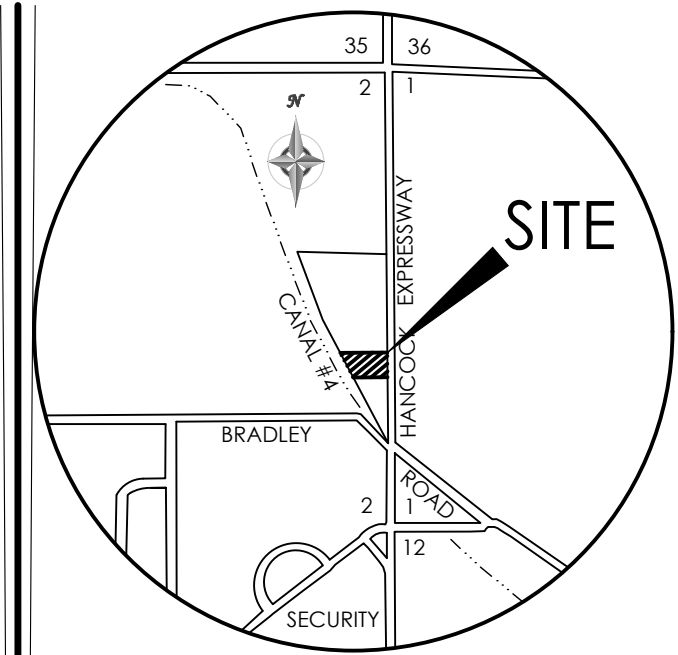


# SITE DEVELOPMENT PLAN

## FOR

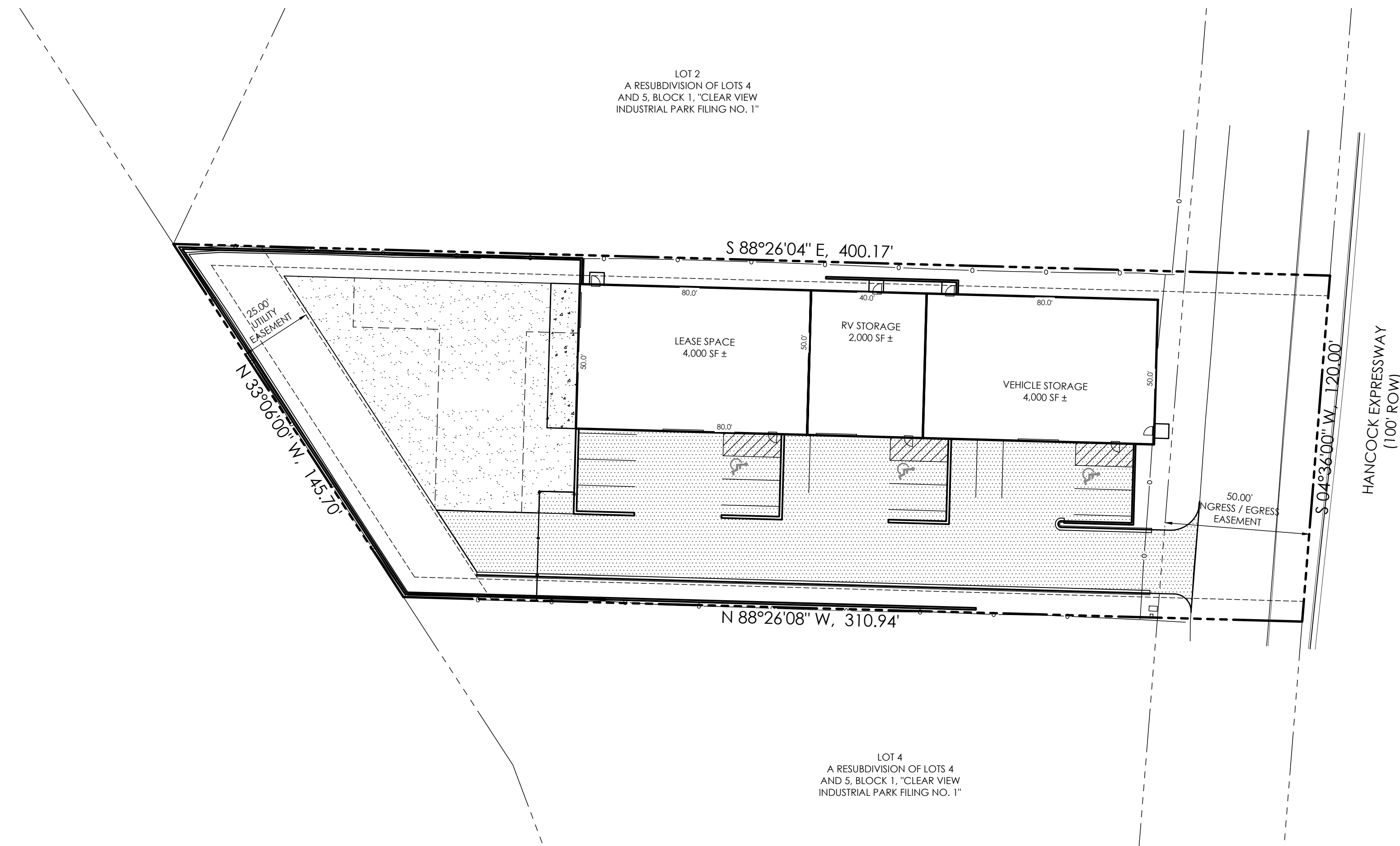
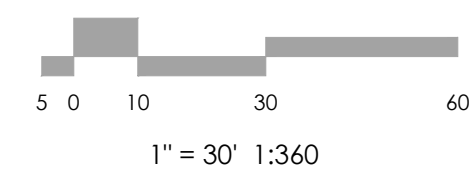
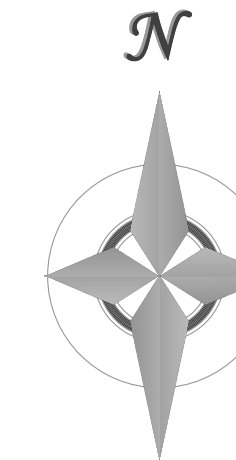
# 4190 HANCOCK EXPRESSWAY

LOT 3, BLOCK A, CLEAR VIEW INDUSTRIAL PARK FILING NO. 1, LOCATED IN SECTION 2, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



VICINITY MAP  
NOT TO SCALE

BENCHMARK  
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD '88.



### SITE DATA

**OWNER/DEVELOPER**  
BRAYLEN PROPERTIES, LLC  
523 SOUTHERN CROSS DRIVE  
COLORADO SPRINGS, CO 80906

**CONSULTANT/ENGINEER**  
M.V.E., INC.  
1903 LELARAY STREET, SUITE 200  
COLORADO SPRINGS, CO 80909  
(719) 635-5736

**SURVEYOR**  
POLARIS SURVEYING, INC.  
1903 LELARAY STREET, SUITE 102  
COLORADO SPRINGS, CO 80909  
(719) 448-0844

**COVERAGE DATA**

BUILDING	=	10,000 SF	23.5%
PAVED	=	15,325 SF	40.0%
GRAVEL	=	5,454 SF	12.8%
OPEN SPACE / LANDSCAPE	=	11,829 SF	27.7%
<b>TOTAL</b>	<b>=</b>	<b>42,608 SF</b>	<b>100.0%</b>

**ZONING**  
INDUSTRIAL (M CAD-O)

**BUILDING USE**  
UNIT 1: VEHICLE STORAGE  
UNIT 2: VEHICLE (RV) STORAGE  
UNIT 3: WAREHOUSE/OFFICE & OUTDOOR STORAGE

**PARKING SCHEDULE**

**REQUIRED PARKING**

UNIT 1: VEHICLE STORAGE	-	3 SPACES REQ.
UNIT 2: VEHICLE (RV) STORAGE	-	3 SPACES REQ.
UNIT 3: WAREHOUSE/OFFICE	-	1 SPACE / 1,000 SF = 4 SPACES
<b>TOTAL REQUIRED SPACES</b>	<b>=</b>	<b>10 SPACES</b>

**TAX SCHEDULE NO.**  
6502002012

**PROPERTY ADDRESS**  
4190 HANCOCK EXPY

**LOT SIZE**  
42,608 SF (0.978 ACRES)

**PROVIDED PARKING**

1 SPACE INSIDE UNIT 1 + 9 OUTDOOR SPACES	<b>=</b>	<b>10 SPACES</b>
3 ADDITIONAL ADA SPACES PROVIDED		

**BUILDING TYPE**

**BUILDING HEIGHT**

MAXIMUM HEIGHT:	50'
-----------------	-----

**SETBACKS**

FRONT:	15'
REAR:	15'
SIDE:	N/A

**LIGHTING**

LIGHTING TO BE BUILDING MOUNTED FULL CUTOFF LIGHTS

### LEGAL DESCRIPTION

LOT 3, BLOCK A, A RESUBDIVISION OF LOTS 4 AND 5, BLOCK 1, "CLEAR VIEW INDUSTRIAL PARK FILING NO. 1"

### DEVELOPMENT NOTES

1. WATER SERVICE PROVIDED BY SECURITY WATER DISTRICT.
2. SEWER SERVICE PROVIDED BY SECURITY SANITATION DISTRICT.
3. FIRE SERVICE PROVIDED BY SECURITY FIRE PROTECTION DISTRICT.
4. NATURAL GAS SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES
5. ELECTRIC SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES

### SHEET INDEX

SITE DEVELOPMENT PLAN	
DP-1	COVER SHEET
DP-2	SITE PLAN
GRADING & EROSION CONTROL PLAN	
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C1.2	GRADING PLAN
C1.3	EROSION CONTROL
C1.4	EROSION DETAILS 1
C1.5	EROSION DETAILS 2
UTILITY PLAN	
C2.1	UTILITY SERVICE PLAN
LIGHTING PLAN	
E-1	LIGHTING PLAN
LANDSCAPE PLAN	
L1	LANDSCAPE PLAN
L2	LANDSCAPE PLAN
BUILDING FLOOR PLAN	
A1.01	FLOOR PLANS
BUILDING ELEVATIONS	
A2.01	EXTERIOR ELEVATIONS

### LEGEND

	PROPERTY LINE
	EASEMENT LINE
	LOT LINE
	BUILDING SETBACK LINE
	ADJACENT PROPERTY LINE
<b>EXISTING</b>	
	INDEX CONTOUR
	INTERMEDIATE CONTOUR
	CONCRETE AREA
	ASPHALT AREA
	CURB AND GUTTER
	BUILDING/ BUILDING OVERHANG
	DECK
	RETAINING WALL - SOLID/ ROCK
	SIGN
	BOLLARD
	WOOD FENCE
	CHAIN LINK FENCE
	BARBED WIRE FENCE
	TREE (EVERGREEN/DECIDUOUS)
	SHRUB
	ROCK

<b>PROPOSED</b>	
	INDEX CONTOUR
	INTERMEDIATE CONTOUR
	CONCRETE AREA
	ASPHALT AREA
	CURB AND GUTTER
	BUILDING/ BUILDING OVERHANG
	DECK
	RETAINING WALL - SOLID/ ROCK
	SIGN
	BOLLARD
	WOOD FENCE
	CHAIN LINK FENCE
	BARBED WIRE FENCE
	TREE (EVERGREEN/DECIDUOUS)
	SHRUB
	ROCK

### ABBREVIATION LEGEND

ASPH	ASPHALT
CONC	CONCRETE
C & G	CURB & GUTTER
DET.	DETAIL
ESMT	EASEMENT
ME	MATCH EXISTING
P.B., PG.	PLAT BOOK, PAGE
PVMT	PAVEMENT
RET. WALL	RETAINING WALL
REC. NO.	RECEPTION NUMBER
R.O.W.	RIGHT-OF-WAY
SF	SQUARE FOOT
STBK	SETBACK
SW	SIDEWALK
UTIL	UTILITY
(C)	CATCH CURB
(S)	SPILL CURB

### ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

### FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0763G, EFFECTIVE DECEMBER 7, 2018.

### MAP NOTES

1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE EAST LINE OF CLEAR VIEW INDUSTRIAL PARK FILING NO. 1, OF THE PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.
2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD '88.
3. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.
4. ALL SIDE AND REAR LOT LINES ARE SUBJECT TO A 7' UTILITY AND DRAINAGE EASEMENT, EXCEPT AS SHOWN OTHERWISE.

### REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

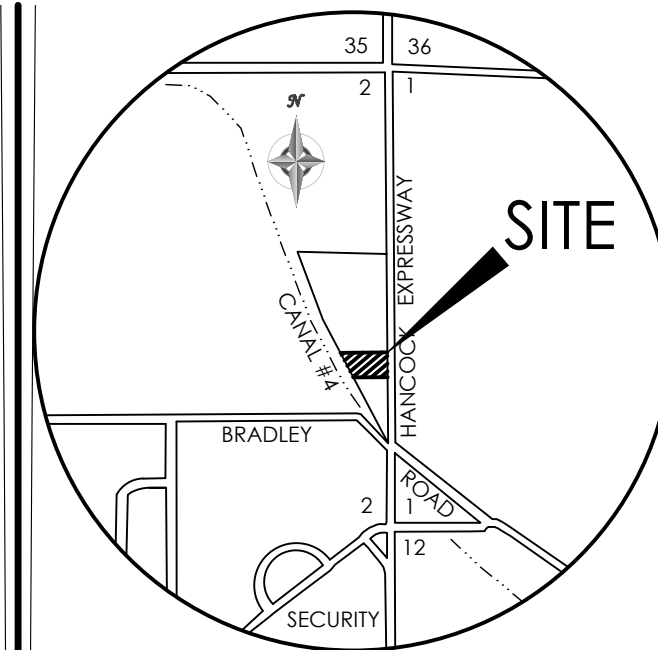
4190 HANCOCK EXPRESSWAY

COVER SHEET  
DP-1

MVE PROJECT 61179  
MVE DRAWING DEV-CS

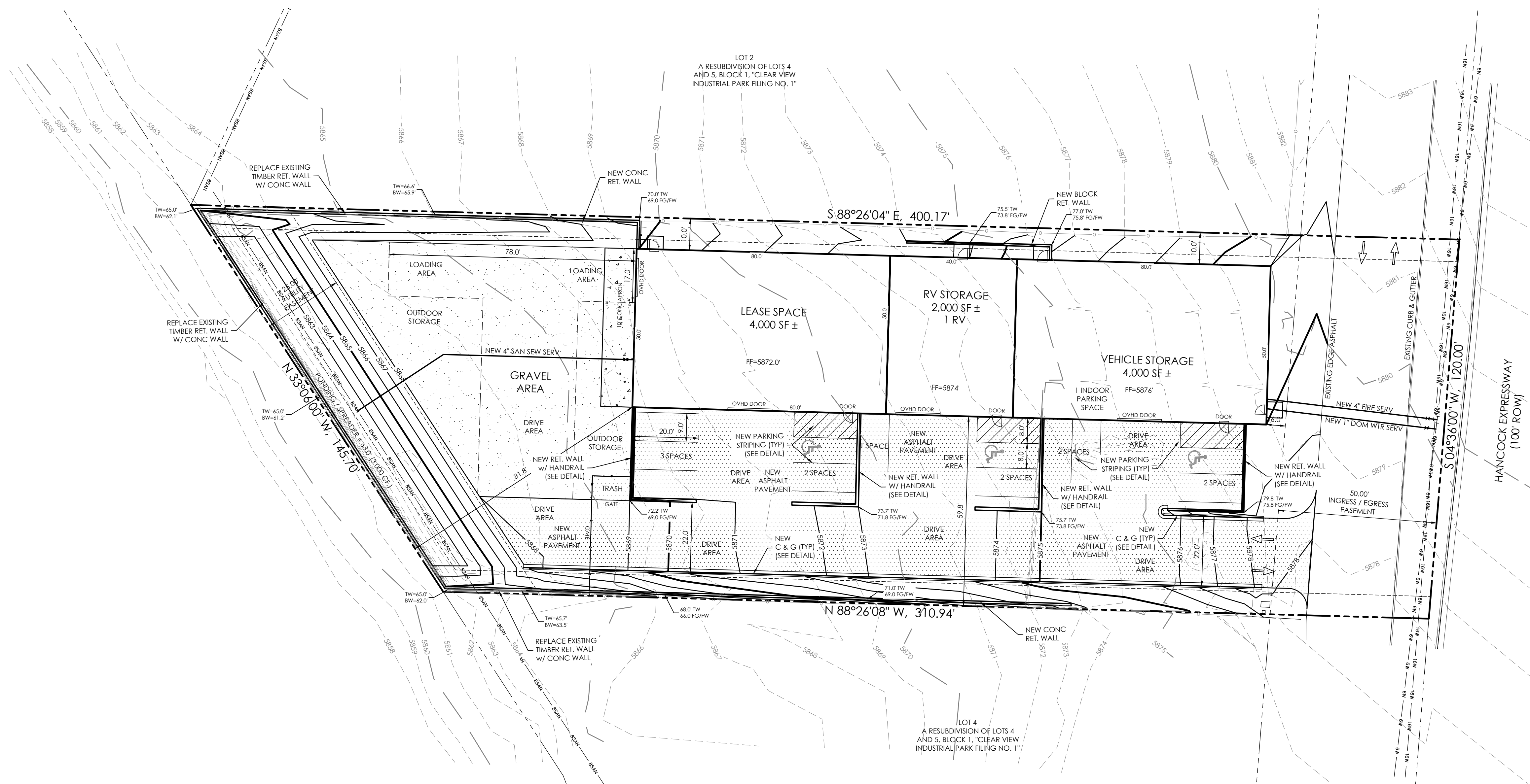
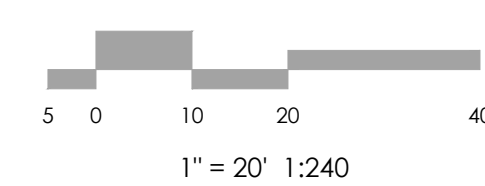
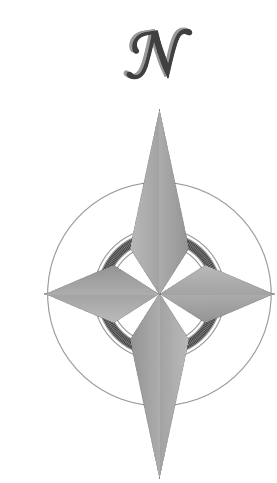
APRIL 12, 2024  
SHEET 1 OF 2



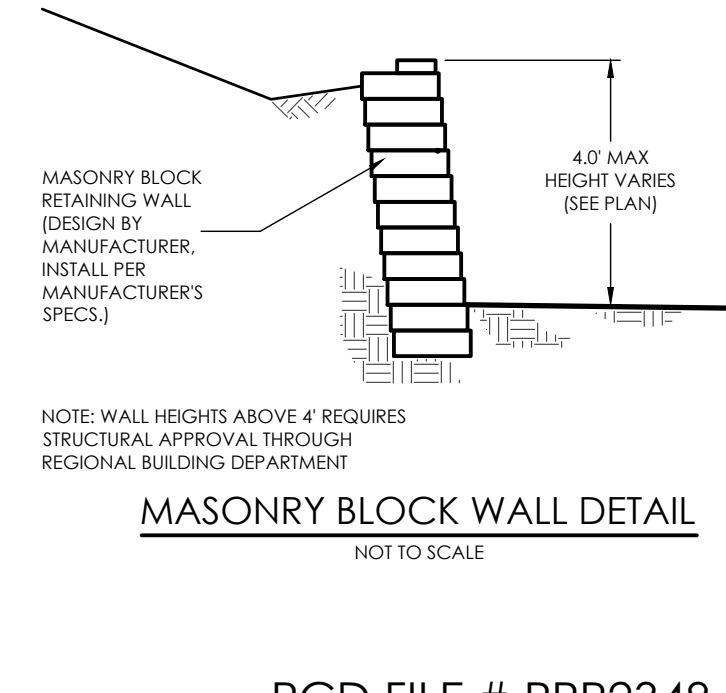
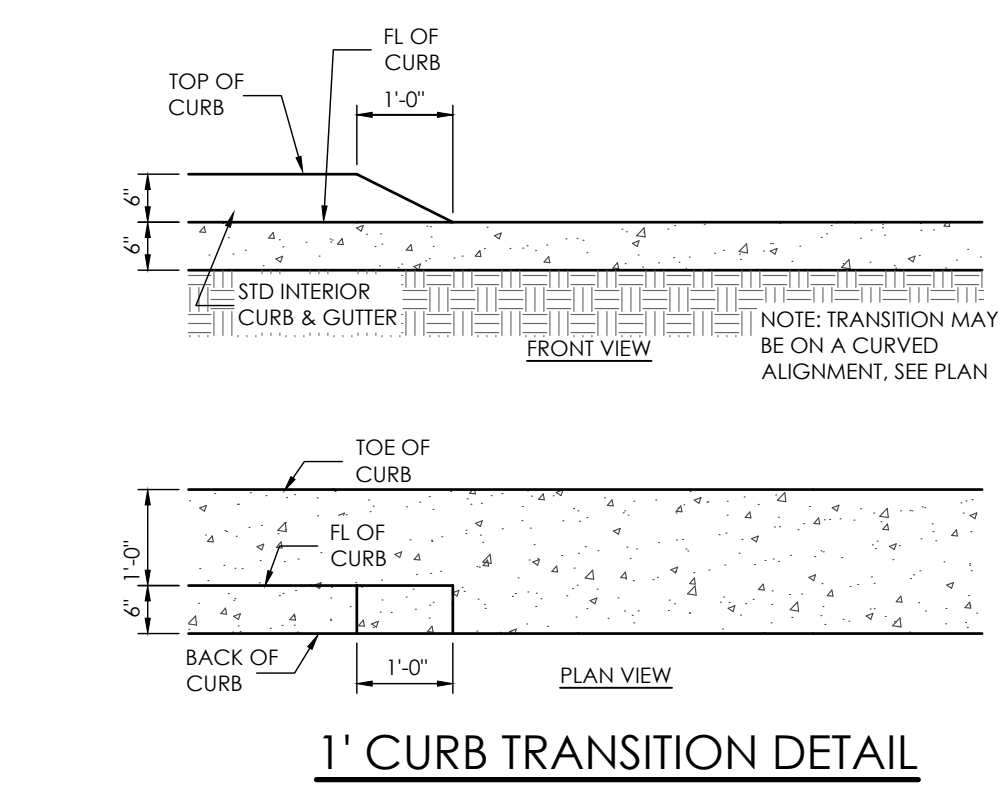
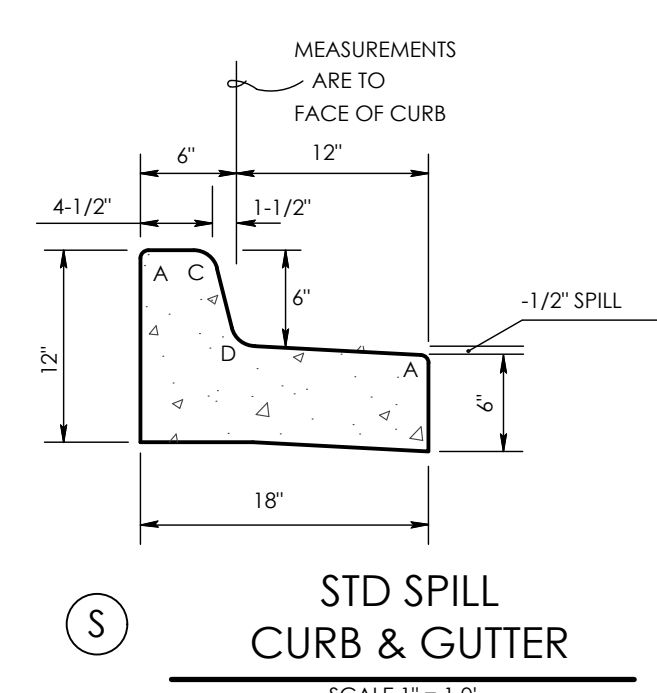
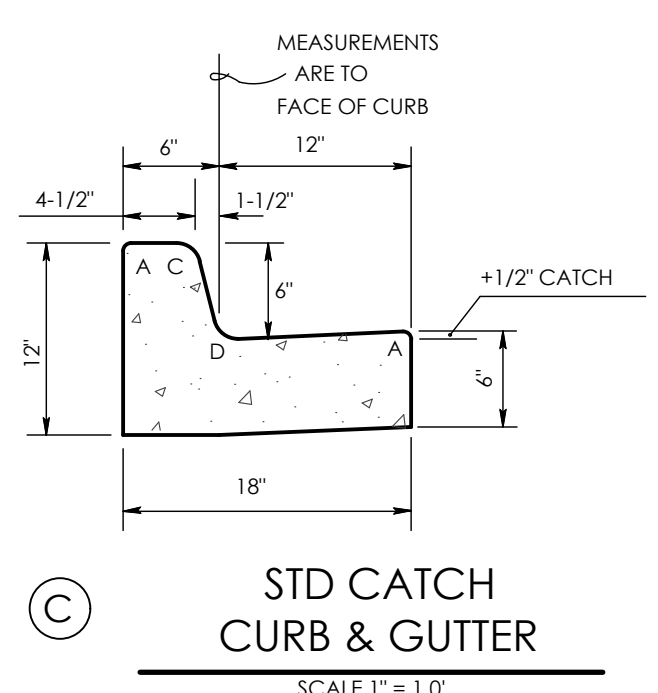
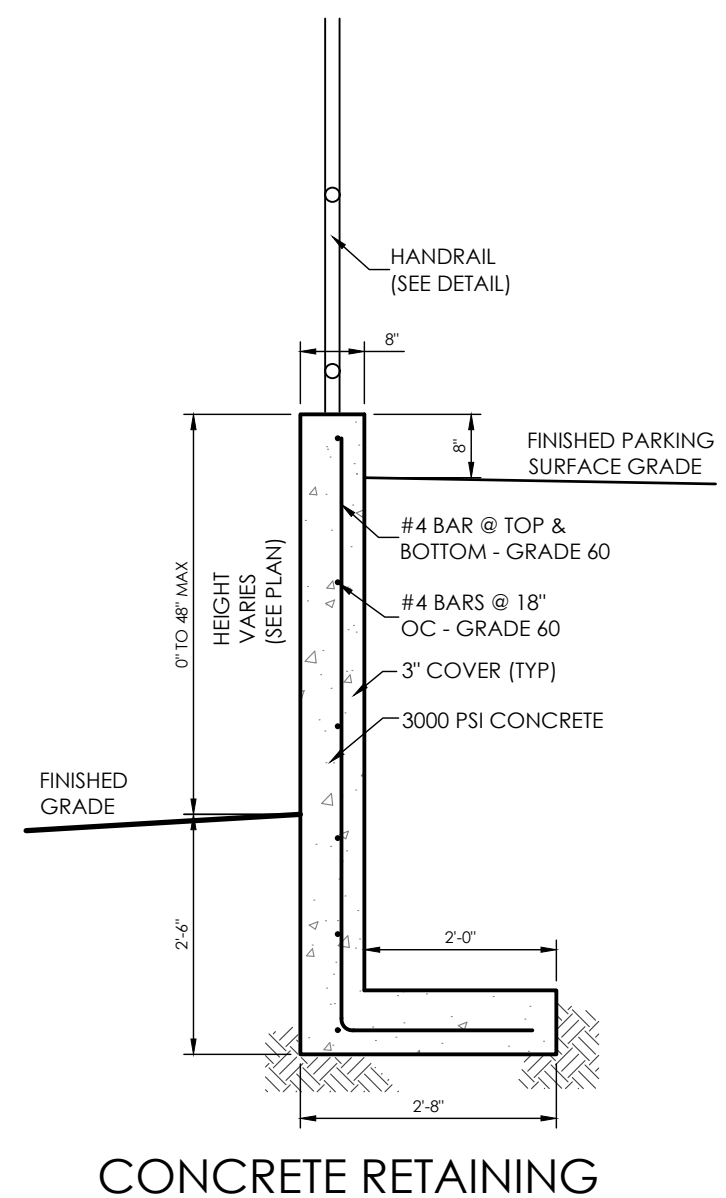
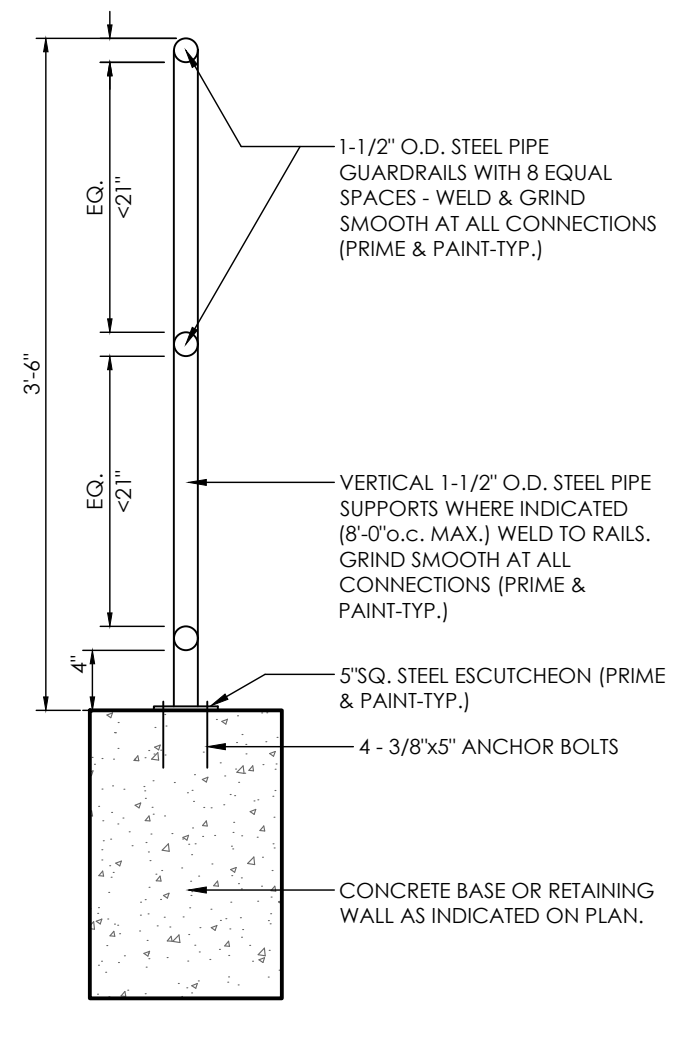
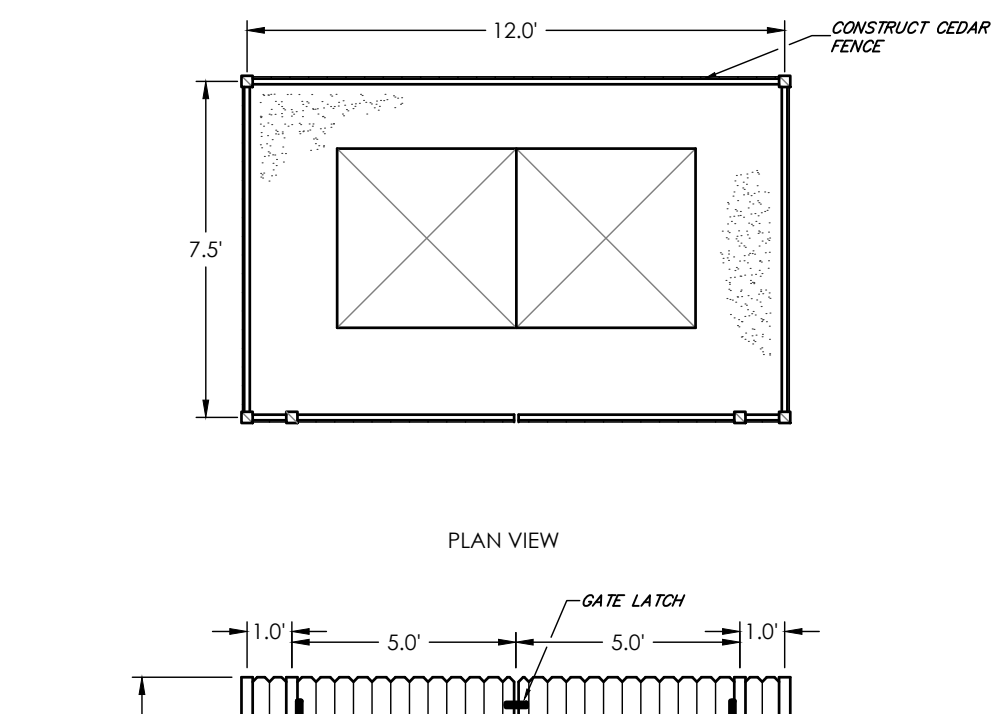
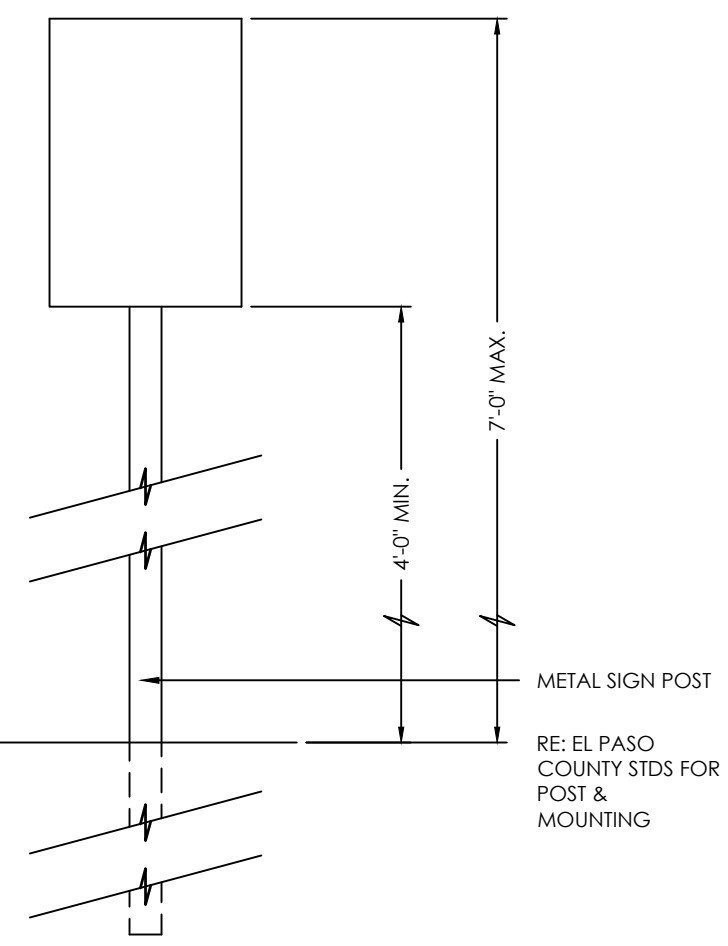
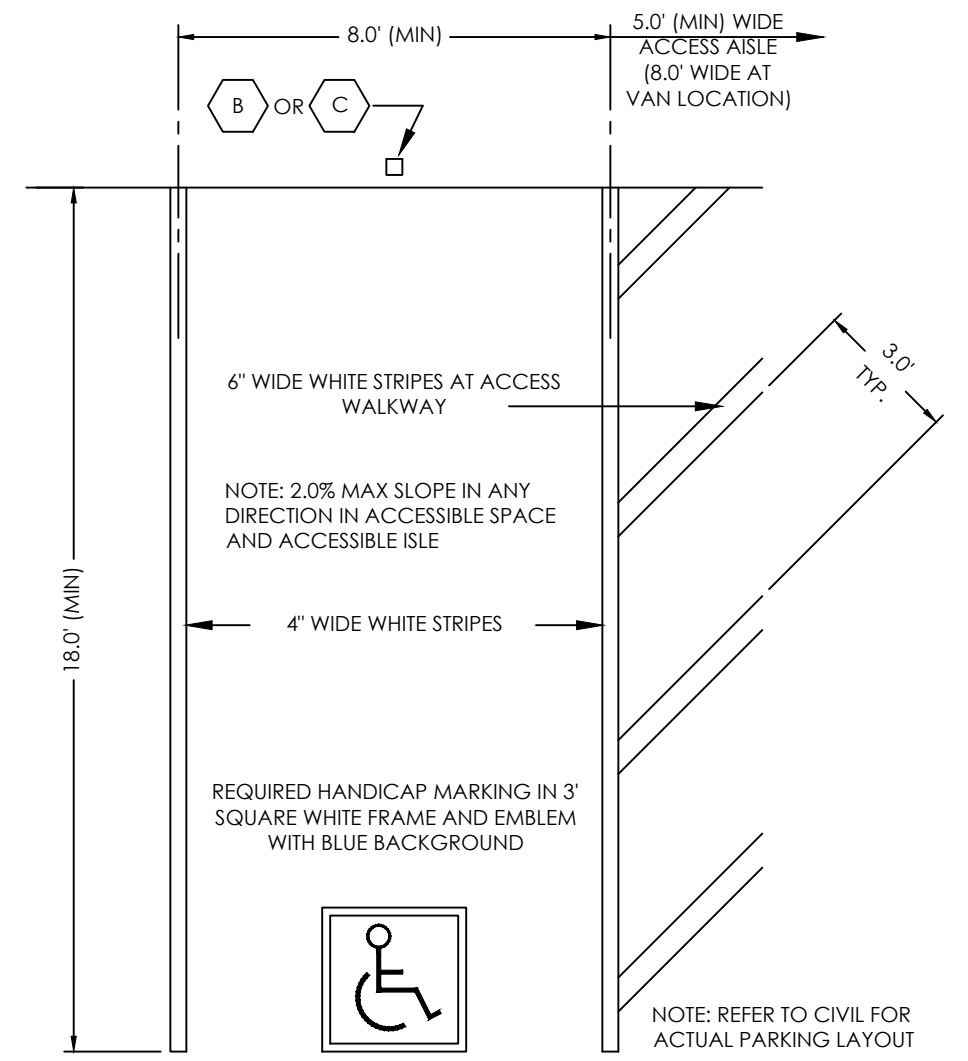


VICINITY MAP  
NOT TO SCALE

BENCHMARK  
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD '88.



1. TYPOGRAPHY TO BE HELVETICA MEDIUM
2. ALL PRIMARY SIGNS TO BE MOUNTED ON METAL SIGN POST; 7'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP. ADDITIONAL PLACARD SIGNS SHALL BE MOUNTED AT LEAST 6'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP.
3. MOUNT HANDICAP SIGNAGE ON BUILDING.
4. FIRE LANE MARKING SHALL BE PROVIDED AS SHOWN. EITHER SIGNAGE OR STRIPING WILL BE PROVIDED IN LOCATIONS SHOWN ON PLAN. FIRE LANE MARKING REQUIREMENTS BY COLORADO SPRINGS FIRE DEPARTMENT DIVISION OF THE FIRE MARSHALL AS REVISED JULY 2016 WILL BE A FOLLOWED FOR MATERIALS AND INSTALLATION OF MARKINGS.



REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

4190 HANCOCK EXPRESSWAY

SITE DEVELOPMENT PLAN  
SITE PLAN

DP-2 MVE PROJECT 61179  
MVE DRAWING DEV-SP

APRIL 12, 2024  
SHEET 2 OF 2

PCD FILE # PPR2348

