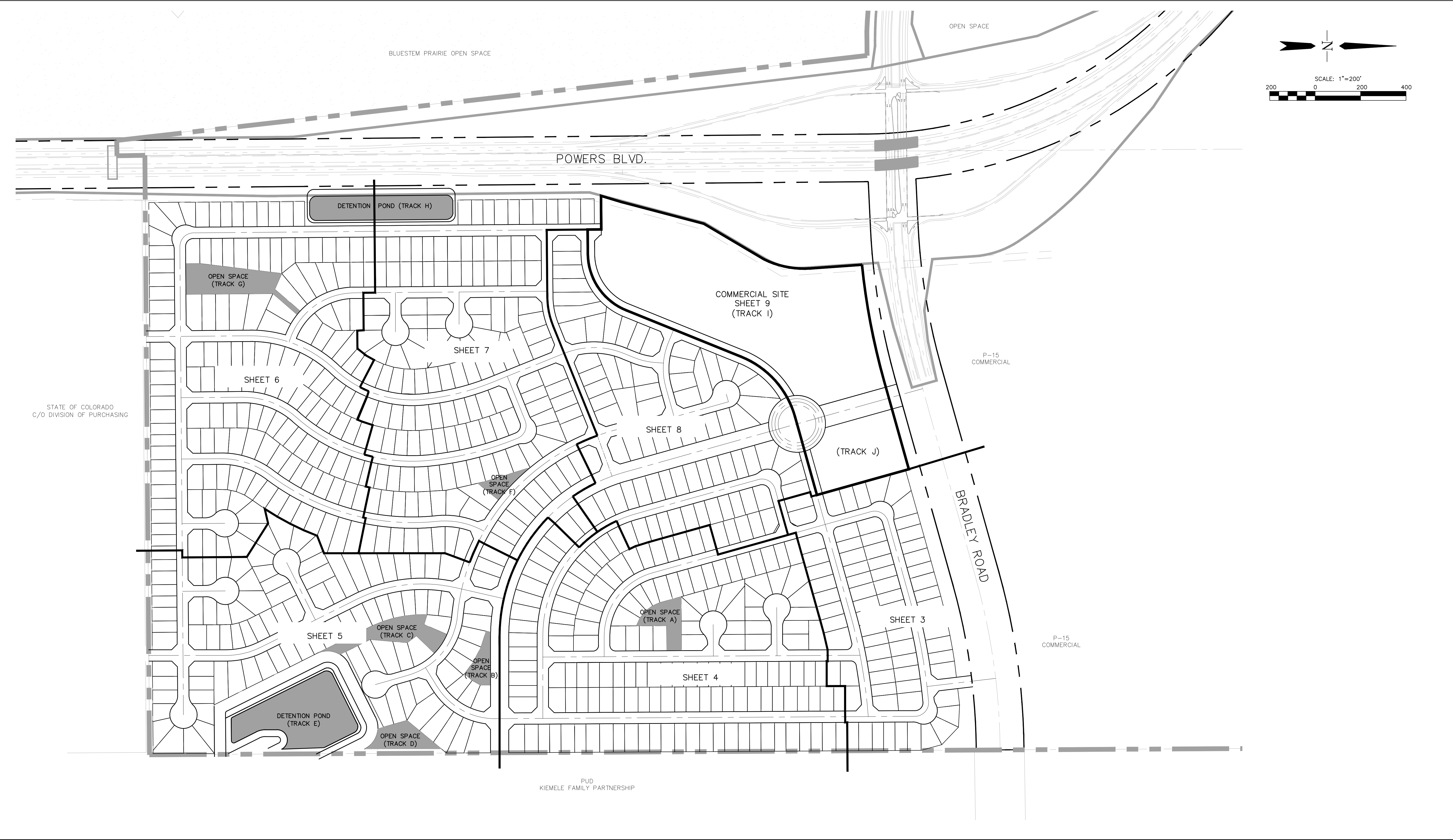
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- INDEX MAP
- GRADING PLAN (1 OF 7)
- GRADING PLAN (2 OF 7)
- GRADING PLAN (3 OF 7)
- GRADING PLAN (4 OF 7)
- GRADING PLAN (5 OF 7)
- GRADING PLAN (6 OF 7)
- GRADING PLAN (7 OF 7)
- GRADING AND EROSION CONTROL NOTES AND DETAILS
- WEST DETENTION POND PLAN
- WEST DETENTION POND DETAILS
- EAST DETENTION POND PLANS
- EAST DETENTION POND DETAILS



TYPICAL SECTION
(URBAN LOCAL ROADWAY)
SCALE : N.T.S.

- COUNTY STANDARD BASE COURSE-REFER TO THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL STANDARD SPECIFICATIONS.
- SUBGRADE COMPACTED IN ACCORDANCE WITH EL PASO COUNTY STANDARD.
- REFER TO COUNTY SUBDIVISION POLICY MANUAL FOR REQUIRED ROW AND STREET WIDTHS AND OTHER STREET SECTIONS.
- REFER TO EL PASO COUNTY STANDARD DETAILS FOR CURB AND GUTTER.
- CUL-DE-SAC DESIGN STANDARDS PER EL PASO COUNTY ENGINEERING CRITERIA MANUAL STANDARD SPECIFICATIONS.

Computer File Information		Index of Revisions		 	WATERVIEW EAST GRADING AND EROSION CONTROL PLAN		Project No./Code
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Acad Ver. 2014	Scale: see plan	<input type="checkbox"/>	<input type="checkbox"/>	Sheet Subset:		Sheet Number 1 of 14	



STATE OF COLORADO
C/O DIVISION OF PURCHASING

PUD
KIEMELE FAMILY PARTNERSHIP

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Creation Date: 4-3-17	Initials: CMD
Last Modification Date: 4-3-17	Initials: BG
Full Path & Drawing File Name: V:\1817\active\181710214\CAD\Plansheets Grading Plan	
Acad Ver. 2014	Scale: see plan Units: Feet

Index of Revisions	
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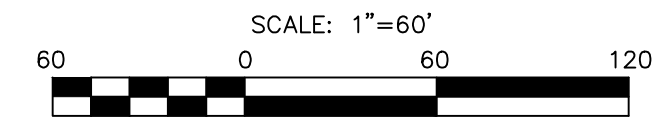
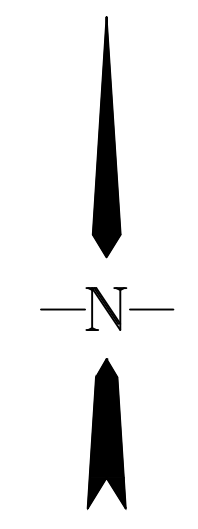
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COLORADO



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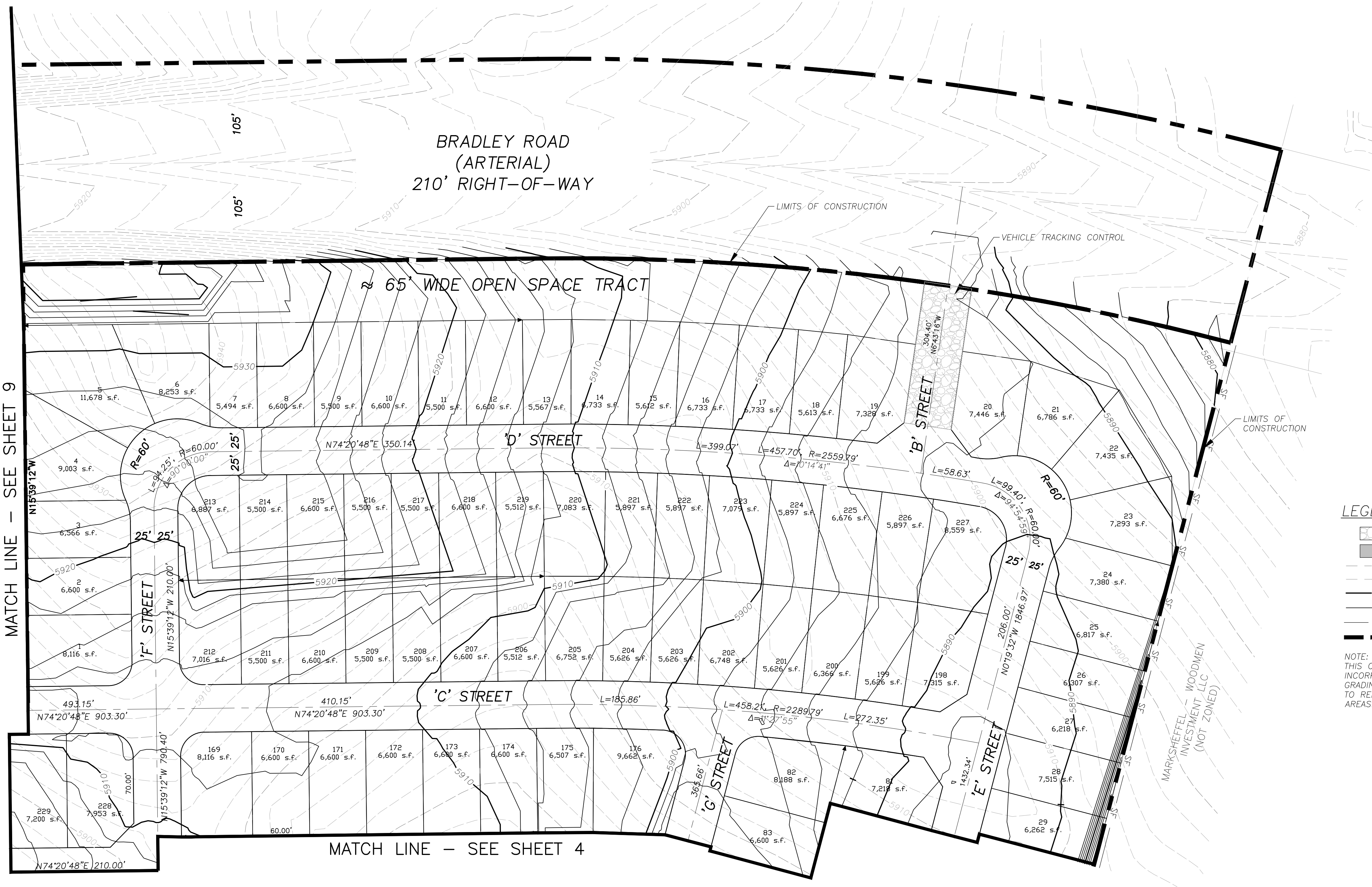
Project No./Code	181710214
Sheet Number	2 of 14



COMMERCIAL SITE

MATCH LINE - SEE SHEET 9

MATCH LINE - SEE SHEET 4



- LEGEND**
- VEHICLE TRACKING CONTROL
 - OPEN SPACE
 - 6595 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - 6595 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - SF - SILT FENCE
 - LIMITS OF CONSTRUCTION

NOTE: THIS OVERLOT GRADING PLAN DOES NOT INCORPORATE ANY RETAINING WALLS. FINAL GRADING WILL INCORPORATE RETAINING WALLS TO REDUCE STEEP OR EXCESSIVE SLOPE AREAS.

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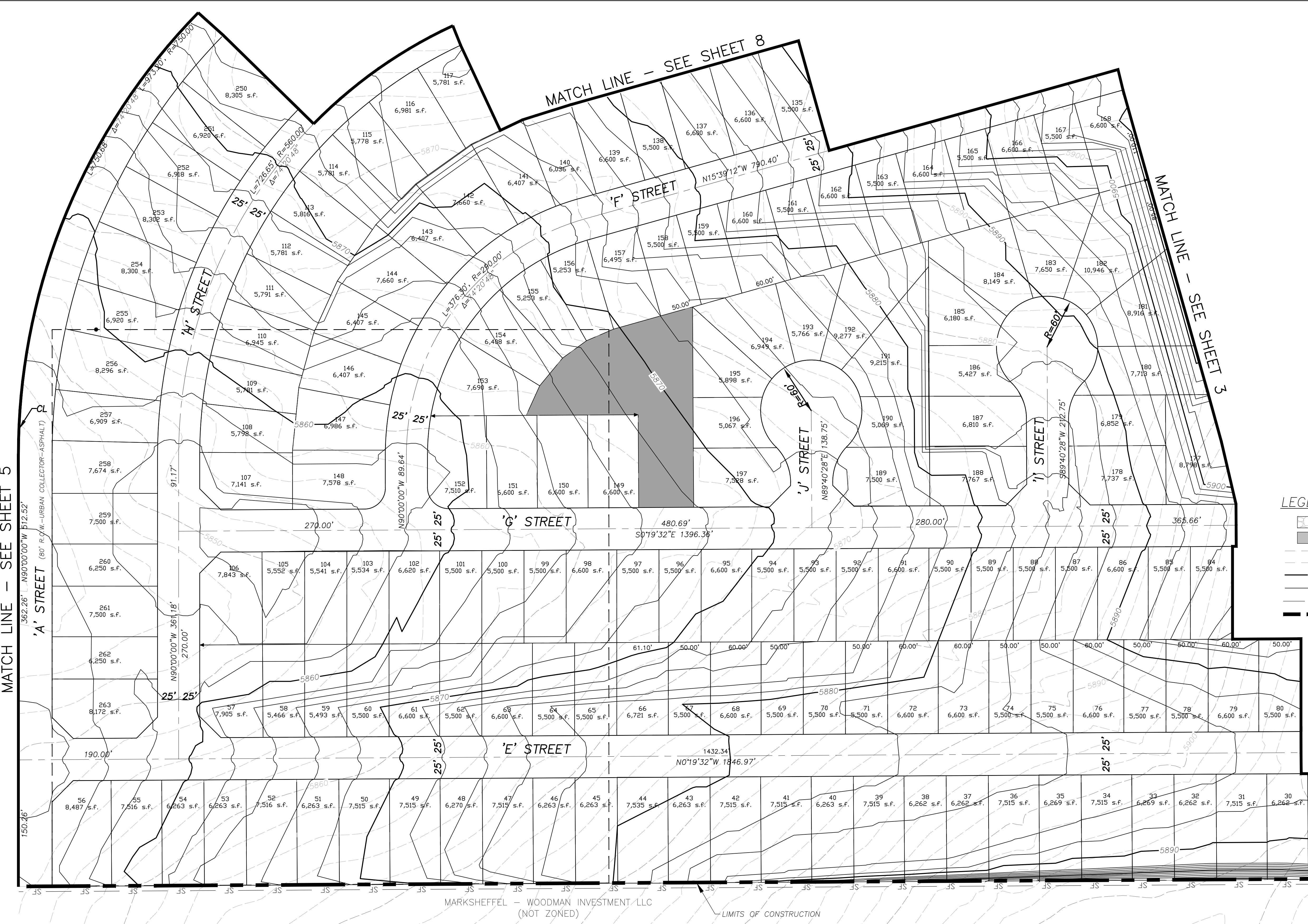
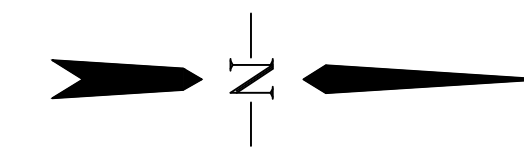
Index of Revisions	
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WATERVIEW EAST GRADING AND EROSION CONTROL PLAN	
Designer: CMD/BG	Structure Numbers
Detailer: PF/BG	
Sheet Subset:	

Project No./Code	181710214
Sheet Number	3 of 14



LEGEND

	VEHICLE TRACKING CONTROL
	OPEN SPACE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	SILT FENCE
	LIMITS OF CONSTRUCTION

MATCH LINE - SEE SHEET 5

MATCH LINE - SEE SHEET 8

MATCH LINE - SEE SHEET 3

MARKSHEFFEL - WOODMAN INVESTMENT LLC
(NOT ZONED)

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Last Modification Date: 4-3-17	Initials: BG
Full Path & Drawing File Name: V:\1817\active\181710214\CAD\Plansheets Grading Plan	
Acad Ver. 2014	Scale: see plan Units: Feet

Index of Revisions

EL PASO COUNTY
COLORADO

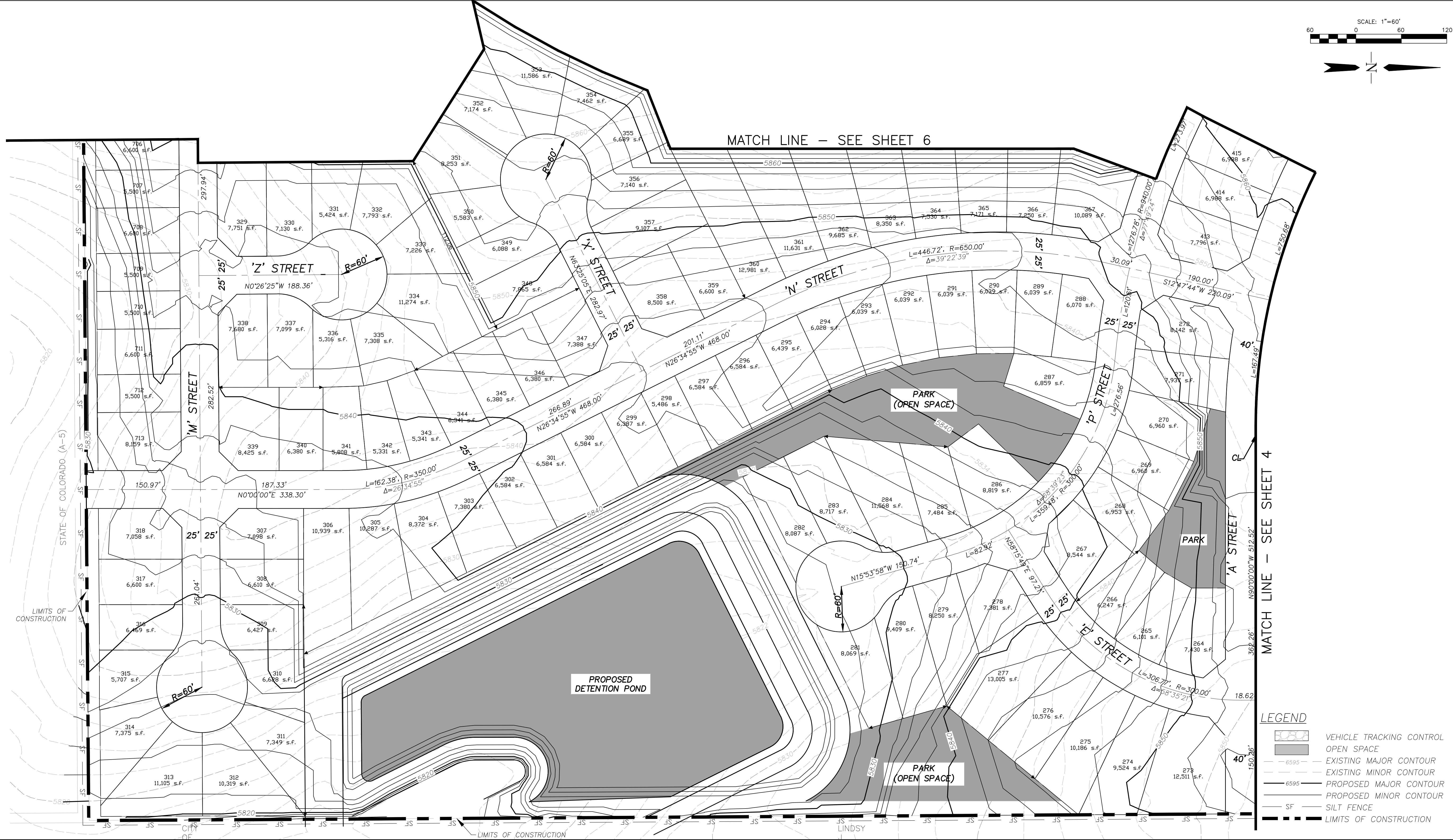
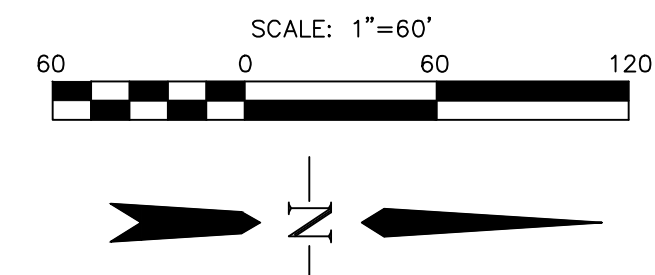
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Designer: CMD/BG	Structure Numbers
Detailer: PF/BG	
Sheet Subset:	

Project No./Code
181710214

Sheet Number 4 of 14



LEGEND

	VEHICLE TRACKING CONTROL
	OPEN SPACE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	SILT FENCE
	LIMITS OF CONSTRUCTION

Computer File Information

Creation Date: 4-3-17	Initials: CMD
Last Modification Date: 4-3-17	Initials: BG
Full Path & Drawing File Name: V:\1817\active\181710214\CAD\Plansheets Grading Plan	
Acad Ver. 2014	Scale: see plan Units: Feet

Index of Revisions

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Designer: CMD/BG	Structure Numbers
Detailer: PF/BG	
Sheet Subset:	

Project No./Code

181710214

Sheet Number 5 of 14

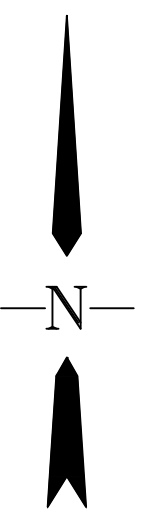
MATCH LINE - SEE SHEET 7

POWERS BLVD.
(ARTERIAL)
120' RIGHT-OF-WAY



LEGEND

- VEHICLE TRACKING CONTROL
- OPEN SPACE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- SILT FENCE
- LIMITS OF CONSTRUCTION



MATCH LINE - SEE SHEET 5

STATE OF COLORADO / (A-5)

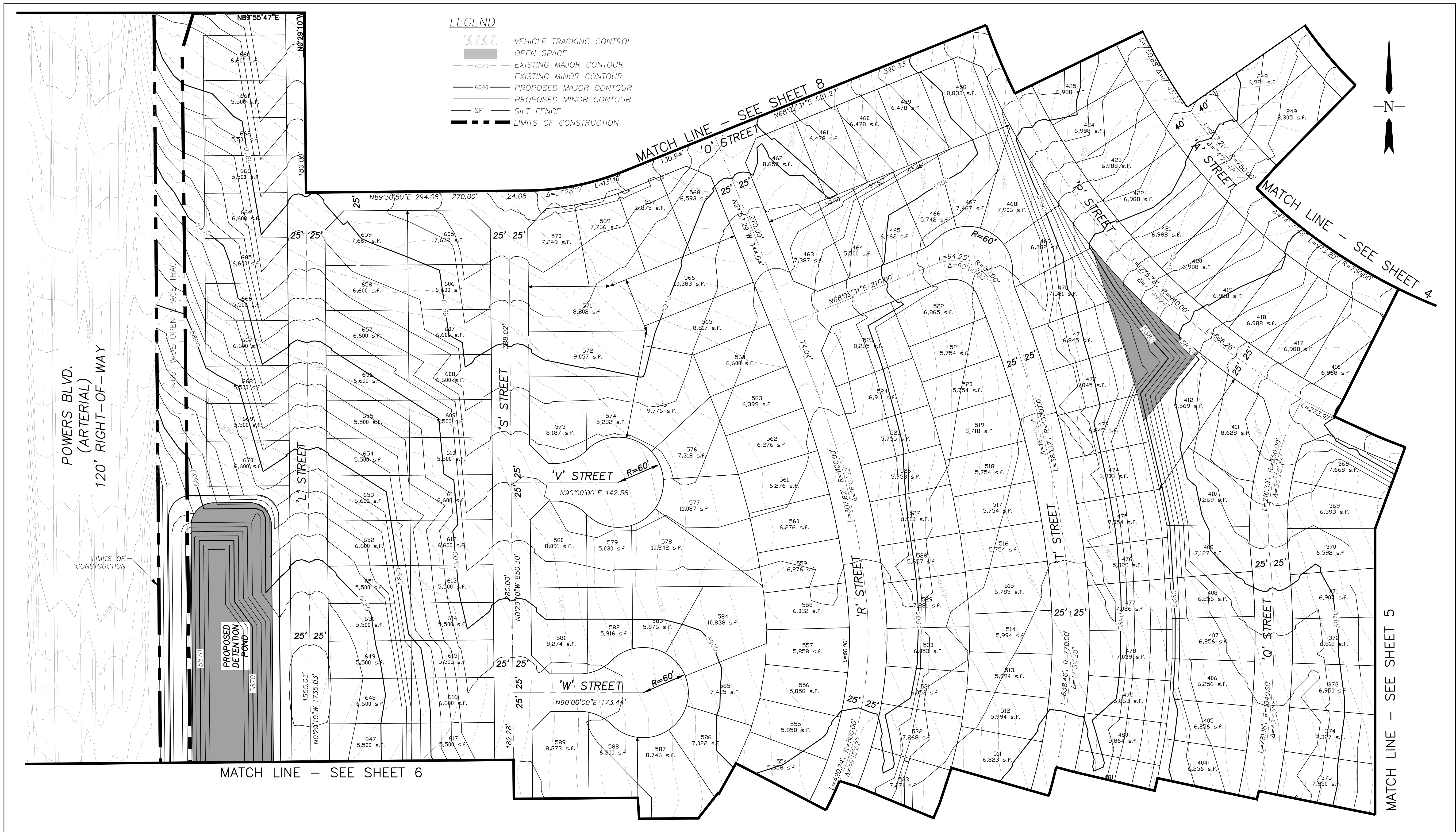
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Acad Ver. 2014	Scale: see plan Units: Feet

Index of Revisions	

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WATERVIEW EAST GRADING AND EROSION CONTROL PLAN	
Designer: CMD/BG	Structure Numbers
Sheet Subset:	

Project No./Code	181710214
Sheet Number	6 of 14



Computer File Information	
Creation Date: 4-3-17	Initials: CMD
Last Modification Date: 4-3-17	Initials: BG
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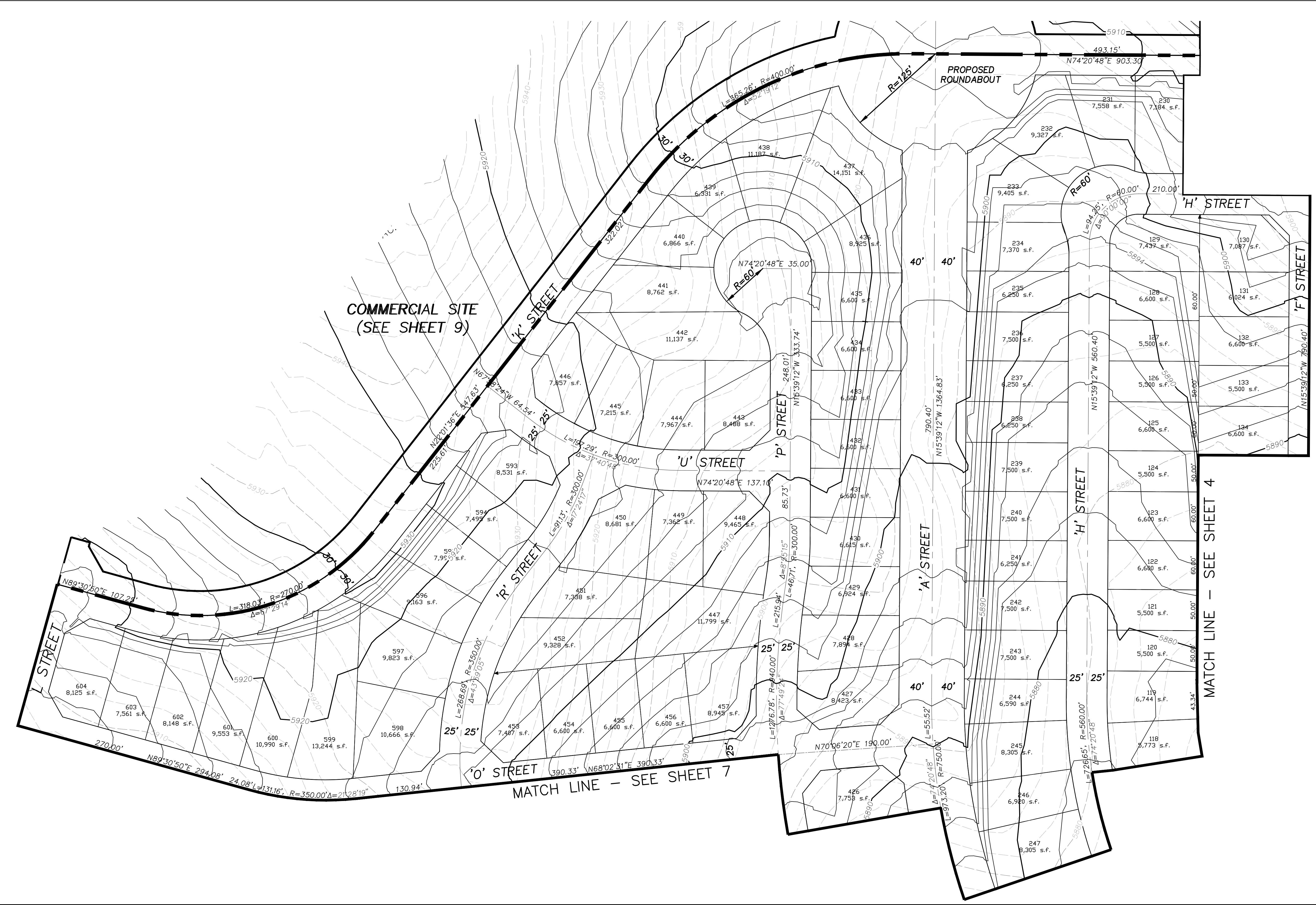
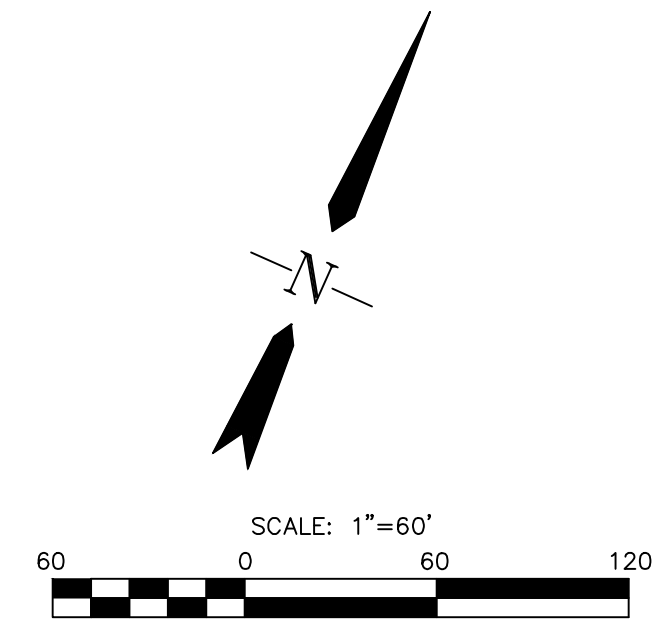
Index of Revisions	
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WATERVIEW EAST GRADING AND EROSION CONTROL PLAN	
Designer: CMD/BG	Structure Numbers
Sheet Subset:	

Project No./Code
181710214
Sheet Number 7 of 14



- LEGEND**
- VEHICLE TRACKING CONTROL
 - OPEN SPACE
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - SF SILT FENCE
 - LIMITS OF CONSTRUCTION
- NOTE:**
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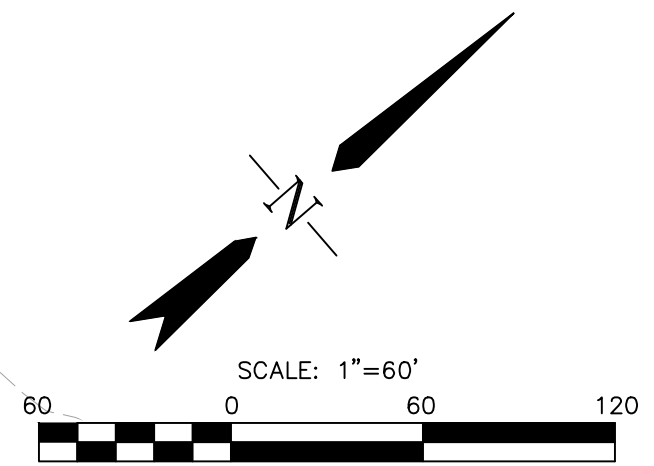
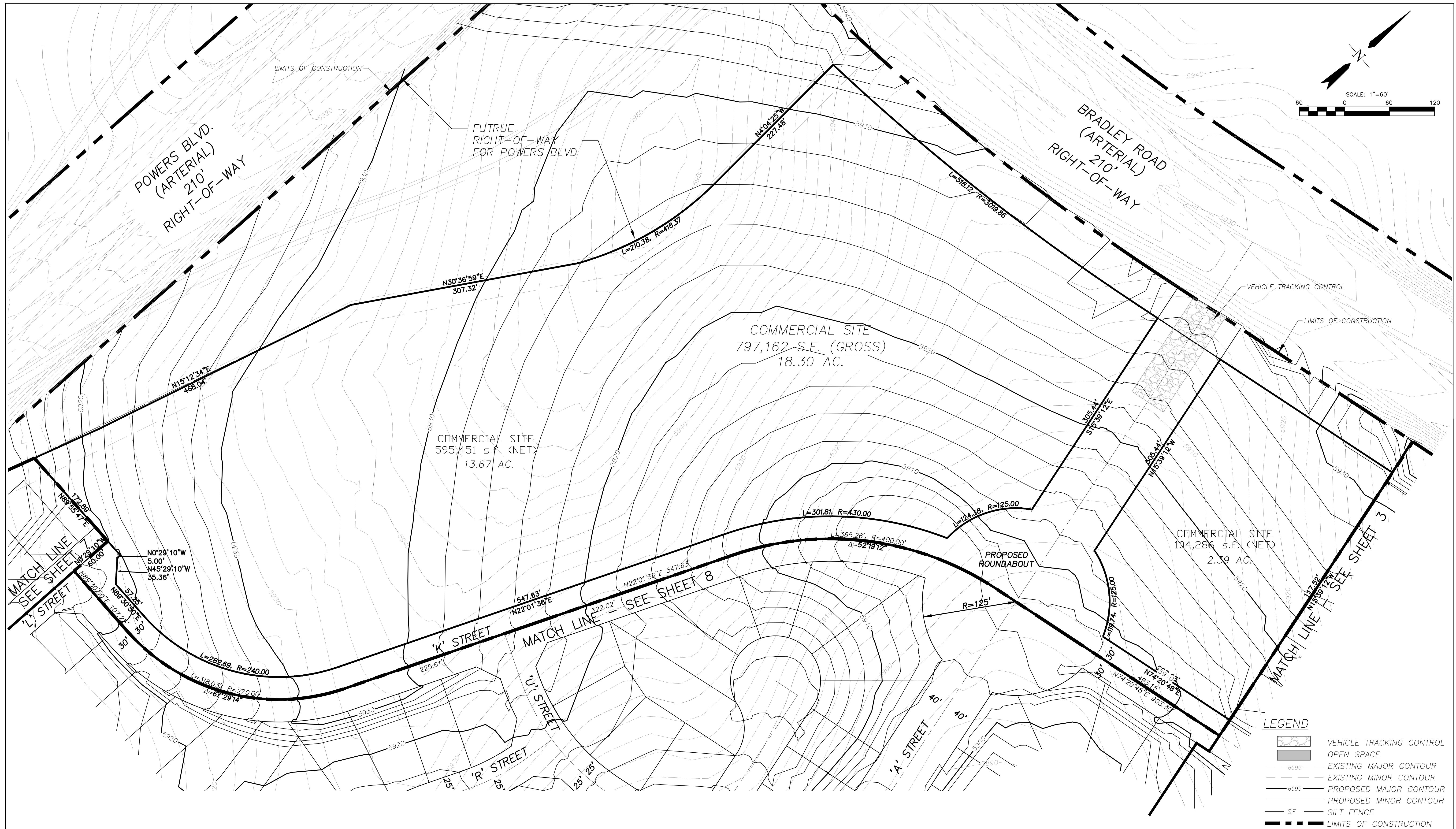
Index of Revisions	

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WATERVIEW EAST GRADING AND EROSION CONTROL PLAN	
Designer: CMD/BG	Structure Numbers
Sheet Subset:	

Project No./Code	181710214
Sheet Number	8 of 14



LEGEND

	VEHICLE TRACKING CONTROL
	OPEN SPACE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	SILT FENCE
	LIMITS OF CONSTRUCTION

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Creation Date: 4-3-17	Initials: CMD
Last Modification Date: 4-3-17	Initials: BG
Full Path & Drawing File Name: V:\1817\active\181710214\CAD\Plansheets Grading Plan	
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Index of Revisions

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Designer: CMD/BG	Structure Numbers
Detailer: PF/BG	
Sheet Subset:	

Project No./Code

181710214

Sheet Number 9 of 14

**STANDARD NOTES FOR EL PASO COUNTY
GRADING AND EROSION CONTROL PLANS**

REVISED 7/07/10

- CONSTRUCTION MAY NOT COMMENCE UNTIL A CONSTRUCTION PERMIT IS OBTAINED FROM DEVELOPMENT SERVICES AND A PRECONSTRUCTION CONFERENCE IS HELD WITH DEVELOPMENT SERVICES INSPECTORS.
- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED STORMWATER MANAGER. SHALL BE LOCATED ON SITE AT ALL TIMES AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMPs AS INDICATED ON THE GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY DSD INSPECTIONS STAFF.
- SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER FINAL GRADING, OR FINAL EARTH DISTURBANCE HAS BEEN COMPLETED. DISTURBED AREAS AND STORMPIPES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMPs SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED.
- TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO SPECIFICATION AND SPECIFICATION DESCRIBED IN THE DCM VOLUME II AND THE ENGINEERING CRITERIA MANUAL (ECM) APPENDIX I.
- ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMPs IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME II AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN (SWMP).
- ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMPs AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS, SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS, THE SWMP AND THE DCM VOLUME II AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION.
- ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STABILIZED AREAS, INCLUDING ANY SURFACE OR SUBSURFACE DRAINAGE SYSTEM OR FACILITIES.
- EROSION CONTROL BLANKETING IS TO BE USED ON SLOPES STEEPER THAN 3:1.
- BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMPs MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.

- THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCHLINE.
- INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE ECM APPENDIX I. APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.

- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO ACTUAL CONSTRUCTION THE PERMITEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUESTED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY KUMAR AND ASSOCIATES AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WOOD - PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT

GRADING AND EROSION CONTROL DETAILS AND NOTES

CHARLES K. COTHERN, P.E. 24997

DATE

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE EROSION CONTROL PLAN.

OWNER/REPRESENTATIVE

DATE

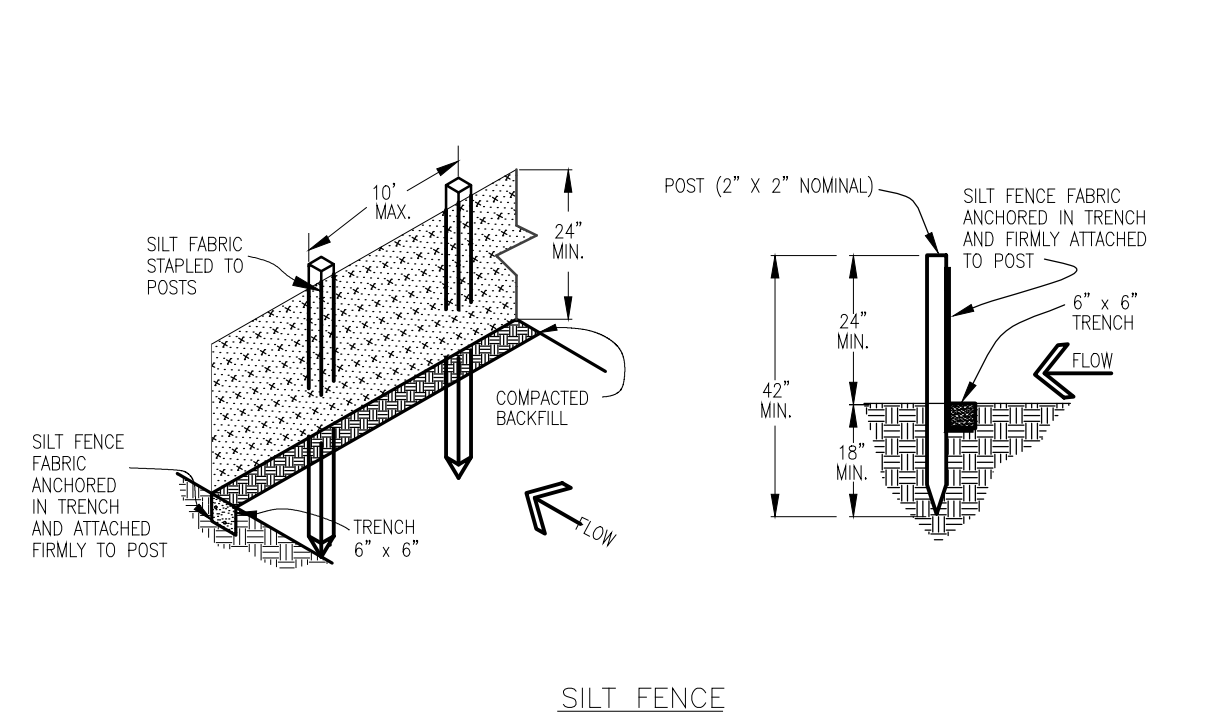
COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

JENNIFER IRVINE, P.E.

COUNTY ENGINEER/ECM ADMINISTRATOR

DATE



SILT FENCE

SILT FENCE NOTES

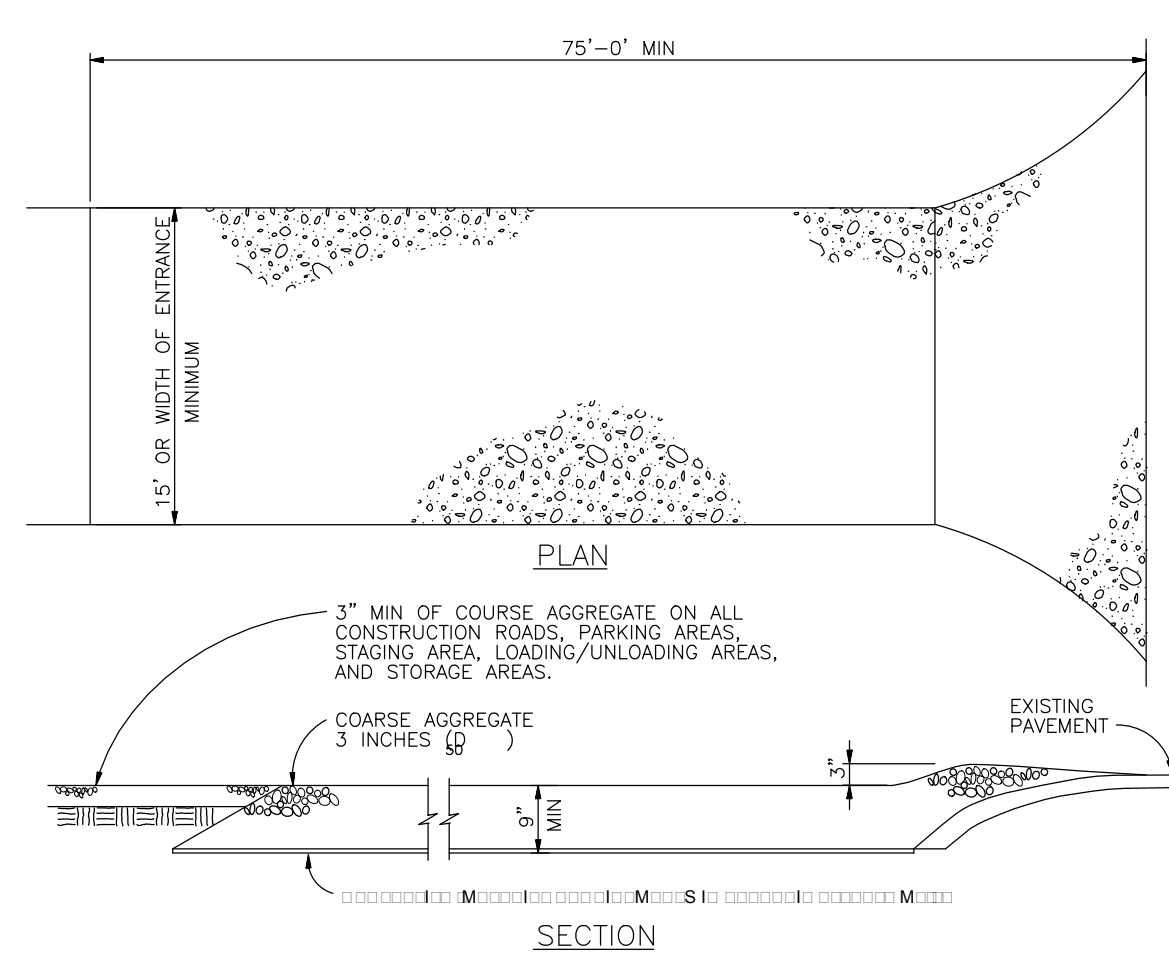
INSTALLATION REQUIREMENTS

- SILT FENCES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- WHEN JOINTS ARE NECESSARY, SILT FENCE GEOTEXTILE SHALL BE SPLICED TOGETHER ONLY AT SUPPORT POSTS AND SECURELY SEALED.
- METAL POSTS SHALL BE "STUDDED TEE" OR "U" TYPE WITH MINIMUM WEIGHT OF 1.33 POUNDS PER LINEAR FOOT. WOOD POSTS SHALL HAVE A MINIMUM DIAMETER OR CROSS SECTION DIMENSION OF 2 INCHES.
- THE FILTER MATERIAL SHALL BE FASTENED SECURELY TO METAL OR WOOD POSTS USING WIRE TIES, OR TO WOOD POSTS WITH 3/4" LONG #9 HEAVY-DUTY STAPLES. THE SILT FENCE GEOTEXTILE SHALL NOT BE STAPLED TO EXISTING TREES.
- WHILE NOT REQUIRED, WIRE MESH FENCE MAY BE USED TO SUPPORT THE GEOTEXTILE. WIRE FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 3/4" LONG. TIE WIRES OR HOOP RINGS, THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 6" AND SHALL NOT EXTEND MORE THAN 3' ABOVE THE ORIGINAL GROUND SURFACE.

- ALONG THE TOE OF FILLS, INSTALL THE SILT FENCE ALONG A LEVEL CONTOUR AND PROVIDE AN AREA BEHIND THE FENCE FOR RUNOFF TO POND AND SEDIMENT TO SETTLE. A MINIMUM DISTANCE OF 5 FEET FROM THE TOE OF THE FILL IS RECOMMENDED.
- THE HEIGHT OF THE SILT FENCE FROM THE GROUND SURFACE SHALL BE MINIMUM OF 24 INCHES AND SHALL NOT EXCEED 36 INCHES; HIGHER FENCES MAY INCREASE VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE.

MAINTENANCE REQUIREMENTS

- CONTRACTOR SHALL INSPECT SILT FENCES IMMEDIATELY AFTER EACH RAINFALL, AT LEAST DAILY DURING PROLONGED RAINFALL, AND WEEKLY DURING PERIODS OF NO RAINFALL. DAMAGED, COLLAPSED, UNTRENCHED OR INEFFECTIVE SILT FENCES SHALL BE PROMPTLY REPAIRED OR REPLACED.
- SEDIMENT SHALL BE REMOVED FROM BEHIND SILT FENCE WHEN IT ACCUMULATES TO HALF THE EXPOSED GEOTEXTILE HEIGHT.
- SILT FENCES SHALL BE REMOVED WHEN ADEQUATE VEGETATIVE COVER IS ATTAINED AS APPROVED BY THE CITY.



VEHICLE TRACKING

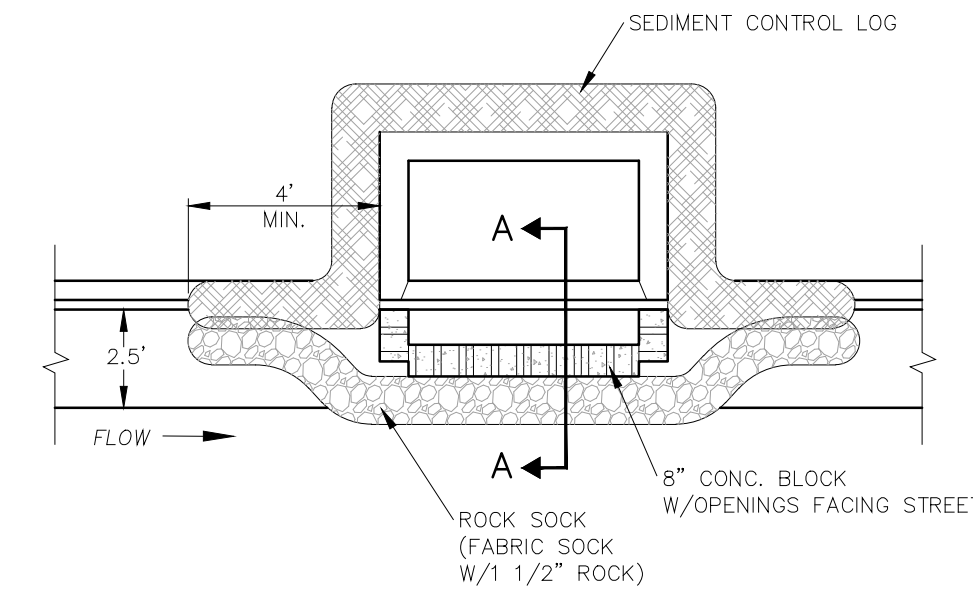
VEHICLE TRACKING NOTES

INSTALLATION REQUIREMENTS

- ALL ENTRANCES TO THE CONSTRUCTION SITE ARE TO BE STABILIZED PRIOR TO CONSTRUCTION BEGINNING.
- CONSTRUCTION ENTRANCES ARE TO BE BUILT WITH AN APRON TO ALLOW FOR TURNING TRAFFIC, BUT SHOULD NOT BE BUILT OVER EXISTING PAVEMENT EXCEPT FOR A SLIGHT OVERLAP.
- AREAS TO BE STABILIZED ARE TO BE PROPERLY GRADED AND COMPACTED PRIOR TO LAYING DOWN GEOTEXTILE AND STONE.
- CONSTRUCTION ROADS, PARKING AREAS, LOADING/UNLOADING ZONES, STORAGE AREAS, AND STAGING AREAS ARE TO BE STABILIZED.
- CONSTRUCTION ROADS ARE TO BE BUILT TO CONFORM TO SITE GRADES, BUT SHOULD NOT HAVE SIDE SLOPES OR ROAD GRADES THAT ARE EXCESSIVELY STEEP.

MAINTENANCE REQUIREMENTS

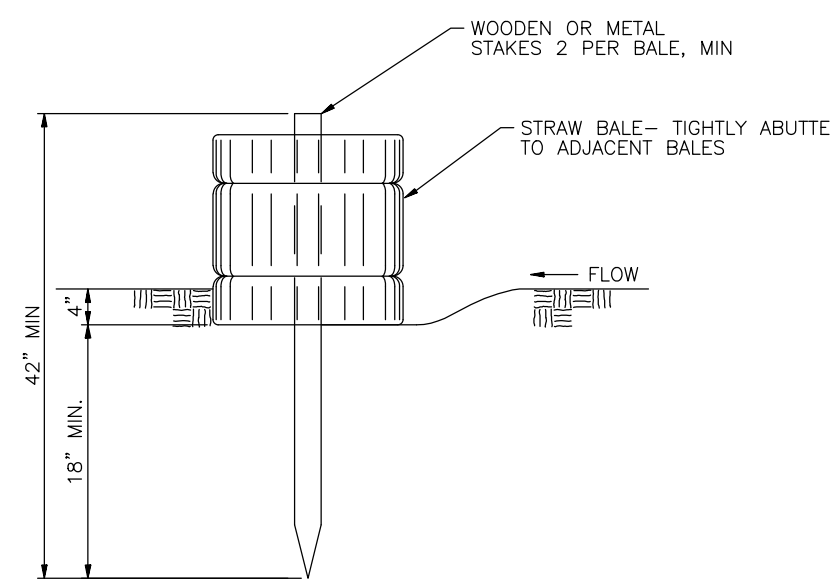
- REGULAR INSPECTIONS ARE TO BE MADE OF ALL STABILIZED AREAS, ESPECIALLY AFTER STORM EVENTS.
- STONES ARE TO BE REAPPLIED PERIODICALLY AND WHEN REPAIR IS NECESSARY.
- SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED DAILY BY SHOVELING OR SWEEPING. SEDIMENT IS NOT TO BE WASHED DOWN STORM SEWER DRAINS.
- STORM SEWER INLET PROTECTION IS TO BE IN PLACE, INSPECTED, AND CLEANED IF NECESSARY.
- OTHER ASSOCIATED SEDIMENT CONTROL MEASURES ARE TO BE INSPECTED TO ENSURE GOOD WORKING CONDITION.



PLAN VIEW

SECTION A-A

**TYPE R INLET
INLET PROTECTION**



STRAW BALE BARRIER

STRAW BALE BARRIER NOTES

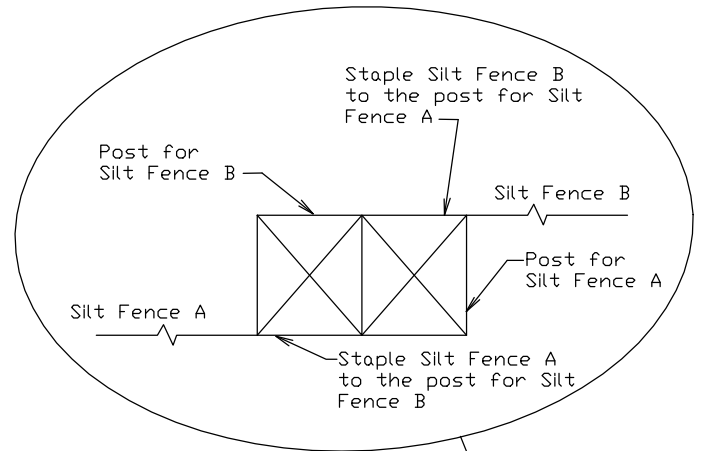
INSTALLATION REQUIREMENTS

- STRAW BALE BARRIERS SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- BARRIERS SHALL CONSIST OF APPROXIMATELY 5 CUBIC FEET OF CERTIFIED WEED FREE HAY OR STRAW AND WEIGH NOT LESS THAN 35 POUNDS.
- BALES ARE TO BE PLACED IN A SINGLE ROW WITH THE END OF THE BALES TIGHTLY ABUTTING ONE ANOTHER.
- EACH BALE IS TO BE SECURELY ANCHORED WITH AT LEAST TWO STAKES AND THE FIRST STAKE IS TO BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE TO FORCE THE BALES TOGETHER.
- STAKES ARE TO BE A MINIMUM OF 42 INCHES LONG. METAL STAKES SHALL BE STANDARD "U" TYPE WITH MINIMUM WEIGHT OF 1.33 POUNDS PER LINEAR FOOT. WOOD STAKES SHALL HAVE A MINIMUM DIAMETER OR CROSS SECTION DIMENSION OF 2 INCHES.
- BALES ARE TO BE BOUND WITH EITHER WIRE OR STRING AND ORIENTED SUCH THAT THE BINDINGS ARE AROUND THE SIDES AND NOT ALONG THE TOPS AND BOTTOMS OF THE BALE.
- GAPS BETWEEN BALES ARE TO BE CHINKED (FILLED BY WEDGING) WITH STRAW OR THE SAME MATERIAL OF THE BALE.
- END BALES ARE TO EXTEND UPSLOPE SO THE TRAPPED RUNOFF CANNOT FLOW AROUND THE ENDS OF THE BARRIER.

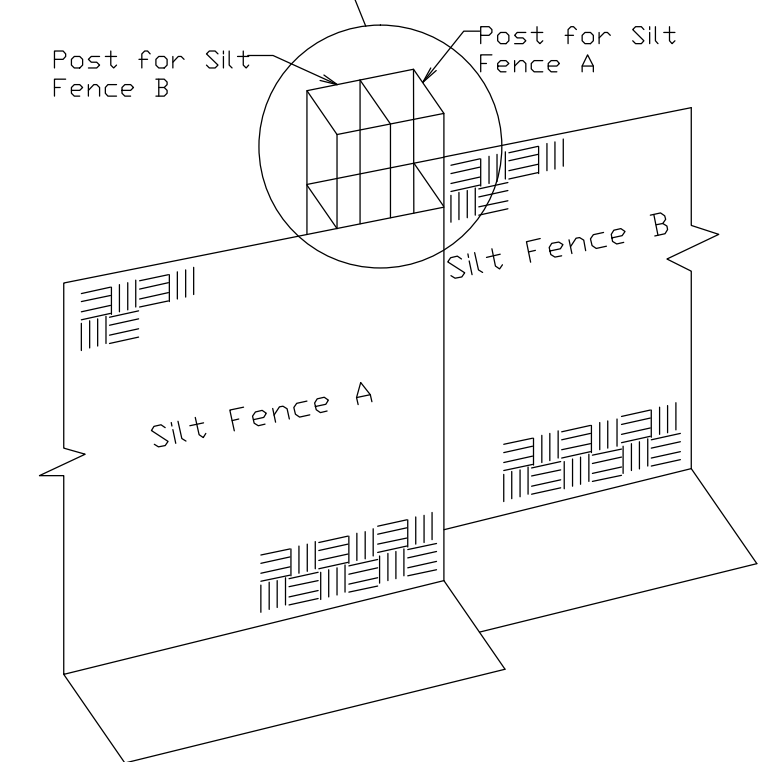
MAINTENANCE REQUIREMENTS

- CONTRACTOR SHALL INSPECT STRAW BALE BARRIERS IMMEDIATELY AFTER EACH RAINFALL, AT LEAST DAILY DURING PROLONGED RAINFALL, AND WEEKLY DURING PERIODS OF NO RAINFALL.
- DAMAGED OR INEFFECTIVE BARRIERS SHALL PROMPTLY BE REPAIRED. REPLACING BALES IF NECESSARY, AND UNTRENCHED BALES NEED TO BE REPAIRED WITH COMPACTED BACKFILL MATERIAL.
- SEDIMENT SHALL BE REMOVED FROM BEHIND STRAW BALE BARRIERS WHEN IT ACCUMULATES TO APPROXIMATELY 1/2 THE HEIGHT OF THE BARRIER.
- STRAW BALE BARRIERS SHALL BE REMOVED WHEN ADEQUATE VEGETATIVE COVER IS ATTAINED AS APPROVED BY THE CITY.

Top View of Silt Fence Posts Detail



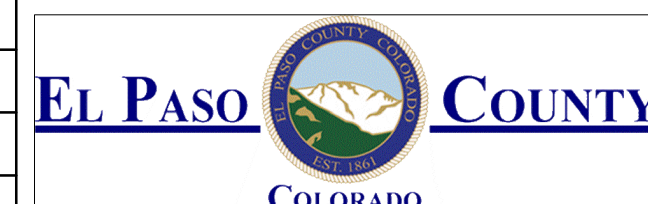
Refer to 'Top View of Silt Fence Posts Detail'



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Acad Ver.	2014	Scale:	see plan
Units:	Feet		

Index of Revisions



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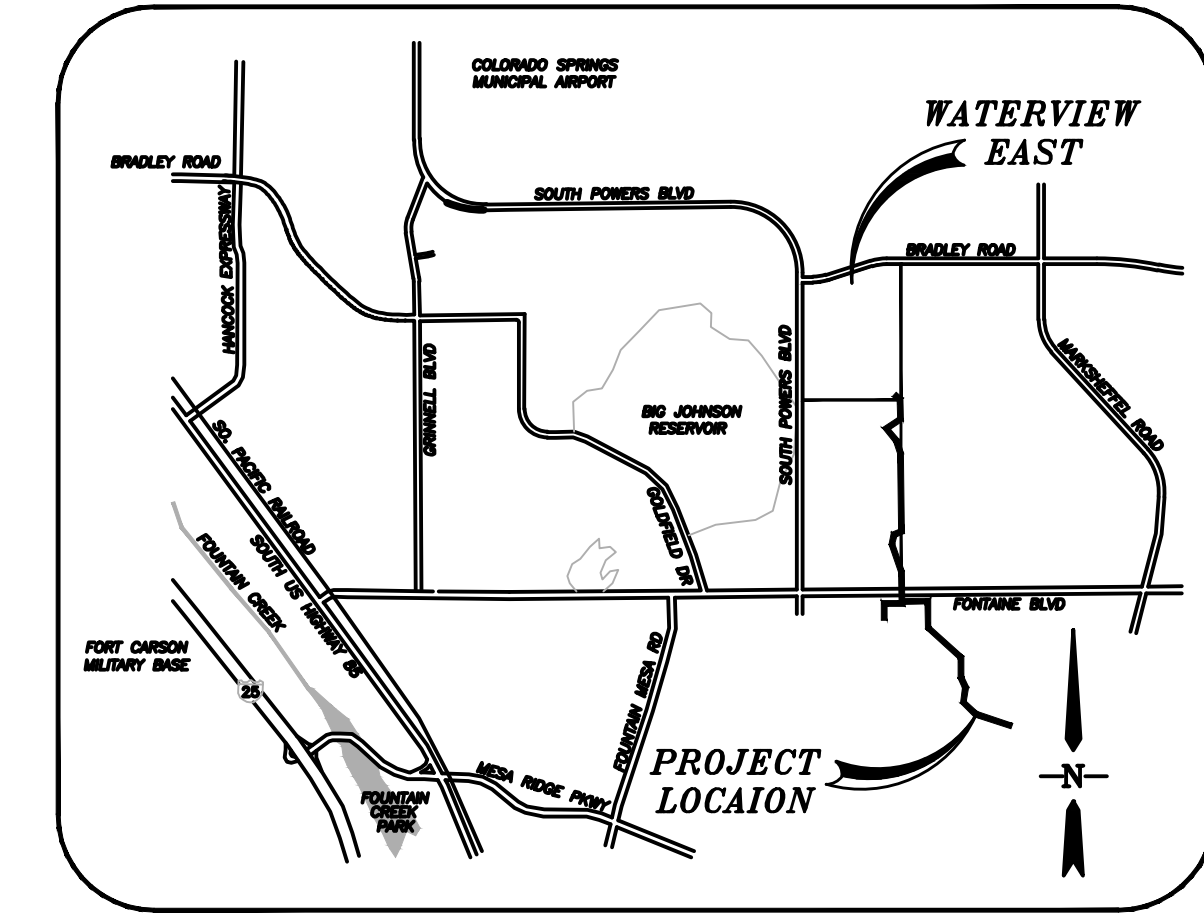
**WATERVIEW EAST
GRADING AND EROSION DETAILS**

Designer:	CMD/BG	Structure Numbers	
Detailer:	PF/BG		
Sheet Subset:			

Project No./Code	181710214
Sheet Number	10 of 14

WATERVIEW EAST OFF-SITE SANITARY SEWER PLAN

EL PASO COUNTY, STATE OF COLORADO



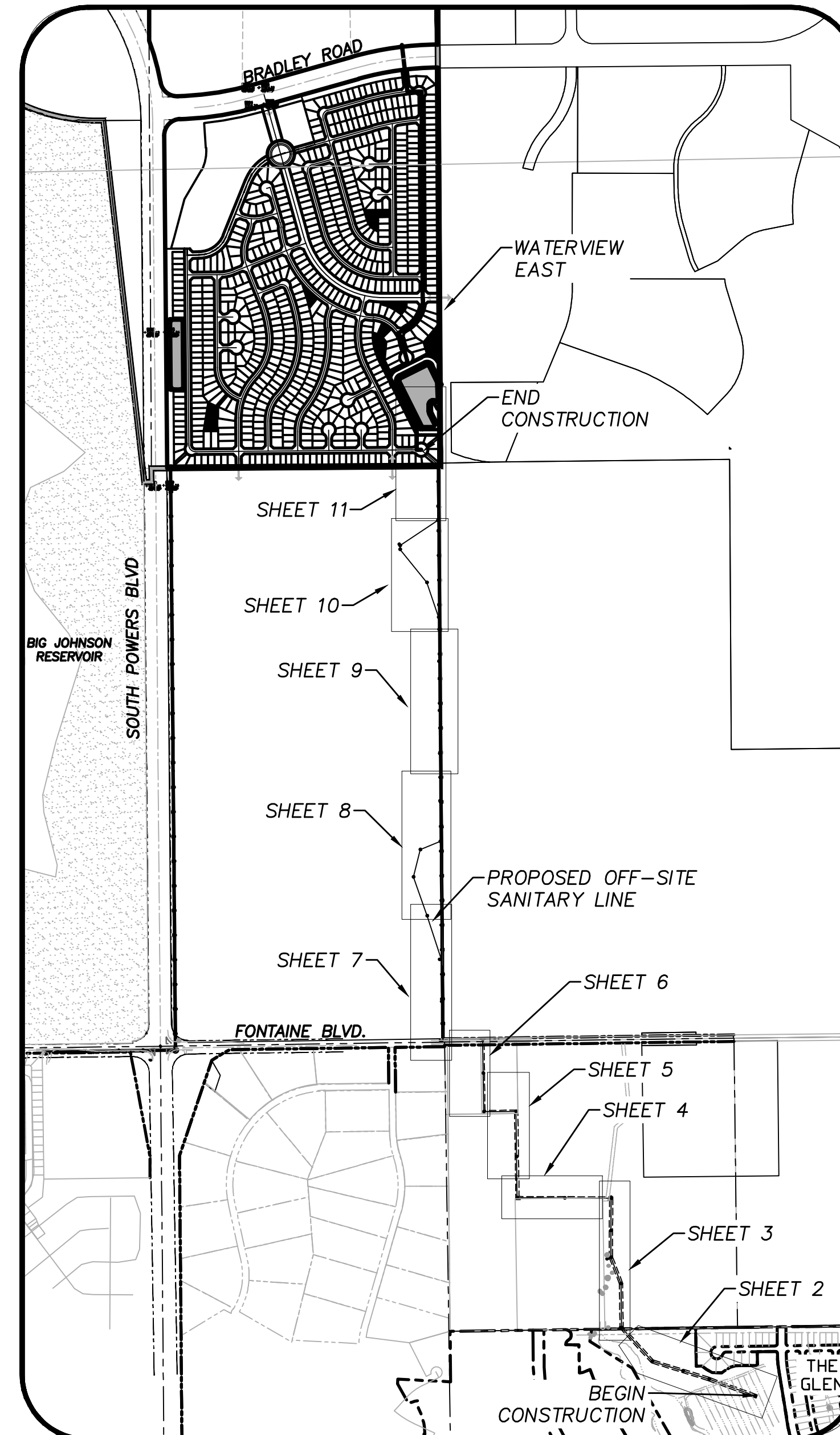
VICINITY MAP
N.T.S.

Approval from offsite property owners must be obtained.
Provide a copy to PCD.

Include the EPC signature block.
Coordinate with Fountain and City of Colorado Springs whether or not they also need to sign the plans for the portions within their city limits.

WIDEFIELD WATER AND SANITATION DISTRICT GENERAL NOTES:

1. ALL UTILITY CONSTRUCTION TO BE CONDUCTED IN CONFORMANCE WITH THE CURRENT WIDEFIELD WATER AND SANITATION DISTRICT SPECIFICATIONS. COMPACTION REQUIREMENTS SHALL BE 95% STANDARD PROCTOR AS DETERMINED BY ASTM D698, UNLESS OTHERWISE APPROVED BY THE WIDEFIELD WATER AND SANITATION DISTRICT OR A HIGHER STANDARD IS IMPOSED BY ANOTHER AGENCY HAVING RIGHT-OF-WAY JURISDICTION.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE WIDEFIELD WATER AND SANITATION DISTRICT. THE WIDEFIELD WATER AND SANITATION DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
3. THE DEVELOPER OR HIS ENGINEER HAS LOCATED ALL FIRE HYDRANTS AND FUTURE SERVICE STUBS. ANY REQUIRED REALIGNMENT, EITHER HORIZONTAL OR VERTICAL, SHALL BE AT THE EXPENSE OF THE DEVELOPER.
4. ALL DUCTILE IRON PIPE, TO INCLUDE FITTINGS, VALVES AND FIRE HYDRANTS WILL BE WRAPPED WITH POLYETHYLENE TUBING, AND ELECTRICALLY ISOLATED.
5. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE DOUBLE BONDED. SPECIFICATIONS FOR CATHODIC PROTECTION ON BOTH DIP MAINS AND PVC MAINS IS SPECIFIED IN THE STANDARDS AND SPECIFICATIONS.
6. PVC MAIN LINES SHALL BE INSTALLED WITH COATED NO. 12 TRACER WIRE.
7. THE CONTRACTOR IS REQUIRED TO NOTIFY THE WIDEFIELD WATER AND SANITATION DISTRICT (390-7111) A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY AFFECTED UTILITY COMPANIES 48 HOURS PRIOR TO CONSTRUCTION ADJACENT TO THE KNOWN UTILITY LINES.
8. THE LOCATION OF ALL UTILITIES AS SHOWN ON THESE DRAWINGS ARE APPROXIMATE ONLY. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED PRIOR TO CONSTRUCTION BY THE CONTRACTOR.
9. THE CONTRACTOR SHALL FIELD EXCAVATE AND VERIFY THE VERTICAL AND HORIZONTAL LOCATION OF ALL TIE-INS. CONTRACTOR SHALL NOTIFY THE WIDEFIELD WATER AND SANITATION DISTRICT AND THE ENGINEER OF THE FIELD VERIFIED INFORMATION PRIOR TO CONSTRUCTION.
10. ALL BENDS SHALL BE FIELD STAKED PRIOR TO CONSTRUCTION.
11. ANY WATER UTILITY MATERIAL REMOVED AND NOT REUSED SHALL BE RETURNED TO THE WIDEFIELD WATER AND SANITATION DISTRICT IF THE DISTRICT SO REQUESTS.
12. THE CONTRACTOR SHALL AT HIS EXPENSE SUPPORT AND PROTECT ALL UTILITY MAINS SO THAT THEY WILL FUNCTION CONTINUOUSLY DURING CONSTRUCTION. SHOULD A UTILITY MAIN FAIL AS A RESULT OF THE CONTRACTOR'S OPERATION, IT WILL BE REPLACED IMMEDIATELY BY EITHER THE CONTRACTOR OR THE WIDEFIELD WATER AND SANITATION DISTRICT AT FULL COST OF LABOR AND MATERIALS TO THE CONTRACTOR.
13. ANY PUMPING OR BYPASS OPERATIONS MUST BE REVIEWED AND APPROVED PRIOR TO EXECUTION BY BOTH THE WIDEFIELD WATER AND SANITATION DISTRICT AND THE ENGINEER.
14. CONTRACTOR MUST REPLACE OR REPAIR ANY DAMAGE TO ALL SURFACE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO FENCES, CURB AND GUTTER AND/OR ASPHALT THAT MAY BE CAUSED DURING CONSTRUCTION.
15. ALL WATER LINES 6" AND LARGER, AND ALL SEWER LINES 8" AND LARGER, SHALL HAVE AS-BUILT PLANS PREPARED AND APPROVED PRIOR TO FINAL ACCEPTANCE BY THE WIDEFIELD WATER AND SANITATION DISTRICT.
16. PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE IS REQUIRED A MINIMUM OF 72 HOURS IN ADVANCE OF COMMENCEMENT OF WORK. TO SET THE PRE-CONSTRUCTION CONFERENCE, CONTACT BRANDON BERNARD-WATER SUPERINTENDENT (491-2051) AND/OR MARK MCCORMICK, WASTEWATER SUPERINTENDENT (491-0128) OF THE WIDEFIELD WATER AND SANITATION DISTRICT FOR A TIME. NO PRE-CONSTRUCTION CONFERENCE TIMES WILL BE SET UNTIL 4 SETS OF SIGNED DRAWINGS ARE RECEIVED BY THE WIDEFIELD W & S DISTRICT. PRE-CONSTRUCTION DATE /INITIALS.



LOCATION MAP / SHEET INDEX
SCALE: 1"=1000'

OFF-SITE SANITARY SEWER: 10,883 L.F.
MANHOLES: 31 EA.

WIDEFIELD WATER AND SANITATION DISTRICT GENERAL NOTES:

WATER AND SEWER MAIN EXTENSIONS

ANY CHANGES OR ALTERATIONS AFFECTING THE GRADE, ALIGNMENT, ELEVATION AND/OR DEPTH OF COVER OF ANY WATER OR SEWER MAINS OR OTHER APPURTENANCE SHOWN ON THIS DRAWING SHALL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR ALL OPERATIONAL DAMAGES AND DEFECTS IN INSTALLATION AND MATERIAL FOR MAINS AND SERVICES FROM THE DATE OF APPROVAL UNTIL FINAL ACCEPTANCE IS ISSUED.

SIGNED _____ DATE _____
OWNER/DEVELOPER
PRINT NAME _____
DBA _____
ADDRESS _____

FIRE AUTHORITY APPROVAL

THE NUMBER OF FIRE HYDRANTS AND HYDRANT LOCATIONS SHOWN ON THIS WATER INSTALLATION PLAN ARE CORRECT AND ADEQUATE TO SATISFY THE FIRE PROTECTION REQUIREMENTS AS SPECIFIED BY THE FIRE DISTRICT SERVING THE PROPERTY NOTED ON THE PLANS.

FIRE PROTECTION DISTRICT _____
SIGNED _____ DATE _____
FIRE PROTECTION DISTRICT

DISTRICT APPROVALS

THE WIDEFIELD WATER AND SANITATION DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

WIDEFIELD WATER AND SANITATION DISTRICT WATER DESIGN APPROVAL

DATE: _____ BY: _____
PROJECT NO. _____

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE "RULES AND REGULATIONS FOR INSTALLATION OF WATER MAINS AND SERVICES" SHALL RULE.

APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL

THE WIDEFIELD WATER AND SANITATION DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

WIDEFIELD WATER AND SANITATION DISTRICT WASTEWATER DESIGN APPROVAL

DATE: _____ BY: _____
PROJECT NO. _____

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE "RULES AND REGULATIONS FOR INSTALLATION OF WASTEWATER MAINS AND SERVICES" SHALL RULE.

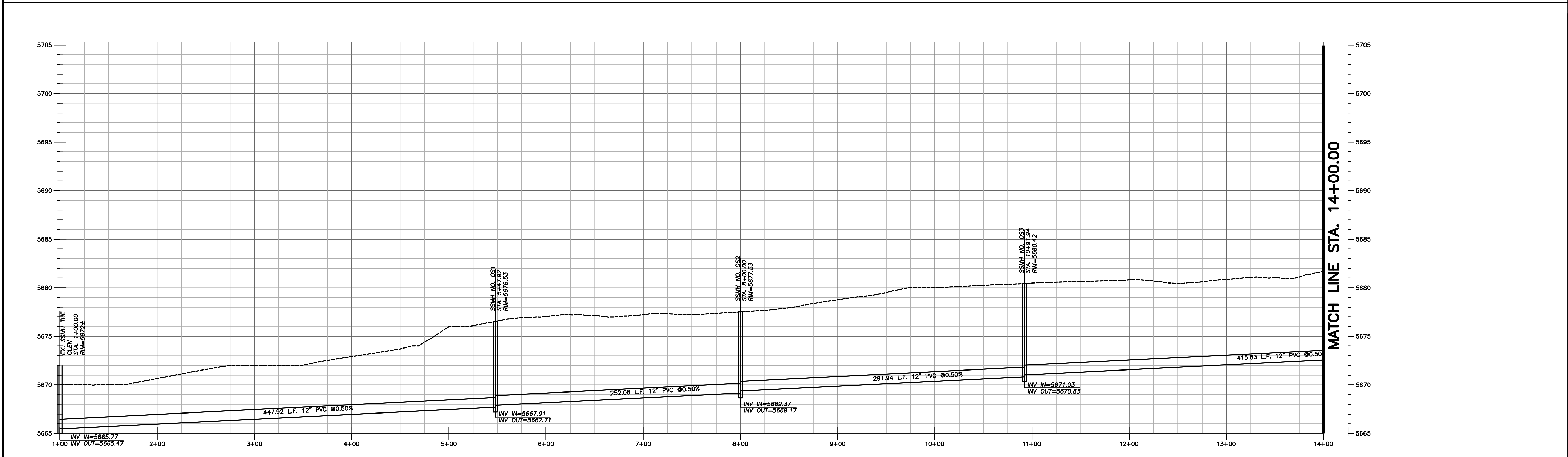
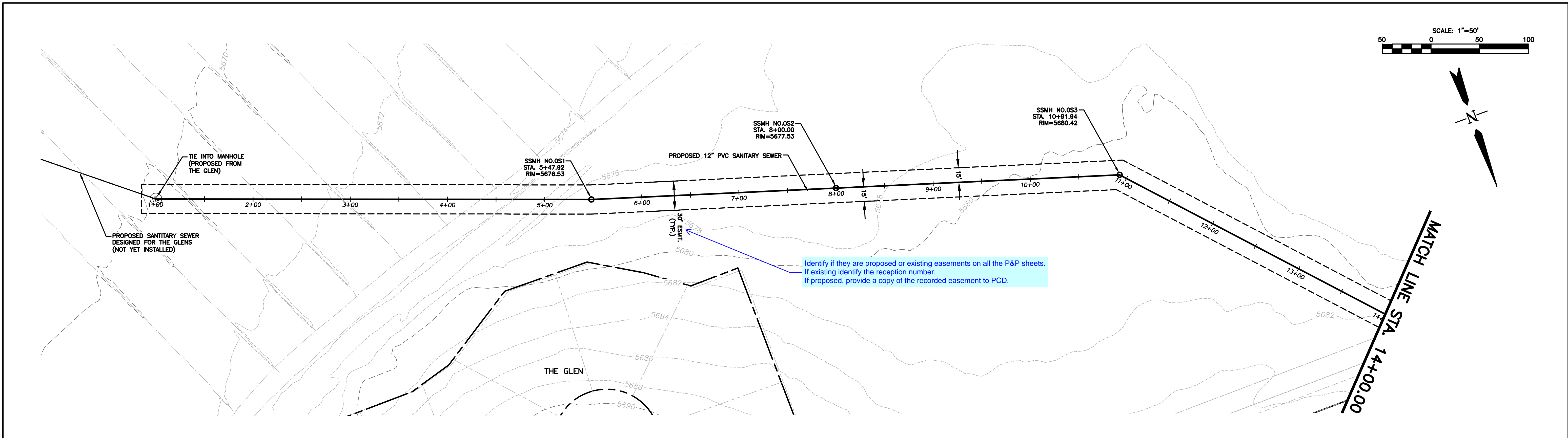
APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL

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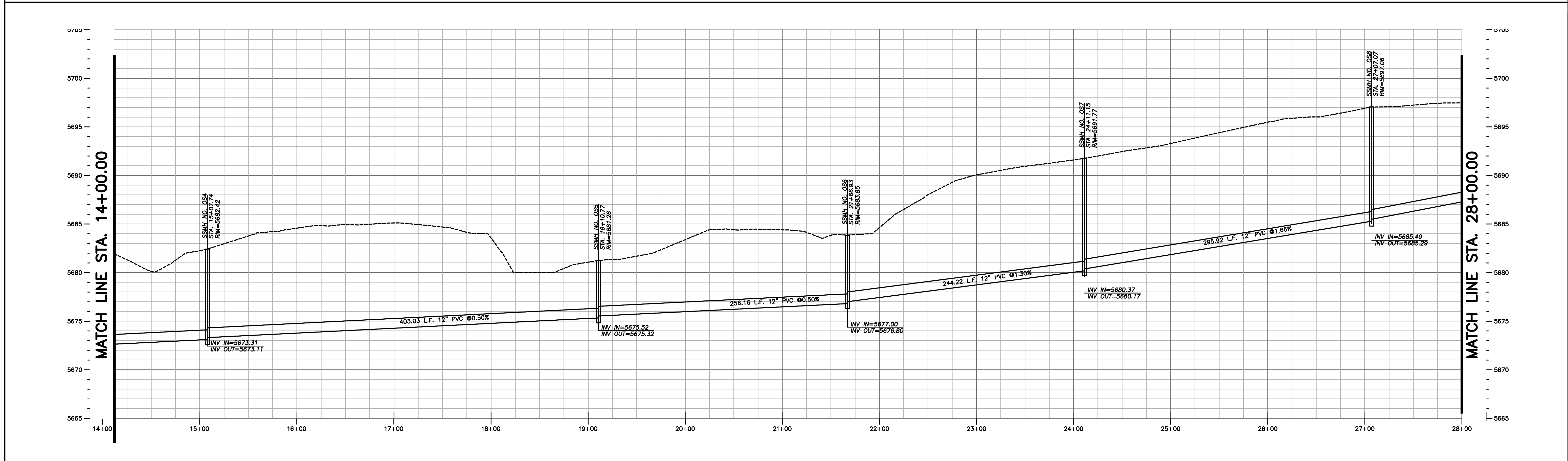
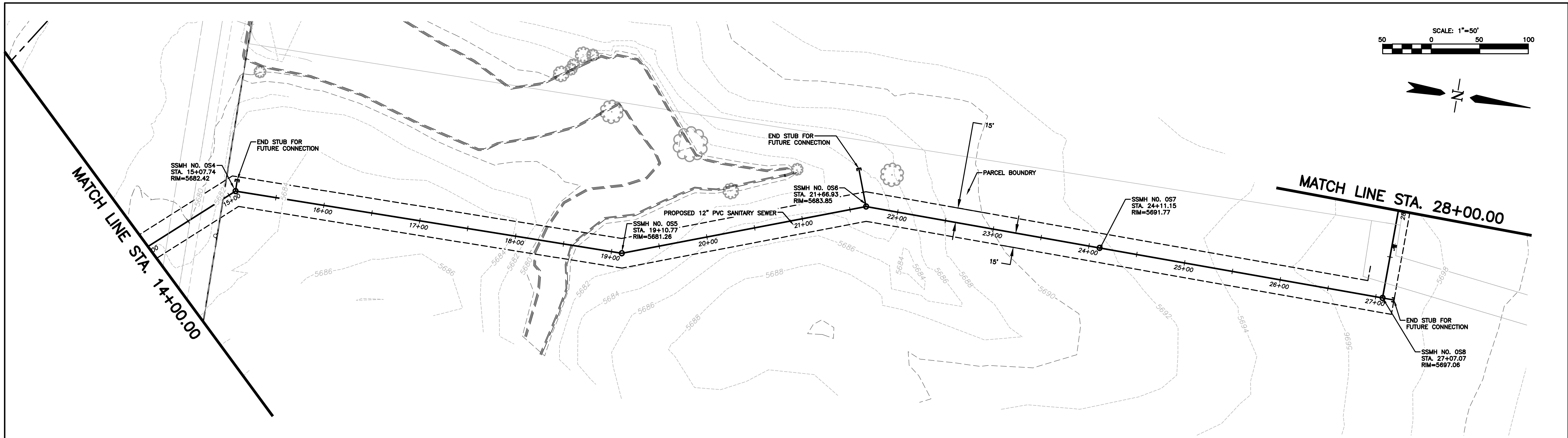
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3. OFF-SITE SANITARY SEWER P&P (2 OF 10)
4. OFF-SITE SANITARY SEWER P&P (3 OF 10)
5. OFF-SITE SANITARY SEWER P&P (4 OF 10)
6. OFF-SITE SANITARY SEWER P&P (5 OF 10)
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9. OFF-SITE SANITARY SEWER P&P (8 OF 10)
10. OFF-SITE SANITARY SEWER P&P (9 OF 10)
11. OFF-SITE SANITARY SEWER P&P (10 OF 10)

Add "PCD File No: SP-17-010"

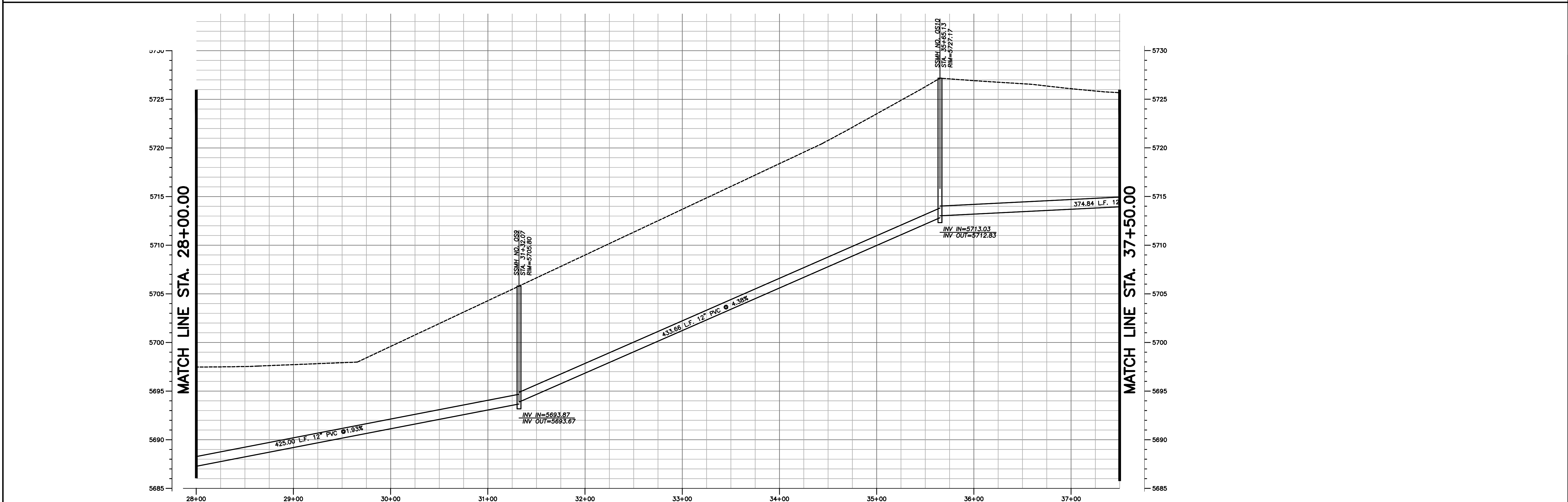
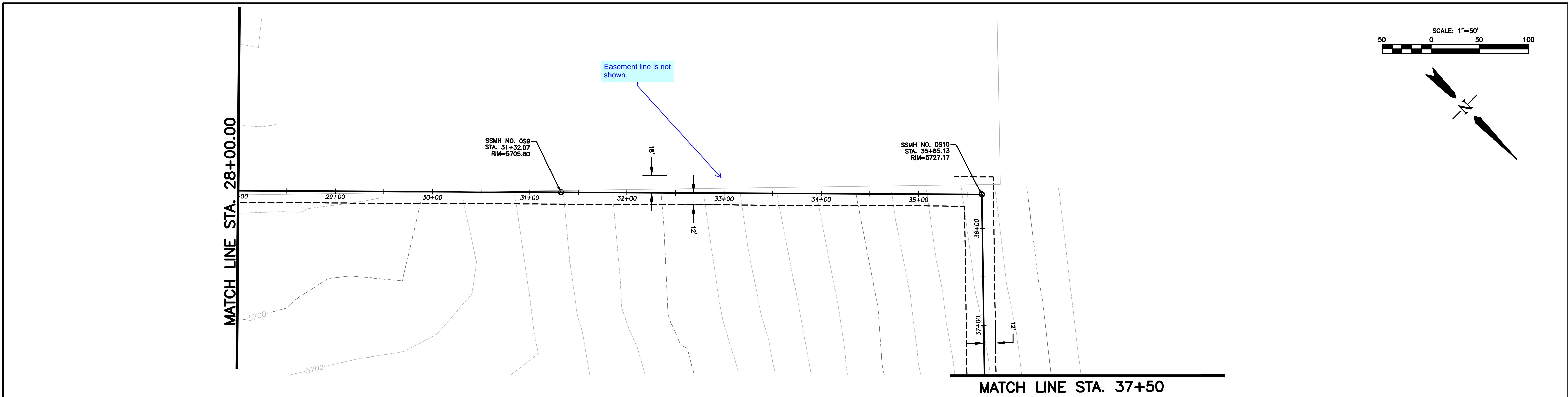
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		○				Sheet Number 1 of 10		



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Title Sheet								
Acad Ver. 2014 Scale: see plan Units: Feet								



Computer File Information		Index of Revisions			<p>Stantec Consulting Inc. 1110 Elkton Drive Suite B Colorado Springs, CO 80907 Tel. (719) 432-6889 Fax. www.stantec.com</p>	WATERVIEW EAST OFF-SITE SANITARY SEWER		Project No./Code	
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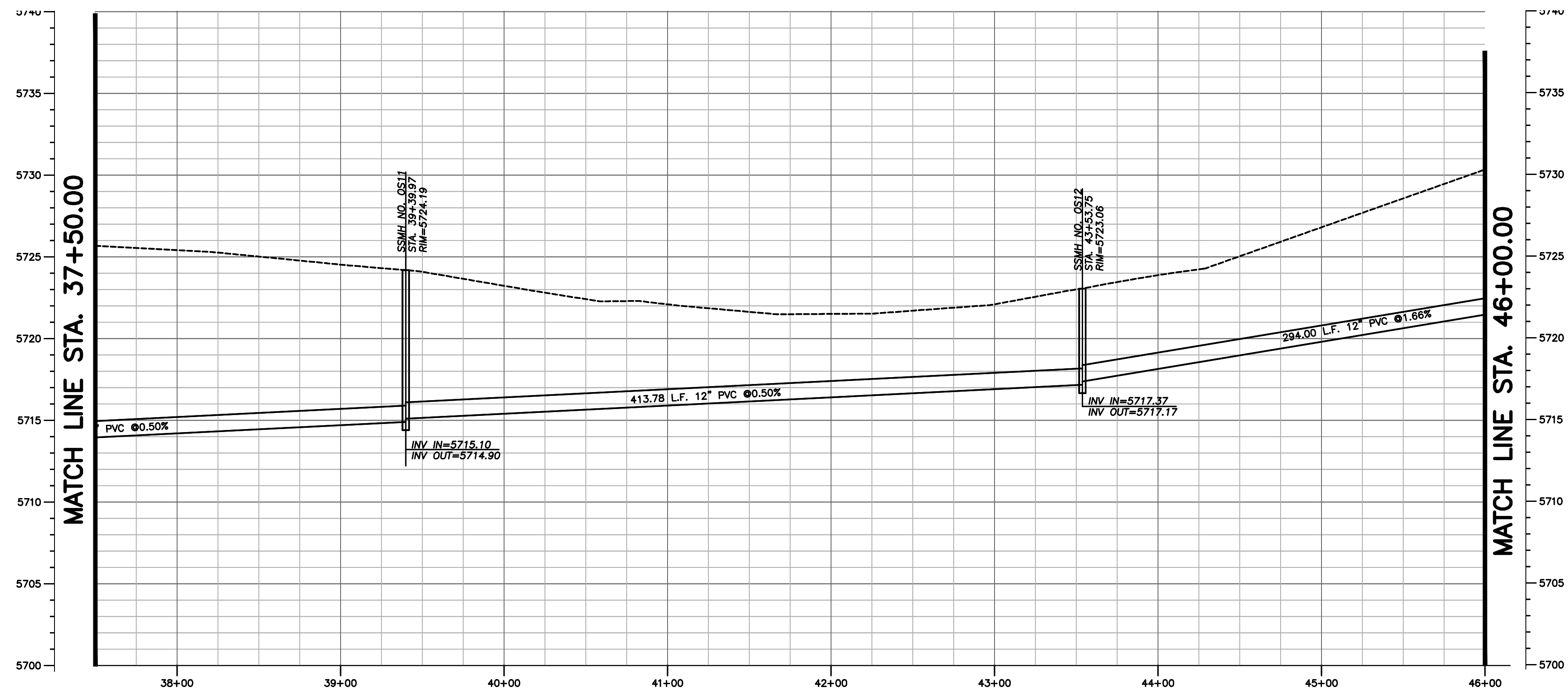
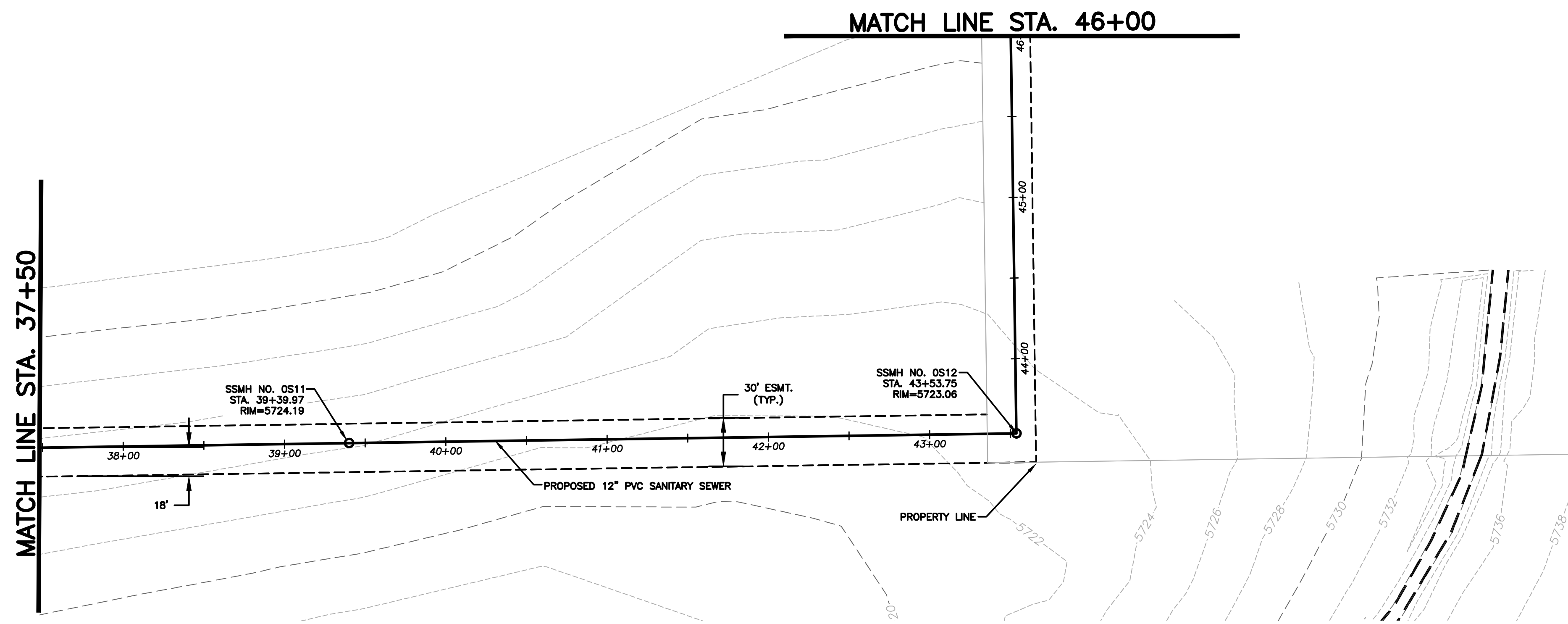
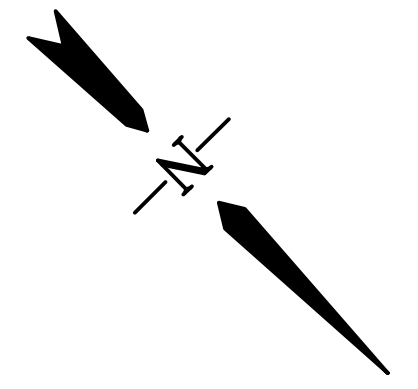
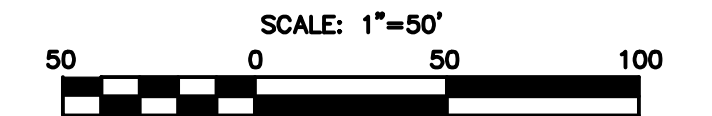
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EL PASO COUNTY
COLORADO

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WATERVIEW EAST OFF-SITE SANITARY SEWER	
Designer: BG	Structure Numbers
Detailer: PF	
Sheet Subset:	

Project No./Code	181710214
Sheet Number	4 of 11



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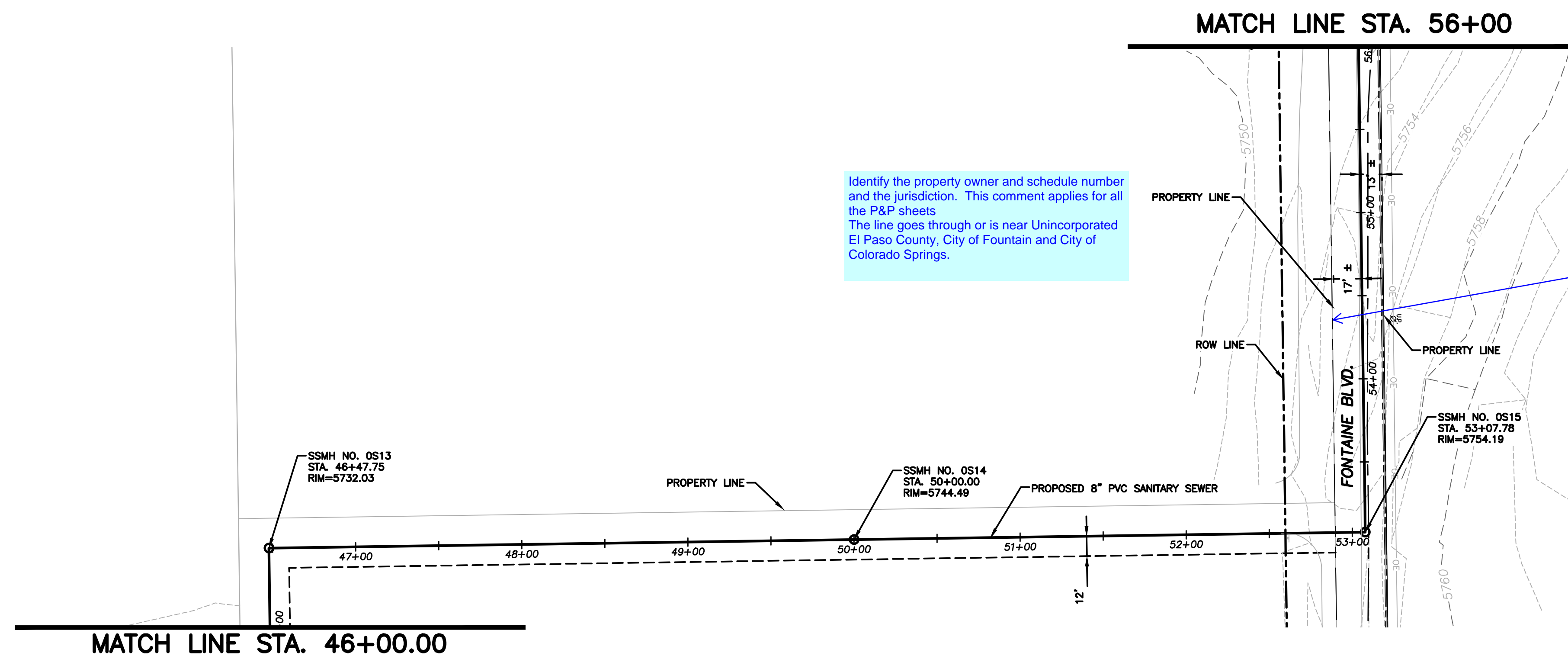
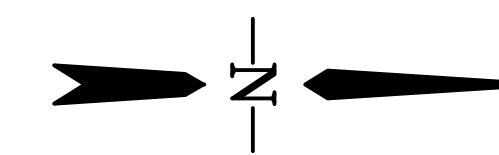
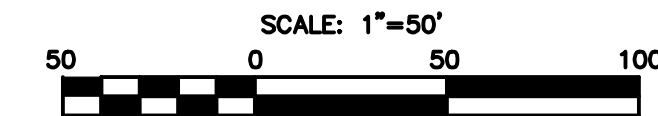
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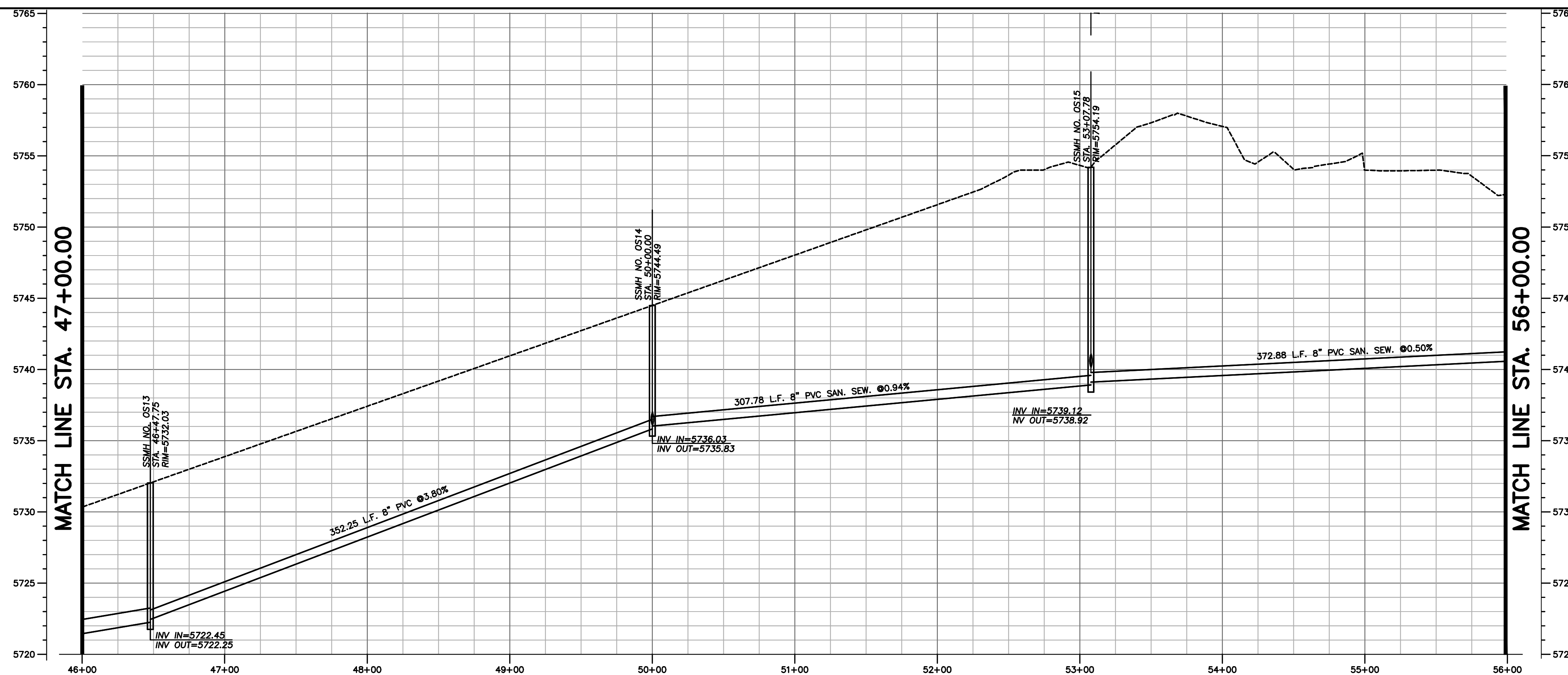
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Designer: BG	Structure	
Detailer: PF	Numbers	
Sheet Subset:		

Project No./Code	181710214
Sheet Number	5 of 11



Identify the property owner and schedule number and the jurisdiction. This comment applies for all the P&P sheets.
The line goes through or is near Unincorporated El Paso County, City of Fountain and City of Colorado Springs.

Is this section within Colorado Springs or El Paso County?
A Work-in-the-ROW permit through the EPC Dept of Public Works is required if this segment of Fontaine Blvd is County maintained.
Coordinate with the City of Colorado Springs if it's under their jurisdiction.



Computer File Information	
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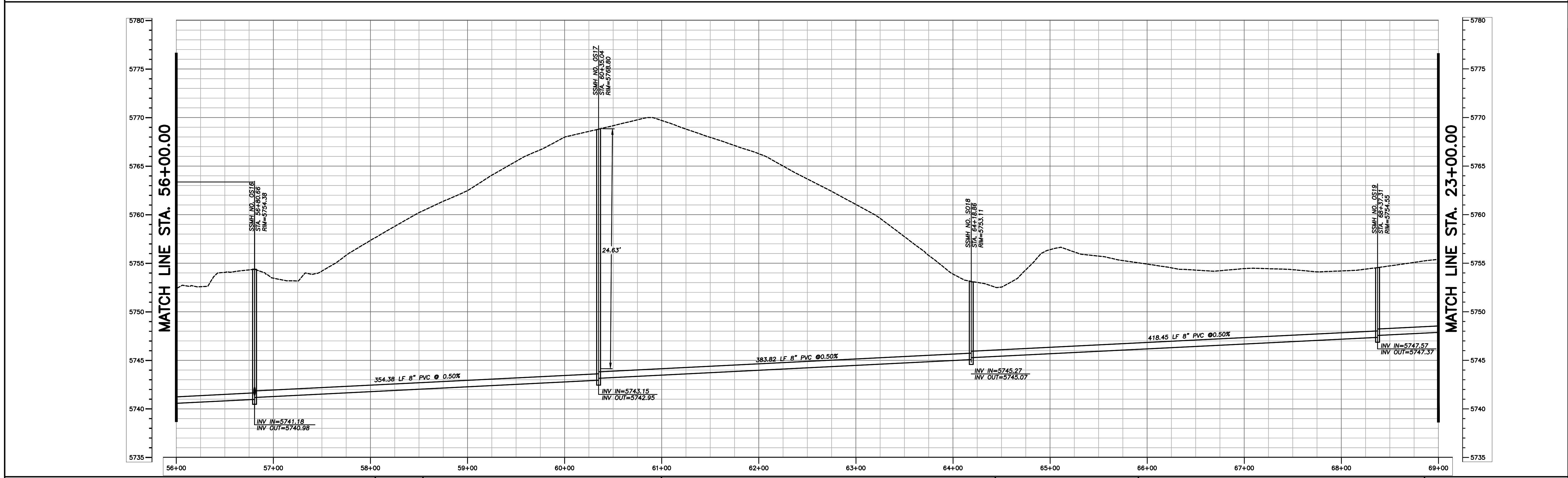
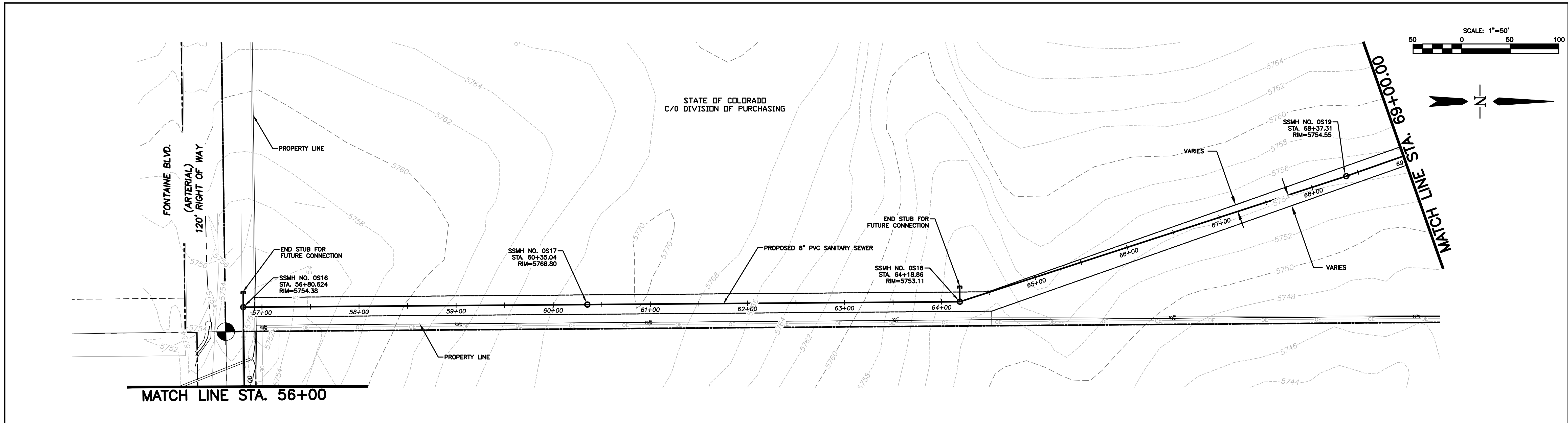
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WATERVIEW EAST OFF-SITE SANITARY SEWER	
Designer: BG	Structure
Detailer: PF	Numbers
Sheet Subset:	

Project No./Code	181710214
Sheet Number	6 of 11



Computer File Information	
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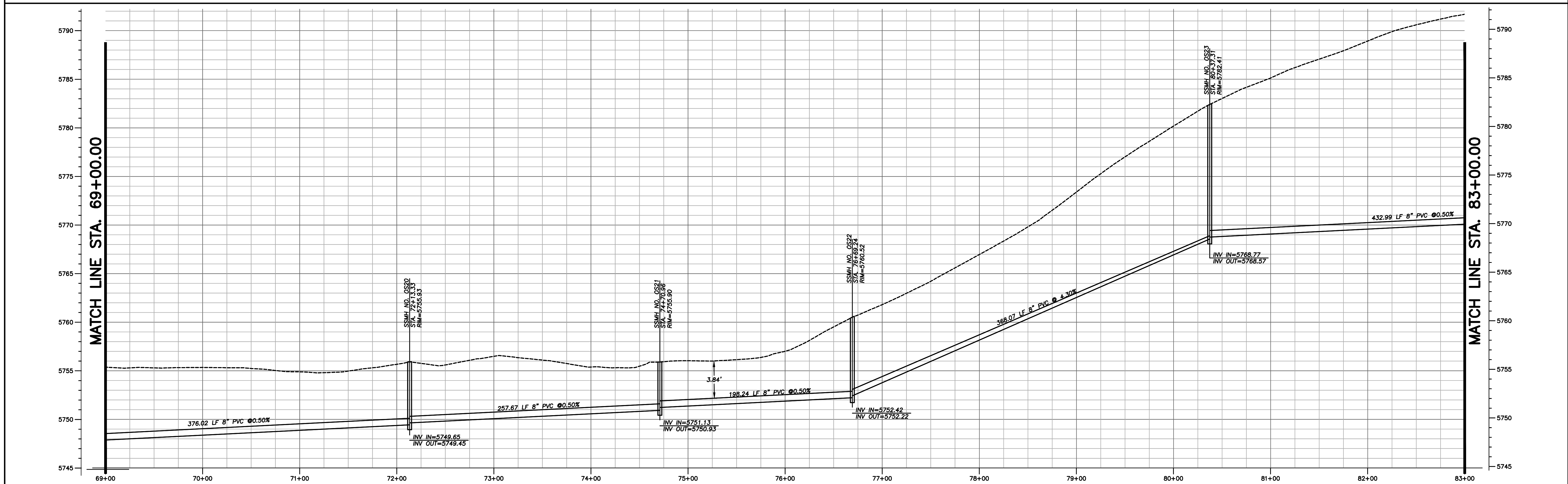
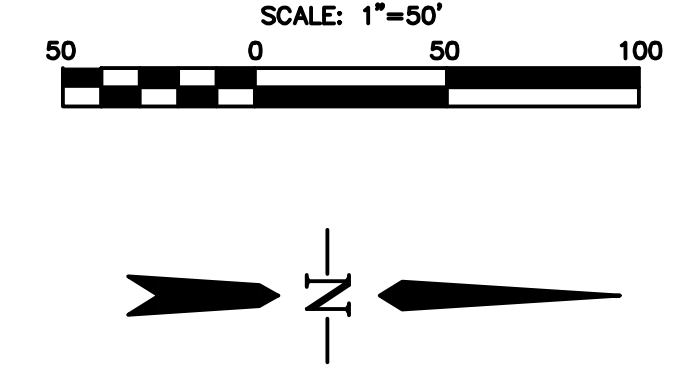
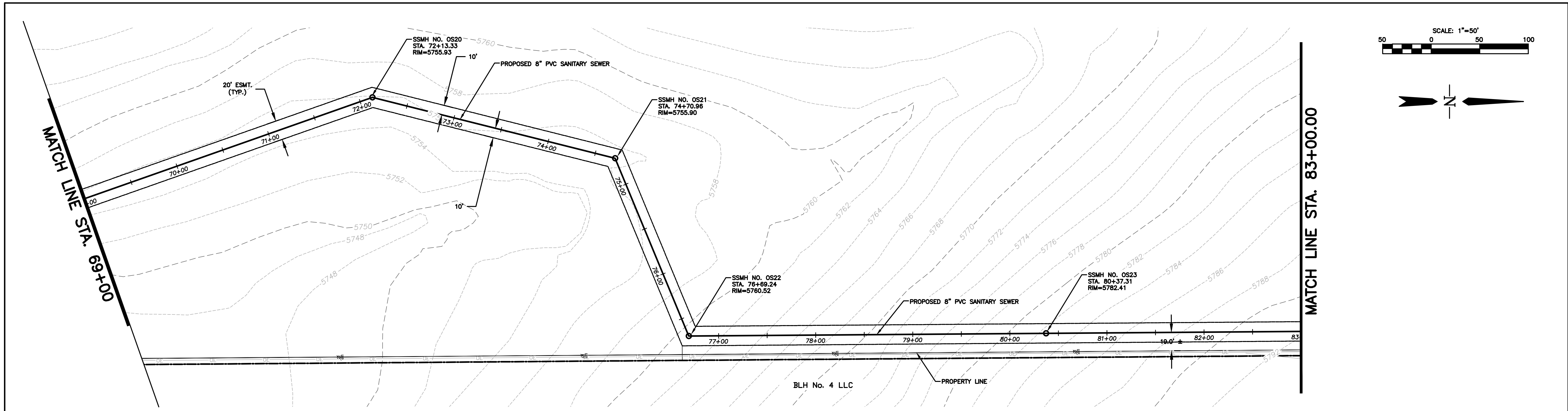
Index of Revisions	

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COLORADO

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WATERVIEW EAST OFF-SITE SANITARY SEWER	
Designer: BG	Structure Numbers
Detailer: PF	
Sheet Subset:	

Project No./Code	181710214
Sheet Number	7 of 11



Computer File Information	
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Last Modification Date: 3-9-17	Initials: BG
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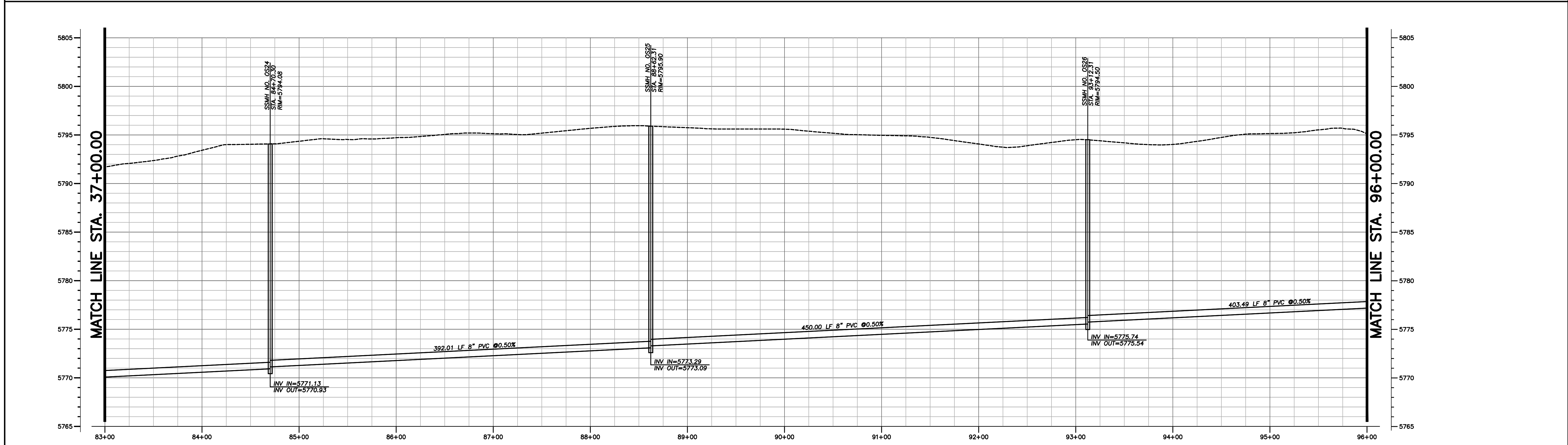
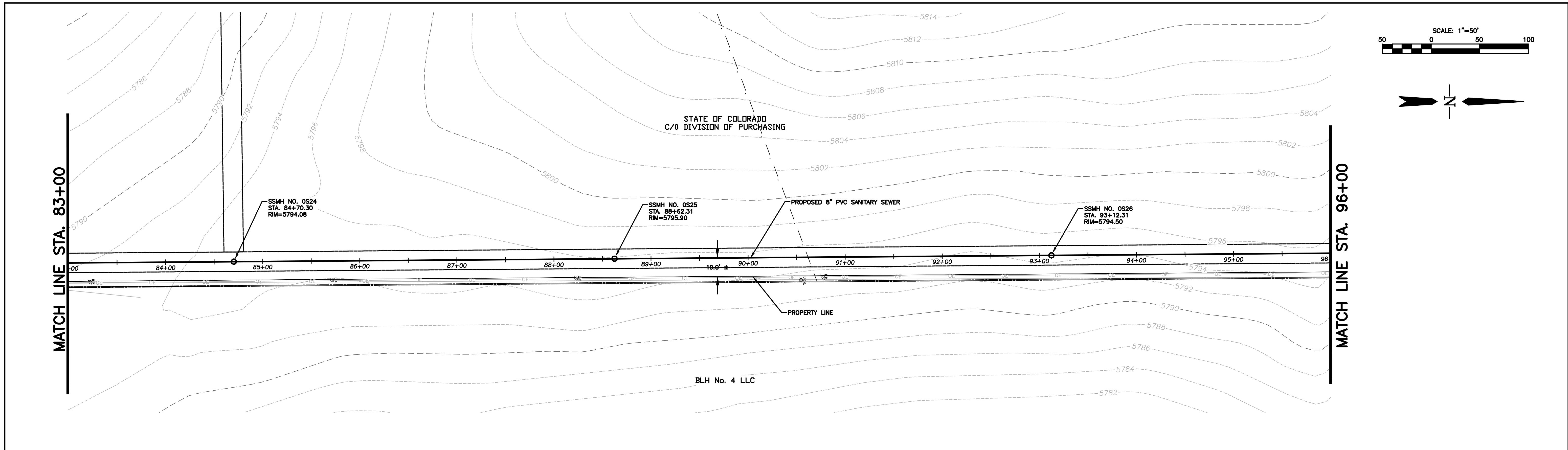
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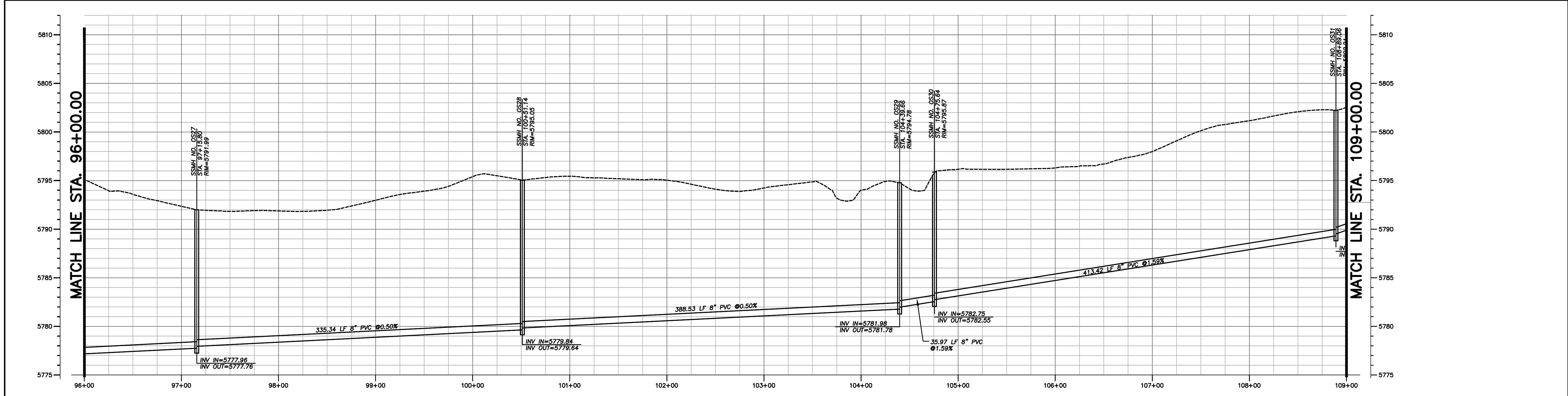
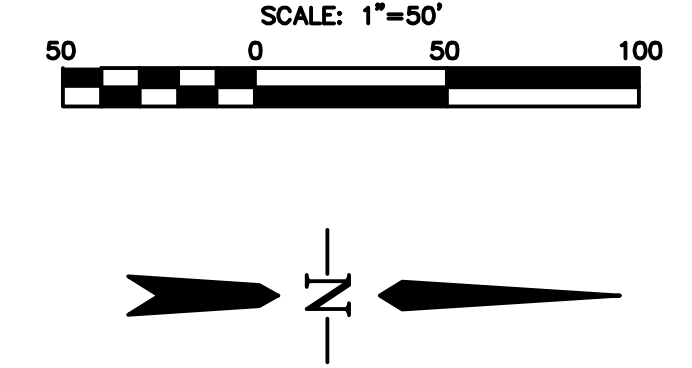
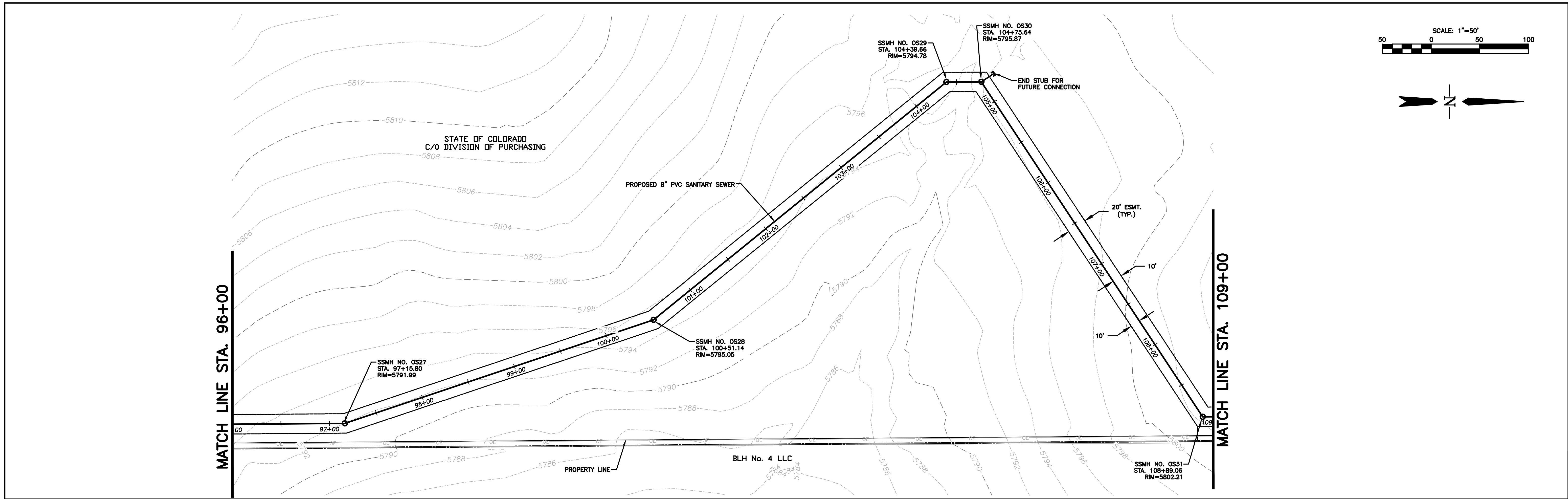
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WATERVIEW EAST OFF-SITE SANITARY SEWER	
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Detailer: PF	
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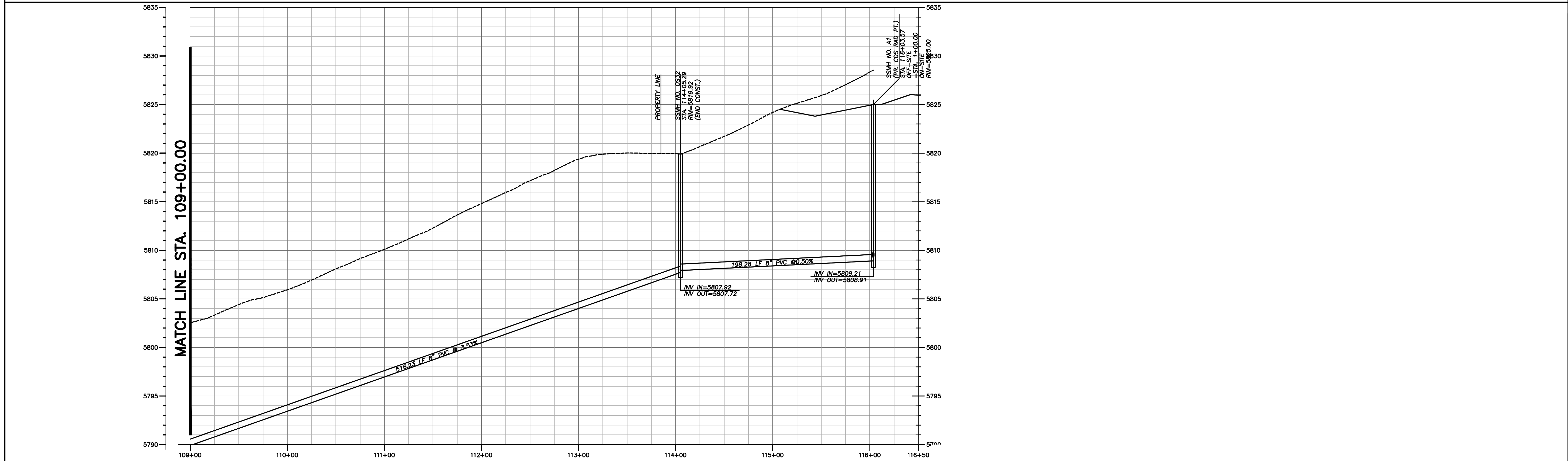
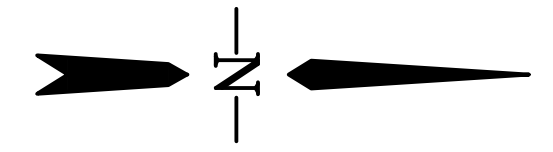
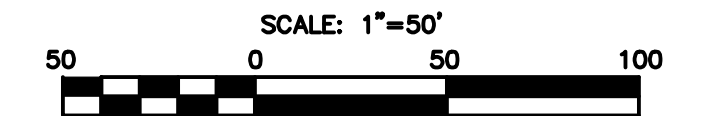
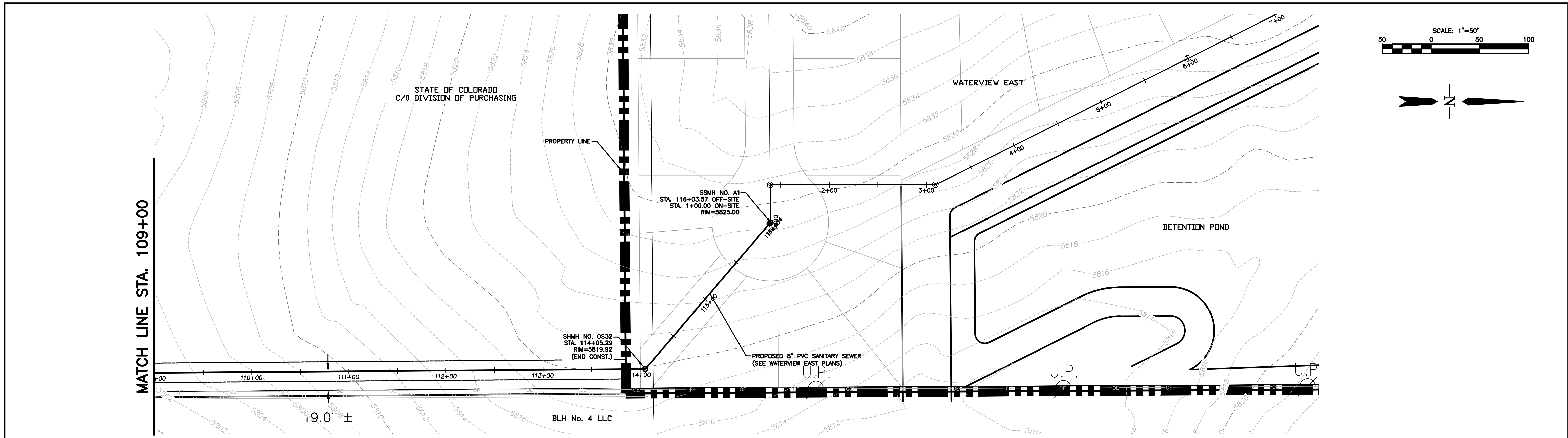
Project No./Code	181710214
Sheet Number	8 of 11



Computer File Information		Index of Revisions			 Stantec Consulting Inc. 1110 Elkton Drive Suite B Colorado Springs, CO 80907 Tel. (719) 432-6889 Fax. www.stantec.com	WATERVIEW EAST OFF-SITE SANITARY SEWER		Project No./Code	
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Last Modification Date: 3-9-17	Initials: BG					Designer: BG	Structure	Sheet Number 9 of 11	
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Acad Ver. 2014 Scale: see plan Units: Feet				Sheet Subset:					



Computer File Information		Index of Revisions				WATERVIEW EAST OFF-SITE SANITARY SEWER		Project No./Code	
Creation Date: 2-27-17	Initials: CMD							181710214	
Last Modification Date: 3-9-17	Initials: BG					Designer: BG	Structure Numbers	Sheet Number 10 of 11	
Full Path & Drawing File Name: V:\1817\active\181710214\CAD\Plansheets				Stantec Consulting Inc. 1110 Elkton Drive Suite B Colorado Springs, CO 80907 Tel. (719) 432-6889 Fax. www.stantec.com		Detailer: PF			
Acad Ver. 2014 Scale: see plan Units: Feet						Sheet Subset:			



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Last Modification Date: 3-9-17	Initials: BG
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Acad Ver. 2014	Scale: see plan Units: Feet

Index of Revisions	

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Designer: BG	Structure Numbers
Detailer: PF	
Sheet Subset:	

Project No./Code	181710214
Sheet Number	11 of 11

WATERVIEW EAST OFF-SITE WATER PLAN

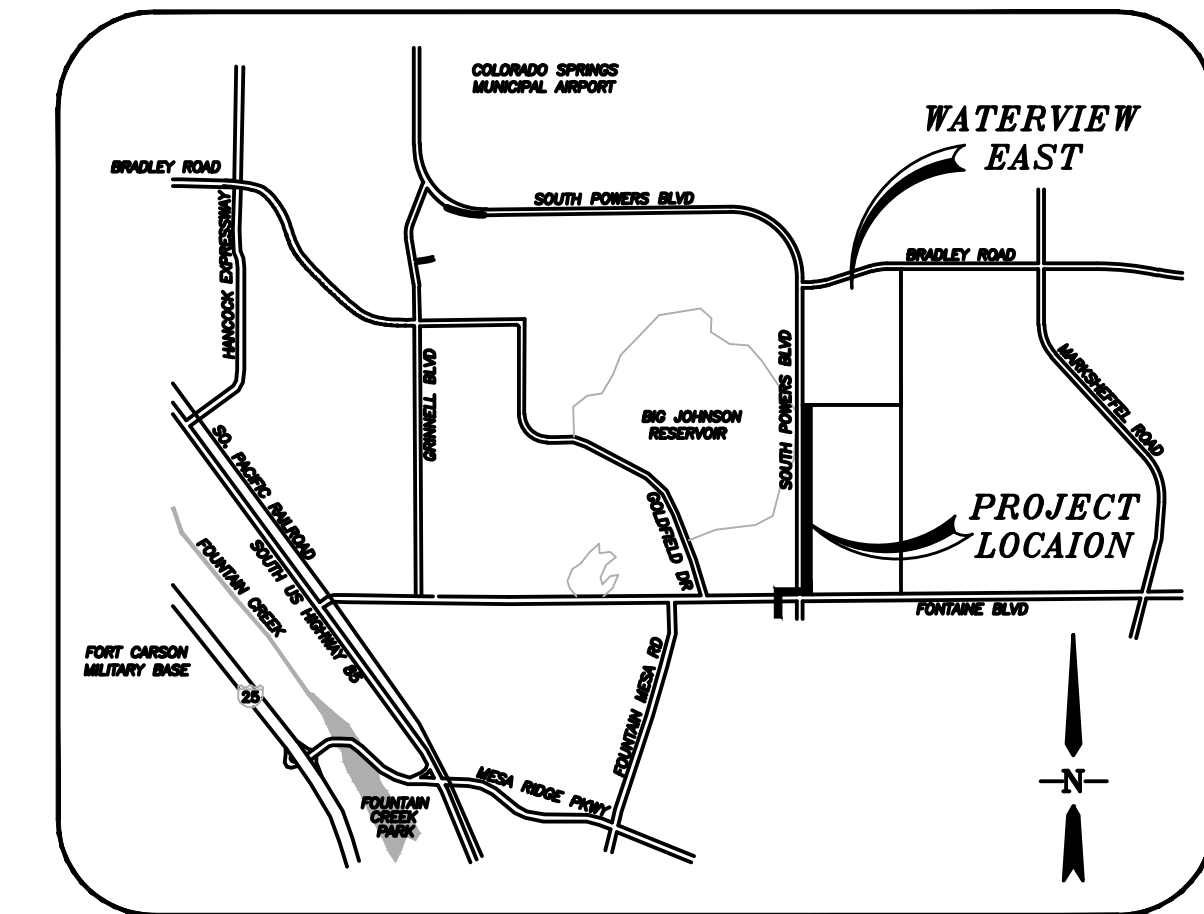
EL PASO COUNTY, STATE OF COLORADO

WIDEFIELD WATER AND SANITATION DISTRICT GENERAL NOTES:

1. ALL UTILITY CONSTRUCTION TO BE CONDUCTED IN CONFORMANCE WITH THE CURRENT WIDEFIELD WATER AND SANITATION DISTRICT SPECIFICATIONS. COMPACTION REQUIREMENTS SHALL BE 95% STANDARD PROCTOR AS DETERMINED BY ASTM D698, UNLESS OTHERWISE APPROVED BY THE WIDEFIELD WATER AND SANITATION DISTRICT OR A HIGHER STANDARD IS IMPOSED BY ANOTHER AGENCY HAVING RIGHT-OF-WAY JURISDICTION.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE WIDEFIELD WATER AND SANITATION DISTRICT. THE WIDEFIELD WATER AND SANITATION DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
3. THE DEVELOPER OR HIS ENGINEER HAS LOCATED ALL FIRE HYDRANTS AND FUTURE SERVICE STUBS. ANY REQUIRED REALIGNMENT, EITHER HORIZONTAL OR VERTICAL, SHALL BE AT THE EXPENSE OF THE DEVELOPER.
4. ALL DUCTILE IRON PIPE, TO INCLUDE FITTINGS, VALVES AND FIRE HYDRANTS WILL BE WRAPPED WITH POLYETHYLENE TUBING, AND ELECTRICALLY ISOLATED.
5. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE DOUBLE BONDED. SPECIFICATIONS FOR CATHODIC PROTECTION ON BOTH DIP MAINS AND PVC MAINS IS SPECIFIED IN THE STANDARDS AND SPECIFICATIONS.
6. PVC MAIN LINES SHALL BE INSTALLED WITH COATED NO. 12 TRACER WIRE.
7. THE CONTRACTOR IS REQUIRED TO NOTIFY THE WIDEFIELD WATER AND SANITATION DISTRICT (390-7111) A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY AFFECTED UTILITY COMPANIES 48 HOURS PRIOR TO CONSTRUCTION ADJACENT TO THE KNOWN UTILITY LINES.
8. THE LOCATION OF ALL UTILITIES AS SHOWN ON THESE DRAWINGS ARE APPROXIMATE ONLY. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED PRIOR TO CONSTRUCTION BY THE CONTRACTOR.
9. THE CONTRACTOR SHALL FIELD EXCAVATE AND VERIFY THE VERTICAL AND HORIZONTAL LOCATION OF ALL TIE-INS. CONTRACTOR SHALL NOTIFY THE WIDEFIELD WATER AND SANITATION DISTRICT AND THE ENGINEER OF THE FIELD VERIFIED INFORMATION PRIOR TO CONSTRUCTION.
10. ALL BENDS SHALL BE FIELD STAKED PRIOR TO CONSTRUCTION.
11. ANY WATER UTILITY MATERIAL REMOVED AND NOT REUSED SHALL BE RETURNED TO THE WIDEFIELD WATER AND SANITATION DISTRICT IF THE DISTRICT SO REQUESTS.
12. THE CONTRACTOR SHALL AT HIS EXPENSE SUPPORT AND PROTECT ALL UTILITY MAINS SO THAT THEY WILL FUNCTION CONTINUOUSLY DURING CONSTRUCTION. SHOULD A UTILITY MAIN FAIL AS A RESULT OF THE CONTRACTOR'S OPERATION, IT WILL BE REPLACED IMMEDIATELY BY EITHER THE CONTRACTOR OR THE WIDEFIELD WATER AND SANITATION DISTRICT AT FULL COST OF LABOR AND MATERIALS TO THE CONTRACTOR.
13. ANY PUMPING OR BYPASS OPERATIONS MUST BE REVIEWED AND APPROVED PRIOR TO EXECUTION BY BOTH THE WIDEFIELD WATER AND SANITATION DISTRICT AND THE ENGINEER.
14. CONTRACTOR MUST REPLACE OR REPAIR ANY DAMAGE TO ALL SURFACE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO FENCES, CURB AND GUTTER AND/OR ASPHALT THAT MAY BE CAUSED DURING CONSTRUCTION.
15. ALL WATER LINES 6" AND LARGER, AND ALL SEWER LINES 8" AND LARGER, SHALL HAVE AS-BUILT PLANS PREPARED AND APPROVED PRIOR TO FINAL ACCEPTANCE BY THE WIDEFIELD WATER AND SANITATION DISTRICT.
16. PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE IS REQUIRED A MINIMUM OF 72 HOURS IN ADVANCE OF COMMENCEMENT OF WORK. TO SET THE PRE-CONSTRUCTION CONFERENCE, CONTACT BRANDON BERNARD-WATER SUPERINTENDENT (491-2051) AND/OR MARK MCCORMICK, WASTEWATER SUPERINTENDENT (491-0128) OF THE WIDEFIELD WATER AND SANITATION DISTRICT FOR A TIME. NO PRE-CONSTRUCTION CONFERENCE TIMES WILL BE SET UNTIL 4 SETS OF SIGNED DRAWINGS ARE RECEIVED BY THE WIDEFIELD W & S DISTRICT. PRE-CONSTRUCTION DATE /INITIALS.

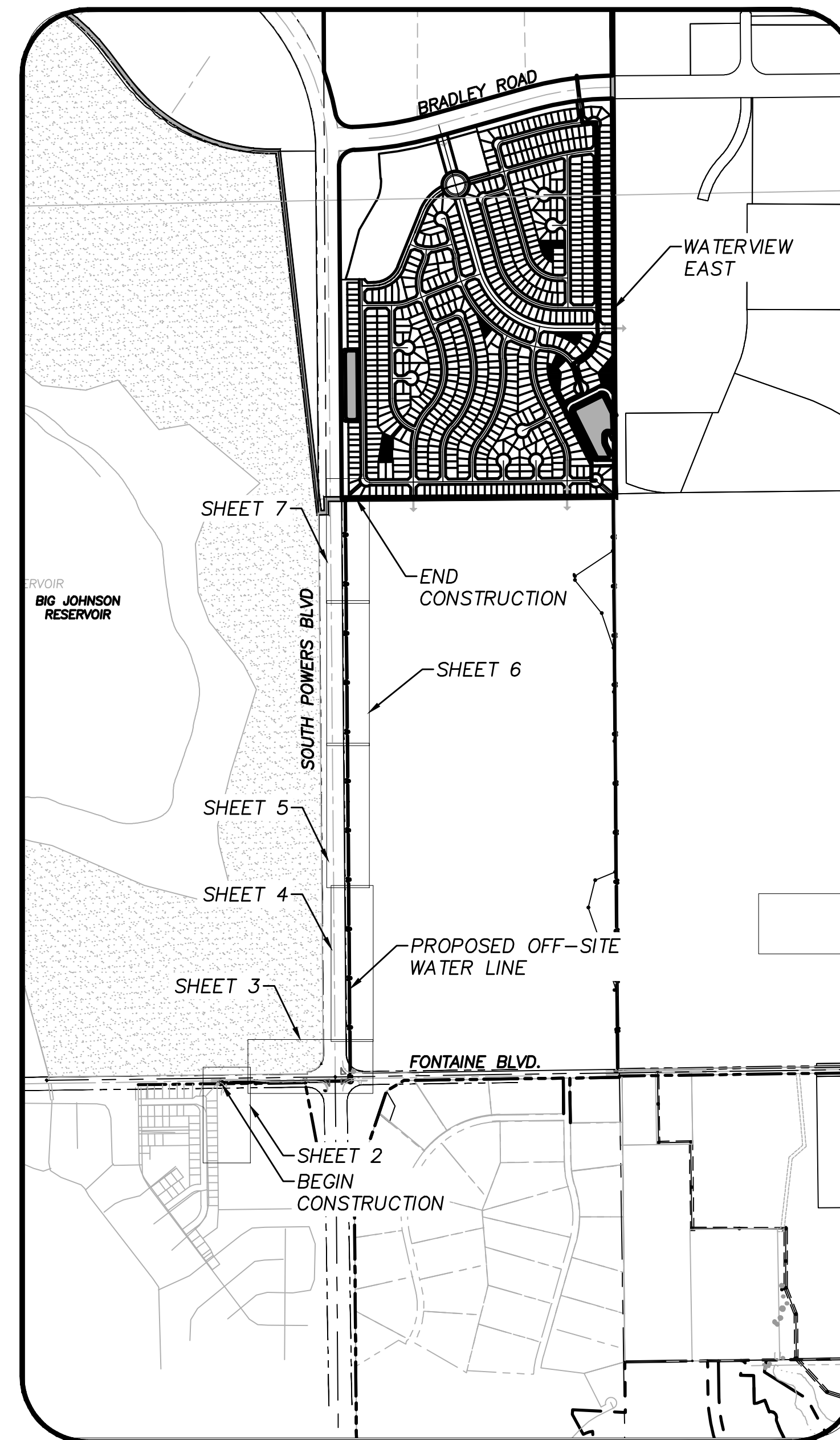
SHEET INDEX

1. TITLE SHEET
2. OFF-SITE WATER P&P (1 OF 6)
3. OFF-SITE WATER P&P (2 OF 6)
4. OFF-SITE WATER P&P (3 OF 6)
5. OFF-SITE WATER P&P (4 OF 6)
6. OFF-SITE WATER P&P (5 OF 6)
7. OFF-SITE WATER P&P (6 OF 6)



VICINITY MAP
N.T.S.

Include the EPC signature block.
Coordinate with CDOT for their requirements for approving the construction plans.



LOCATION MAP
SCALE: 1"=1000'

WIDEFIELD WATER AND SANITATION DISTRICT GENERAL NOTES:

WATER AND SEWER MAIN EXTENSIONS

ANY CHANGES OR ALTERATIONS AFFECTING THE GRADE, ALIGNMENT, ELEVATION AND/OR DEPTH OF COVER OF ANY WATER OR SEWER MAINS OR OTHER APPURTENANCE SHOWN ON THIS DRAWING SHALL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR ALL OPERATIONAL DAMAGES AND DEFECTS IN INSTALLATION AND MATERIAL FOR MAINS AND SERVICES FROM THE DATE OF APPROVAL UNTIL FINAL ACCEPTANCE IS ISSUED.

SIGNED _____ DATE _____
OWNER/DEVELOPER
PRINT NAME _____
DBA _____
ADDRESS _____

FIRE AUTHORITY APPROVAL

THE NUMBER OF FIRE HYDRANTS AND HYDRANT LOCATIONS SHOWN ON THIS WATER INSTALLATION PLAN ARE CORRECT AND ADEQUATE TO SATISFY THE FIRE PROTECTION REQUIREMENTS AS SPECIFIED BY THE FIRE DISTRICT SERVING THE PROPERTY NOTED ON THE PLANS.

FIRE PROTECTION DISTRICT _____
SIGNED _____ DATE _____
FIRE PROTECTION DISTRICT

DISTRICT APPROVALS

THE WIDEFIELD WATER AND SANITATION DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

WIDEFIELD WATER AND SANITATION DISTRICT WATER DESIGN APPROVAL

DATE: _____ BY: _____
PROJECT NO. _____

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE 'RULES AND REGULATIONS FOR INSTALLATION OF WATER MAINS AND SERVICES' SHALL RULE.

APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL

THE WIDEFIELD WATER AND SANITATION DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

WIDEFIELD WATER AND SANITATION DISTRICT WASTEWATER DESIGN APPROVAL

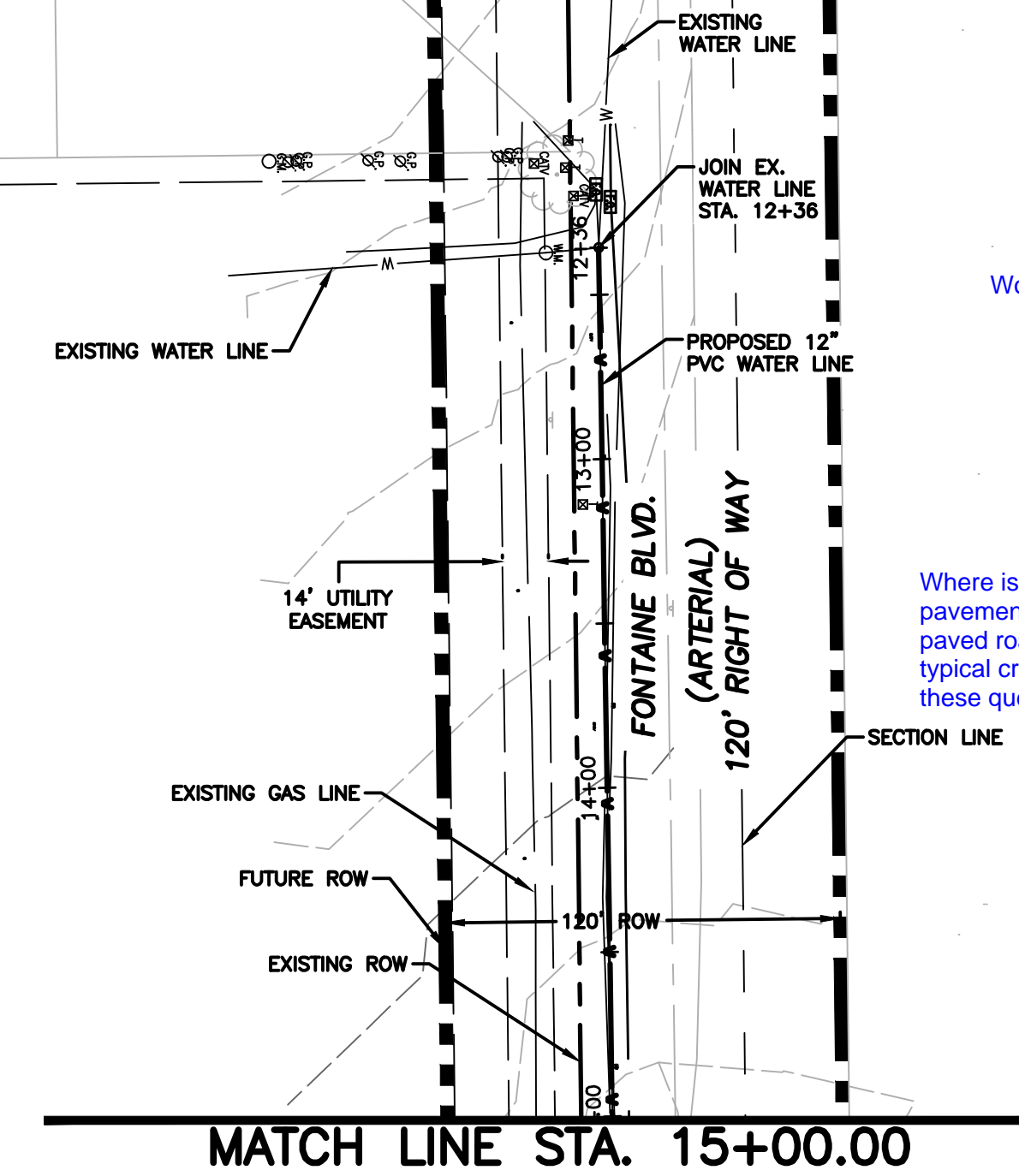
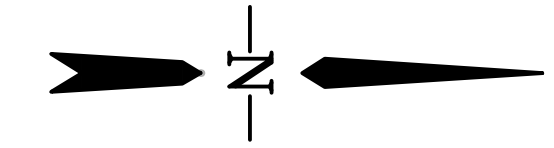
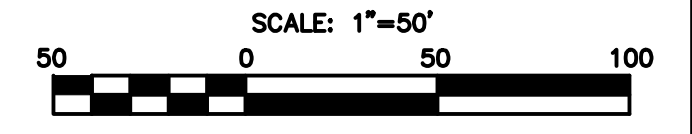
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PROJECT NO. _____

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE 'RULES AND REGULATIONS FOR INSTALLATION OF WASTEWATER MAINS AND SERVICES' SHALL RULE.

APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL

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Last Modification Date: 5-4-17	Initials: BG					Designer: CMD/BG Structure Detailer: PF/BG Numbers		
Full Path & Drawing File Name: V:\1817\active\181710214\CAD\Plansheets Off-Site Water						Sheet Subst:		Sheet Number 1 of 7
Acad Ver. 2014	Scale: see plan	Units: Feet						

SUNRISE RODGE SUBDIVISION
FILING No. 2



Work-in-the-ROW Permit is required.

Where is the existing edge of pavement? What is the extend of paved road being removed? A typical cross section may clarify these questions.

MATCH LINE STA. 15+00.00



Computer File Information

Creation Date: 4-17-17 Initials: CMD
 Last Modification Date: 4-17-17 Initials: BG
 Full Path & Drawing File Name: V:\1817\active\181710214\CAD\Plansheets
 off-site water line
 Acad Ver. 2014 Scale: see plan Units: Feet

Index of Revisions

No.	Description	Date	By



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WATERVIEW EAST
OFF-SITE WATER LINE

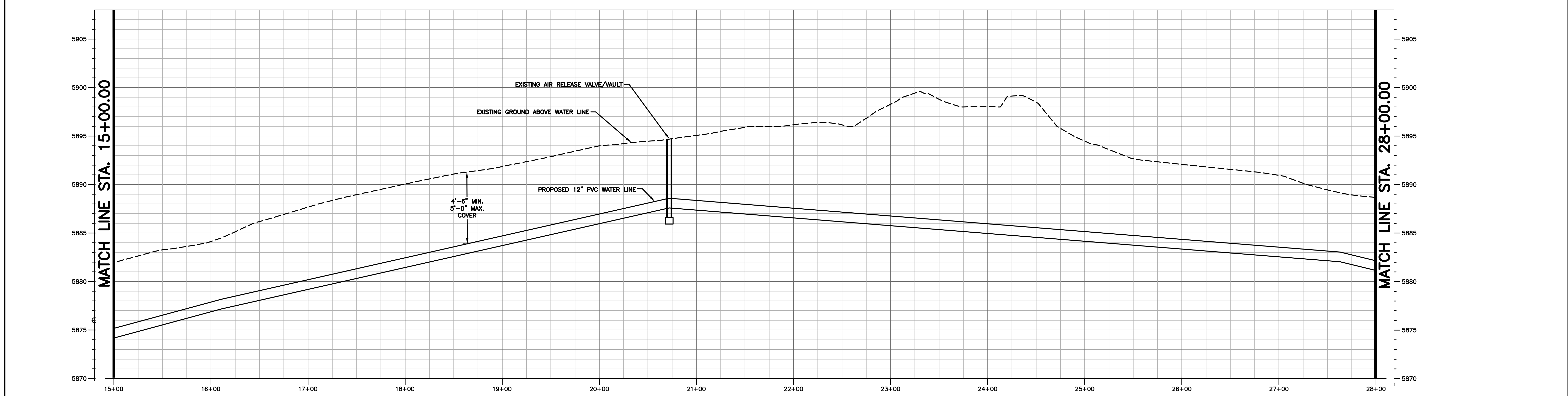
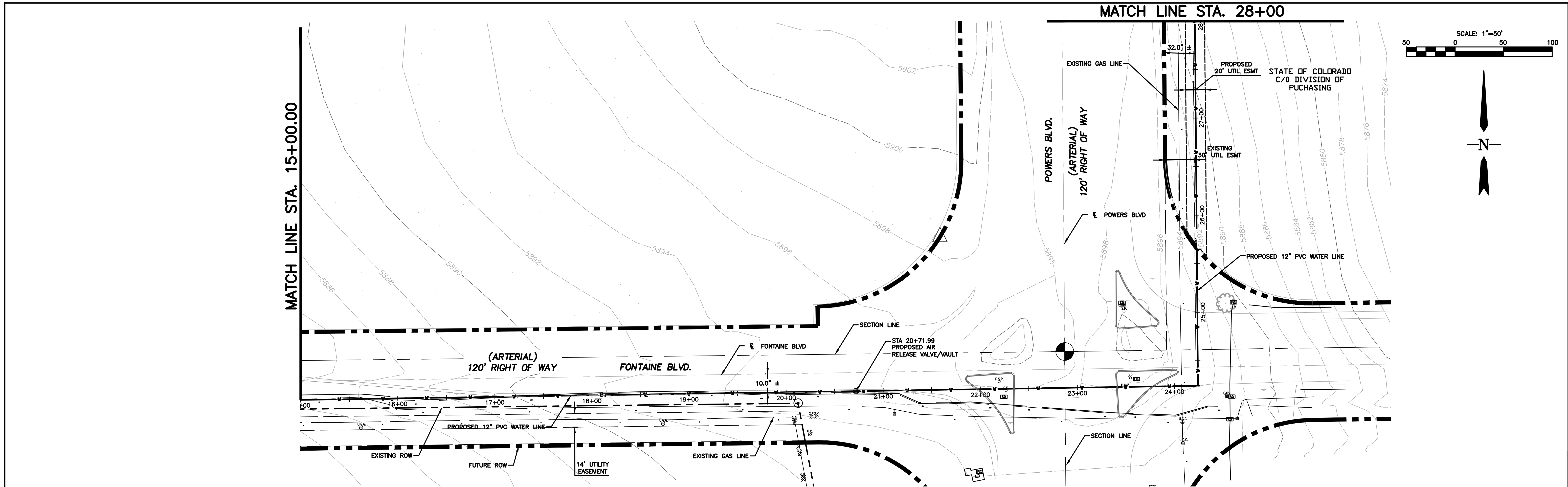
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 Detailer: PF
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Structure
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Project No./Code

181710214

Sheet Number 2 of 7



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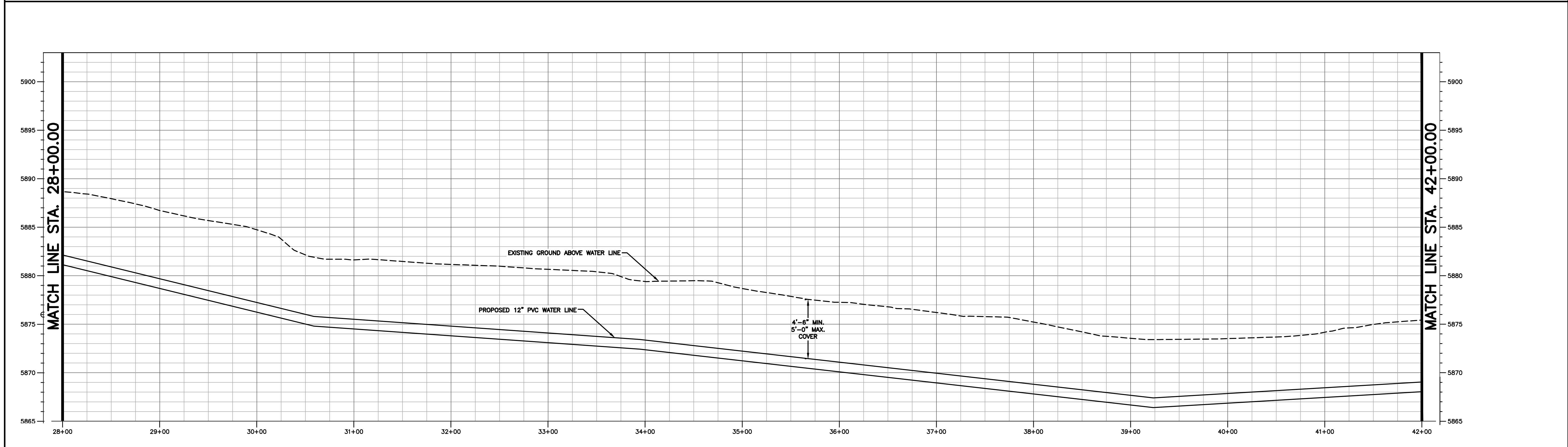
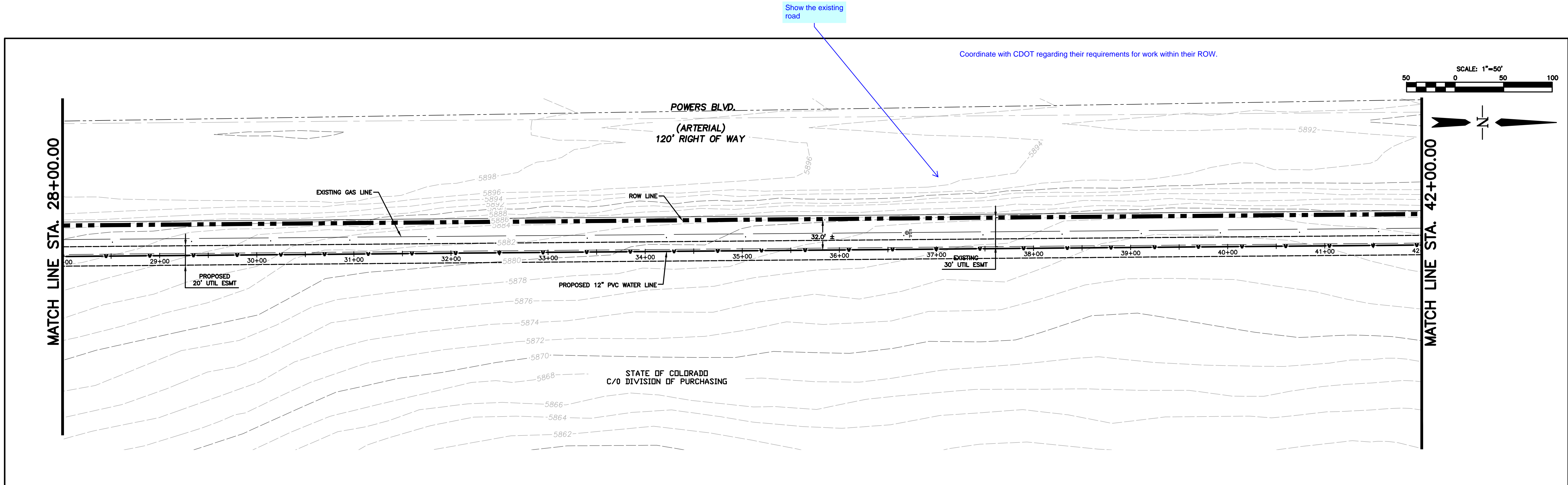
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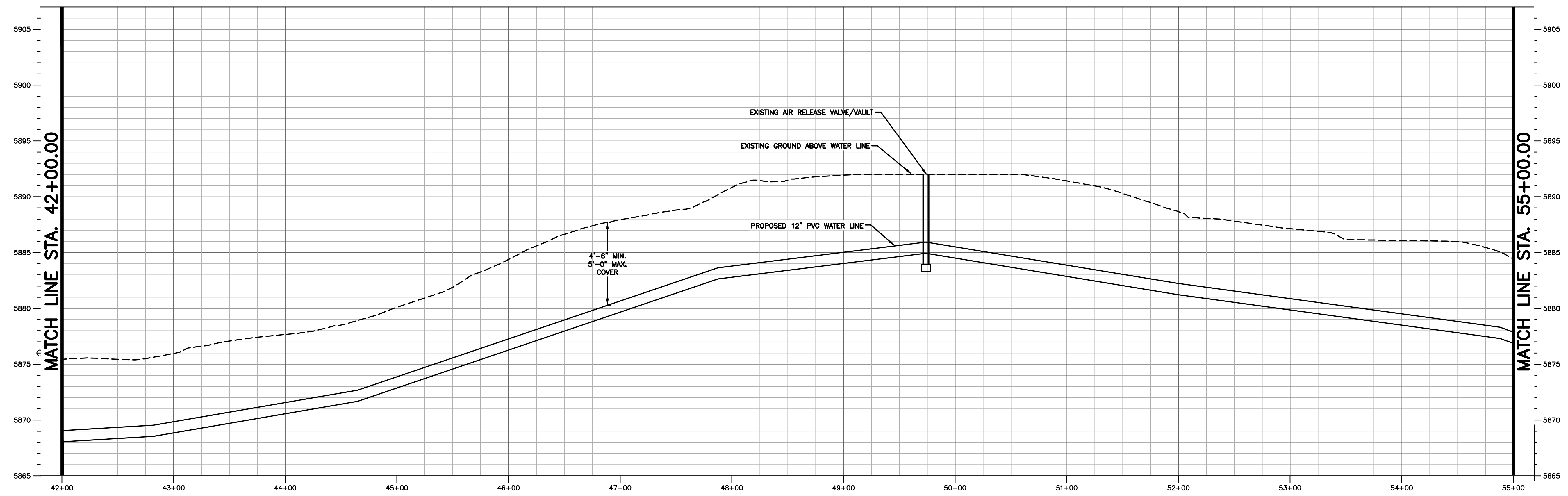
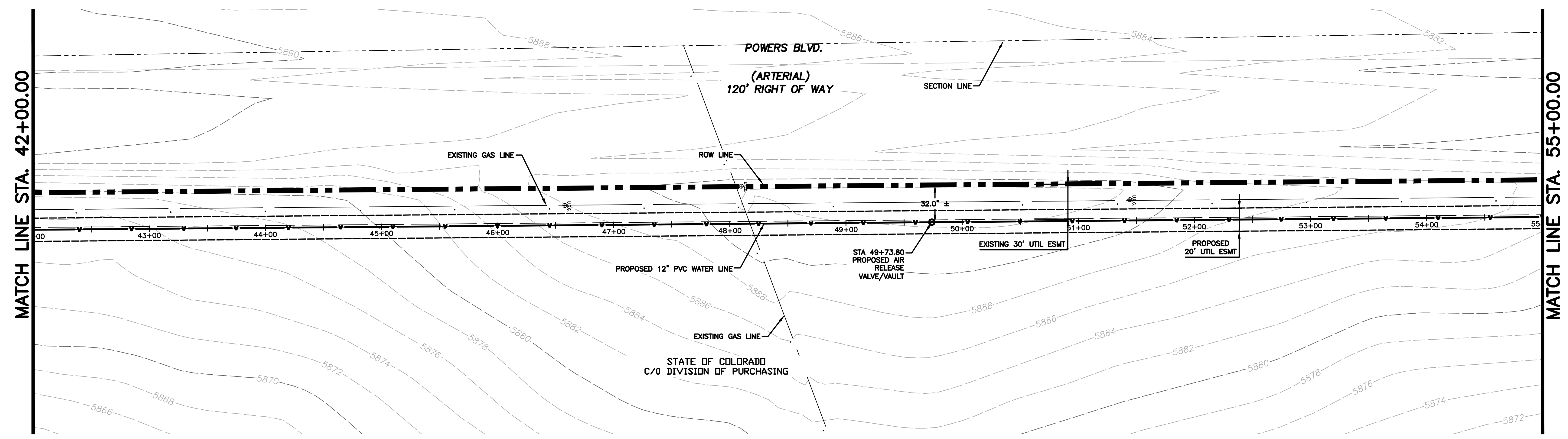
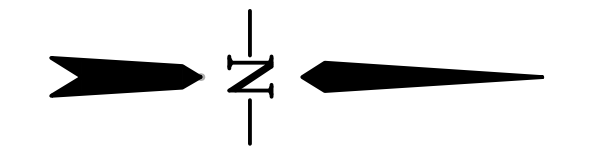
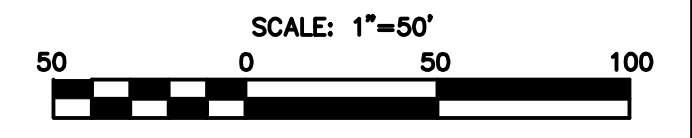
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WATERVIEW EAST OFF-SITE WATER LINE	
Designer: BG	Structure Numbers
Detailer: PF	
Sheet Subset:	

Project No./Code	181710214
Sheet Number	3 of 7





Computer File Information	
Creation Date: 4-17-17	Initials: CMD
Last Modification Date: 4-17-17	Initials: BG
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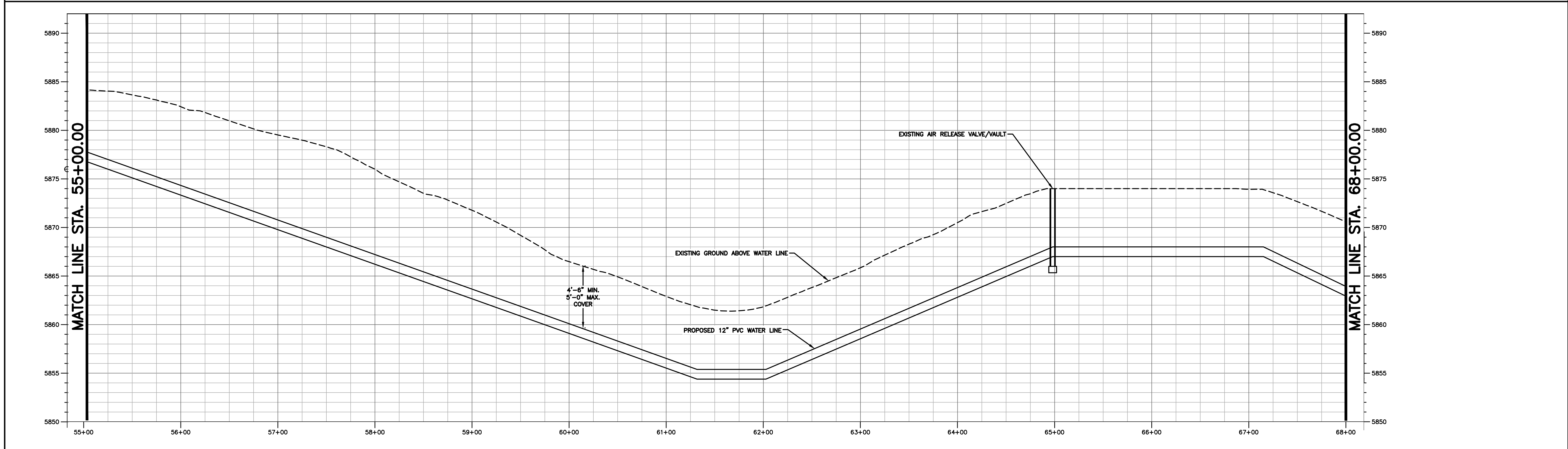
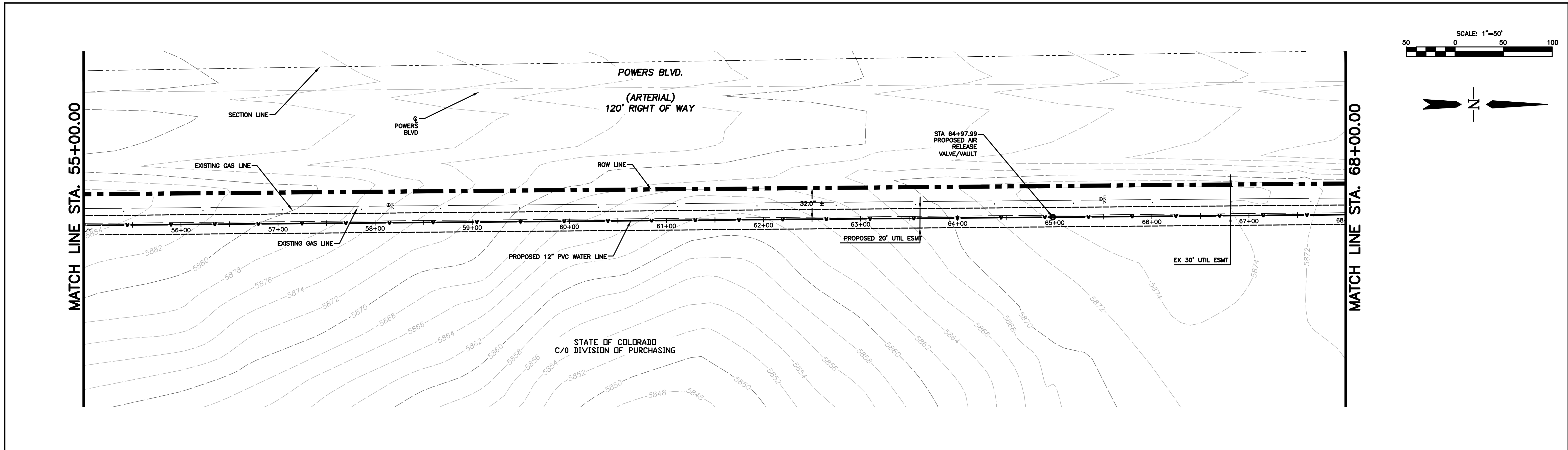
Index of Revisions	

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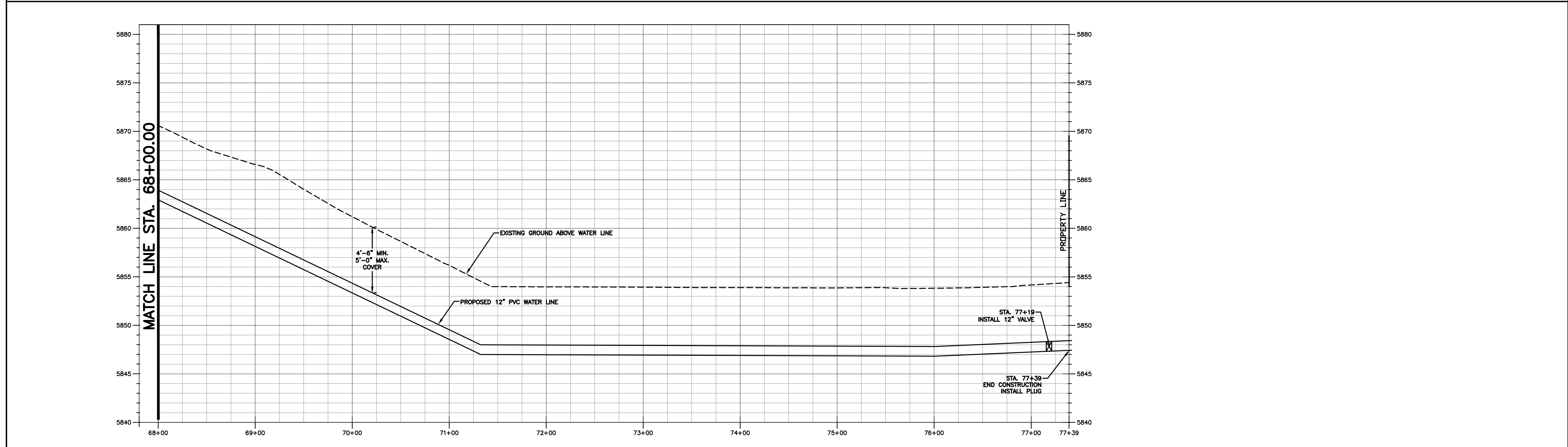
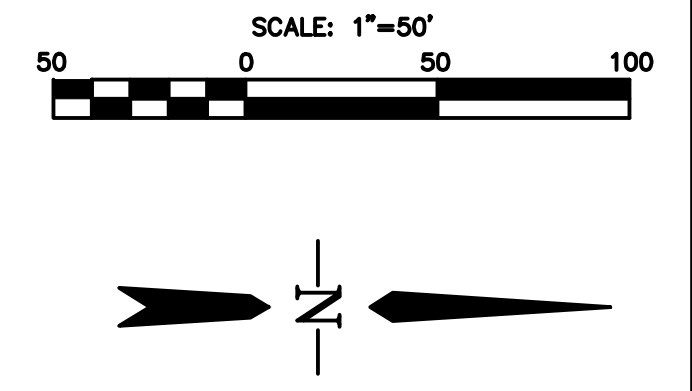
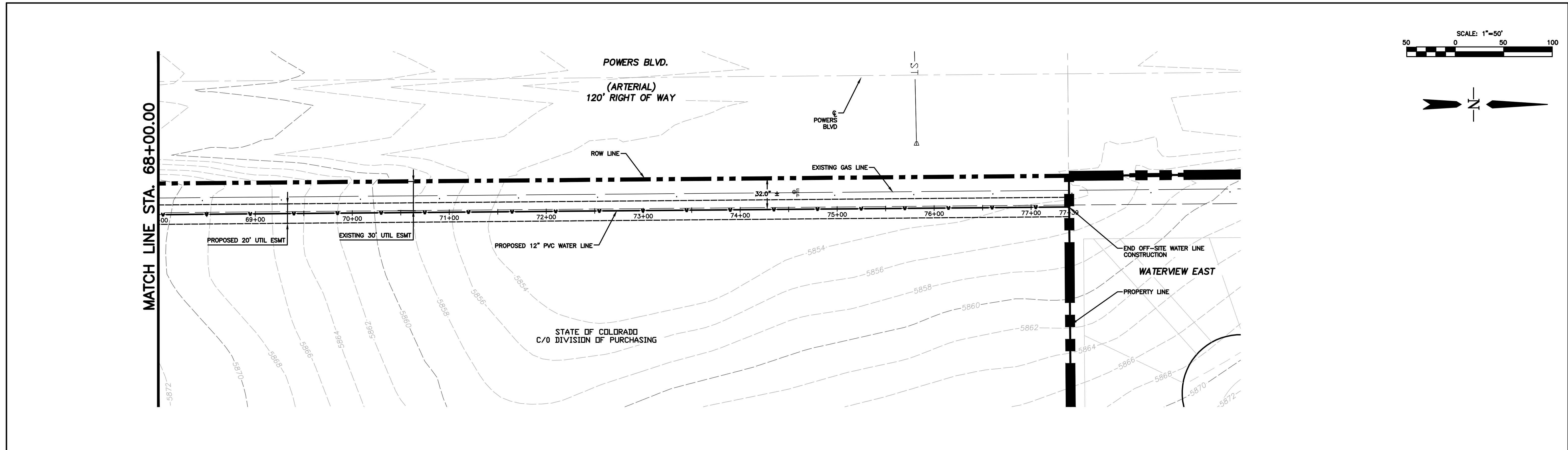
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WATERVIEW EAST OFF-SITE WATER LINE	
Designer: BG	Structure Numbers
Detailer: PF	
Sheet Subset:	

Project No./Code	181710214
Sheet Number	5 of 7



Computer File Information		Index of Revisions			 Stantec Consulting Inc. 1110 Elkton Drive Suite B Colorado Springs, CO 80907 Tel. (719) 432-6889 Fax. www.stantec.com	WATERVIEW EAST OFF-SITE WATER LINE		Project No./Code
						Designer: BG Detailer: PF Sheet Subset:	Structure Numbers	181710214 Sheet Number 6 of 7



Computer File Information	
Creation Date: 4-17-17	Initials: CMD
Last Modification Date: 4-17-17	Initials: BG
Full Path & Drawing File Name: V:\1817\active\181710214\CAD\Plansheets off-site water line	
Acad Ver. 2014	Scale: see plan Units: Feet

Index of Revisions	

WATERVIEW EAST OFF-SITE WATER LINE	
Designer: BG	Structure Numbers
Detailer: PF	
Sheet Subset:	

Project No./Code	181710214
Sheet Number	7 of 7

Markup Summary

dsdlaforce (13)



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Page Label: 1
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Author: dsdlaforce

Remove the first 19 sheets of the pdf (Preliminary Plan and GEC Plan). These were submitted under a specific document item.



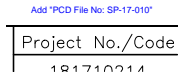
Subject: Text Box
Page Label: 20
Lock: Unlocked
Author: dsdlaforce

Include the EPC signature block. Coordinate with Fountain and City of Colorado Springs whether or not they also need to sign the plans for the portions within their city limits.



Subject: Text Box
Page Label: 20
Lock: Unlocked
Author: dsdlaforce

Approval from offsite property owners must be obtained. Provide a copy to PCD.



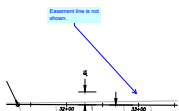
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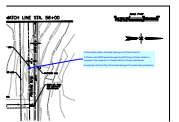
Subject: Callout
Page Label: 21
Lock: Unlocked
Author: dsdlaforce

Identify if they are proposed or existing easements on all the P&P sheets. If existing identify the reception number. If proposed, provide a copy of the recorded easement to PCD.



Subject: Callout
Page Label: 23
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Author: dsdlaforce

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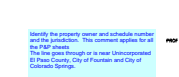


Subject: Callout
Page Label: 25
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Author: dsdlaforce

Is this section within Colorado Springs or El Paso County?

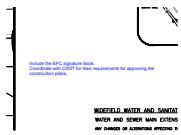
A Work-in-the-ROW permit through the EPC Dept of Public Works is required if this segment of Fontaine Blvd is County maintained.

Coordinate with the City of Colorado Springs if it's under their jurisdiction.



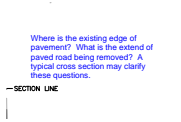
Subject: Text Box
Page Label: 25
Lock: Unlocked
Author: dsdlaforce

Identify the property owner and schedule number and the jurisdiction. This comment applies for all the P&P sheets
The line goes through or is near Unincorporated El Paso County, City of Fountain and City of Colorado Springs.



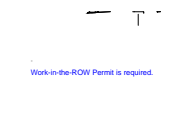
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Author: dsdlaforce

Include the EPC signature block. Coordinate with CDOT for their requirements for approving the construction plans.



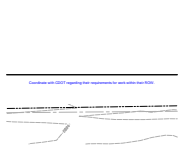
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Author: dsdlaforce

Where is the existing edge of pavement? What is the extent of paved road being removed? A typical cross section may clarify these questions.



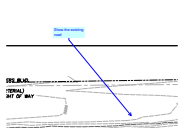
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Work-in-the-ROW Permit is required.



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Page Label: 34
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Coordinate with CDOT regarding their requirements for work within their ROW.



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Page Label: 34
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Show the existing road