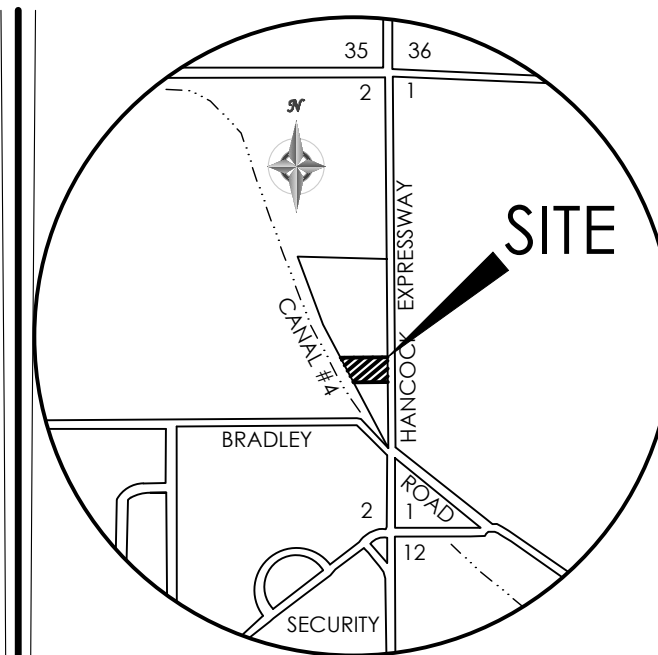


# SITE DEVELOPMENT PLAN

## FOR

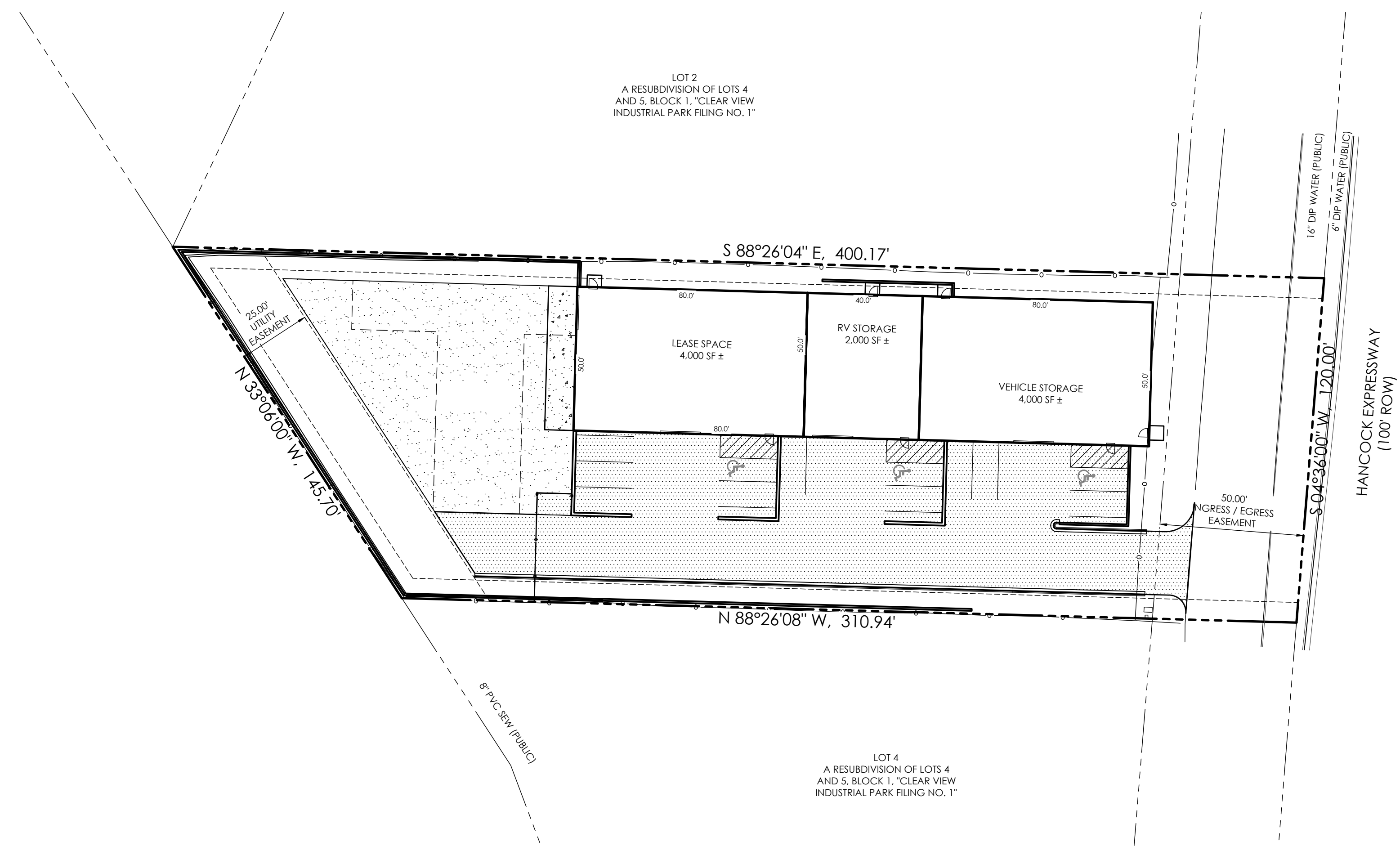
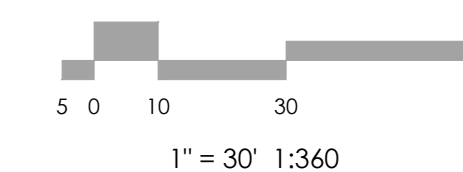
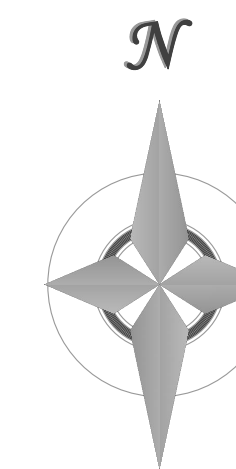
# 4190 HANCOCK EXPRESSWAY

LOT 3, BLOCK A, CLEAR VIEW INDUSTRIAL PARK FILING NO. 1, LOCATED IN SECTION 2, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



VICINITY MAP  
NOT TO SCALE

BENCHMARK  
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD '88.



### SITE DATA

**OWNER/DEVELOPER**  
BRAYLEN PROPERTIES, LLC  
523 SOUTHERN CROSS DRIVE  
COLORADO SPRINGS, CO 80906

**CONSULTANT/ENGINEER**  
M.V.E., INC.  
1903 LELARAY STREET, SUITE 200  
COLORADO SPRINGS, CO 80909  
(719) 635-5736

**SURVEYOR**  
POLARIS SURVEYING, INC.  
1903 LELARAY STREET, SUITE 102  
COLORADO SPRINGS, CO 80909  
(719) 448-0844

**ZONING**  
INDUSTRIAL (M CAD-O)

**BUILDING USE**  
UNIT 1: VEHICLE STORAGE  
UNIT 2: VEHICLE (RV) STORAGE  
UNIT 3: WAREHOUSE/OFFICE & OUTDOOR STORAGE

**TAX SCHEDULE NO.**  
6502002012

**PROPERTY ADDRESS**  
4190 HANCOCK EXPY

**LOT SIZE**  
42,608 SF (0.978 ACRES)

### COVERAGE DATA

BUILDING	=	10,000 SF	23.5%
PAVED	=	15,325 SF	40.0%
GRAVEL	=	5,454 SF	12.8%
OPEN SPACE / LANDSCAPE	=	11,829 SF	27.7%
<b>TOTAL</b>	<b>=</b>	<b>42,608 SF</b>	<b>100.0%</b>

### PARKING SCHEDULE

<b>REQUIRED PARKING</b>			
UNIT 1:	VEHICLE STORAGE	-	3 SPACES REQ.
UNIT 2:	VEHICLE (RV) STORAGE	-	3 SPACES REQ.
UNIT 3:	WAREHOUSE/OFFICE	-	1 SPACE / 1,000 SF = 4 SPACES

TOTAL REQUIRED SPACES = 10 SPACES

### PROVIDED PARKING

1 SPACE INSIDE UNIT 1 + 9 OUTDOOR SPACES = 10 SPACES  
3 ADDITIONAL ADA SPACES PROVIDED

### BUILDING TYPE

### BUILDING HEIGHT

MAXIMUM HEIGHT: 50'

### SETBACKS

FRONT: 15'  
REAR: 15'  
SIDE: N/A

### LIGHTING

LIGHTING TO BE BUILDING MOUNTED FULL CUTOFF LIGHTS

### LEGAL DESCRIPTION

LOT 3, BLOCK A, A RESUBDIVISION OF LOTS 4 AND 5, BLOCK 1, "CLEAR VIEW INDUSTRIAL PARK FILING NO. 1"

### DEVELOPMENT NOTES

1. WATER SERVICE PROVIDED BY SECURITY WATER DISTRICT.
2. SEWER SERVICE PROVIDED BY SECURITY SANITATION DISTRICT.
3. FIRE SERVICE PROVIDED BY SECURITY FIRE PROTECTION DISTRICT.
4. NATURAL GAS SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES
5. ELECTRIC SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES

### SHEET INDEX

<b>SITE DEVELOPMENT PLAN</b>	
DP-1	COVER SHEET
DP-2	SITE PLAN
<b>GRADING &amp; EROSION CONTROL PLAN</b>	
C1.1	COVER SHEET
C1.2	GRADING PLAN
C1.3	EROSION CONTROL
C1.4	EROSION DETAILS 1
C1.5	EROSION DETAILS 2
<b>UTILITY PLAN</b>	
C2.1	UTILITY SERVICE PLAN
<b>LIGHTING PLAN</b>	
E-1	LIGHTING PLAN
<b>LANDSCAPE PLAN</b>	
L1	LANDSCAPE PLAN
L2	LANDSCAPE PLAN
<b>BUILDING FLOOR PLAN</b>	
A1.01	FLOOR PLANS
<b>BUILDING ELEVATIONS</b>	
A2.01	EXTERIOR ELEVATIONS

### LEGEND

- PROPERTY LINE
- EASEMENT LINE
- LOT LINE
- BUILDING SETBACK LINE
- ADJACENT PROPERTY LINE

- EXISTING**
- INDEX CONTOUR
  - INTERMEDIATE CONTOUR
  - CONCRETE AREA
  - ASPHALT AREA
  - CURB AND GUTTER
  - BUILDING/ BUILDING OVERHANG
  - DECK
  - RETAINING WALL - SOLID/ ROCK
  - SIGN
  - BOLLARD
  - WOOD FENCE
  - CHAIN LINK FENCE
  - BARBED WIRE FENCE
  - TREE (EVERGREEN/DECIDUOUS)
  - SHRUB
  - ROCK

- PROPOSED**
- INDEX CONTOUR
  - INTERMEDIATE CONTOUR
  - CONCRETE AREA
  - ASPHALT AREA
  - CURB AND GUTTER
  - BUILDING/ BUILDING OVERHANG
  - DECK
  - RETAINING WALL - SOLID/ ROCK
  - SIGN
  - BOLLARD
  - 2515 LARAMIE DRIVE BUILDING ADDRESS (100)
  - UNIT ADDRESS
  - FIRE LANE

### ABBREVIATION LEGEND

- |           |                  |
|-----------|------------------|
| ASPH      | ASPHALT          |
| CONC      | CONCRETE         |
| C & G     | CURB & GUTTER    |
| DET.      | DETAIL           |
| ESMT      | EASEMENT         |
| ME        | MATCH EXISTING   |
| P.B., PG. | PLAT BOOK, PAGE  |
| PVMT      | PAVEMENT         |
| RET. WALL | RETAINING WALL   |
| REC. NO.  | RECEPTION NUMBER |
| R.O.W.    | RIGHT-OF-WAY     |
| SF        | SQUARE FOOT      |
| STBK      | SETBACK          |
| SW        | SIDEWALK         |
| UTIL      | UTILITY          |
| Ⓢ         | CATCH CURB       |
| Ⓣ         | SPILL CURB       |

### ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

### FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA'S) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0763G, EFFECTIVE DECEMBER 7, 2018.

### MAP NOTES

1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE EAST LINE OF CLEAR VIEW INDUSTRIAL PARK FILING NO. 1, OF THE PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.
2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD '88.
3. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.
4. ALL SIDE AND REAR LOT LINES ARE SUBJECT TO A 7' UTILITY AND DRAINAGE EASEMENT, EXCEPT AS SHOWN OTHERWISE.

REVISIONS

DESIGNED BY  
DRAWN BY  
CHECKED BY  
AS-BUILTS BY  
CHECKED BY

4190 HANCOCK EXPRESSWAY

COVER SHEET

DP-1 MVE PROJECT 61179  
MVE DRAWING DEV-CS

JUNE 21, 2024  
SHEET 1 OF 2

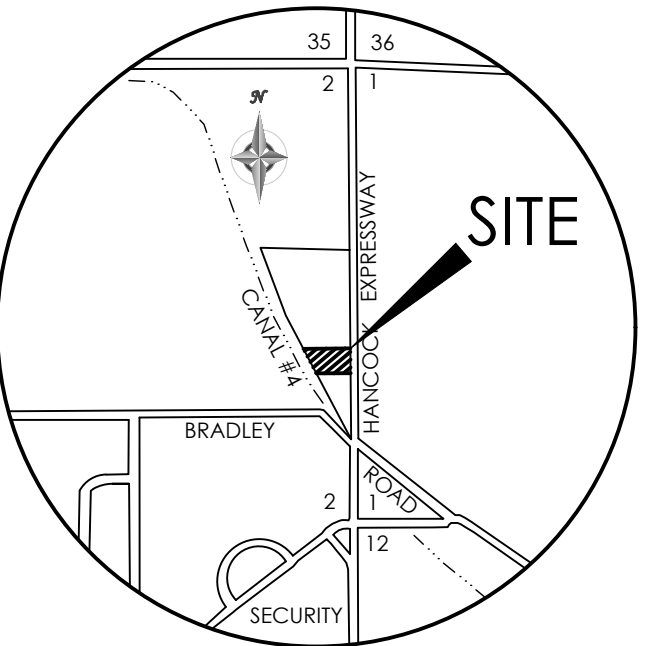
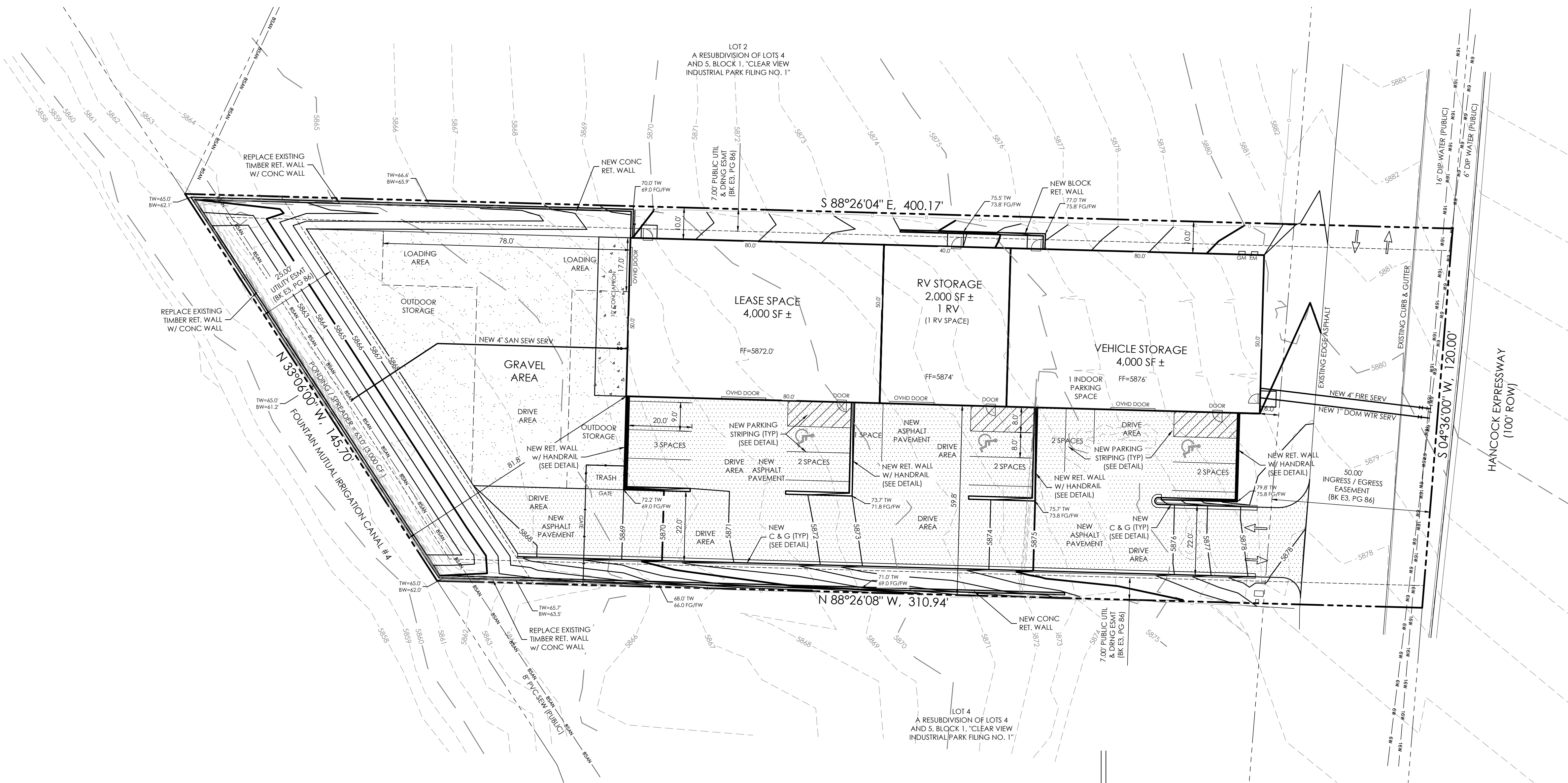
PCD FILE # PPR2348

**COLORADO SPRINGS UTILITIES INFORMATION ITEMS:**

- PLEASE CONTACT UTILITIES DEVELOPMENT SERVICES (UDS) AT 719.668.8111 FOR AN ESTIMATE OF DEVELOPMENT CHARGES, FEES, RECOVERY AGREEMENT CHARGES OR OTHER UTILITY RELATED COSTS THAT MAY APPLY TO THIS DEVELOPMENT. ON INSTANCES WHERE METERED WATER AND/OR WASTEWATER CONNECTIONS EXISTED ON THE PROPERTY, PLEASE CONTACT UDS TO DISCUSS DISTRIBUTION OF WATER AND/OR WASTEWATER DEVELOPMENT CHARGES TO ELIGIBLE LOTS.
- WHEN NEW WATER METERS ARE PROPOSED TO SERVE THE PROJECT OR ADDITIONAL DEMAND ADDED TO EXISTING WATER METERS, A COMMERCIAL WATER METER SIZING FORM WILL BE REQUIRED TO BE SUBMITTED TO CSU PRIOR TO SERVICE CONTRACT ISSUANCE AND PLAN SET APPROVAL.
- CSU REQUIRES AN APPLICATION FOR GAS AND ELECTRIC LINE EXTENSION TO BE SUBMITTED ALONG WITH A LOAD DATA FORM OR AN APPLICATION FOR GAS SERVICE LINE APPROVAL AND/OR APPLICATION FOR SEVERED PRESSURE APPROVAL PRIOR TO ELECTRIC AND NATURAL GAS SYSTEM DESIGN FOR SERVICE TO THE PROJECT. REFER TO THE CSU LINE EXTENSION AND SERVICE STANDARDS OR CONTACT FIELD ENGINEERING AT 719-668-4985.
- CSU MAY REQUIRE AN EXTENSION CONTRACT AND PAYMENT OF CONTRIBUTIONS-IN-AID OF CONSTRUCTION (OR A REVENUE GUARANTEE CONTRACT) FOR THE EXTENSION OF ELECTRIC FACILITIES NEEDED TO SERVE THE DEVELOPMENT. WITH REGARD TO NATURAL GAS EXTENSIONS, CSU MAY REQUIRE AN EXTENSION CONTRACT AND ADVANCE PAYMENT FOR THE ESTIMATED COSTS TO CONSTRUCT THE NECESSARY GAS EXTENSIONS.
- IMPROVEMENTS, STRUCTURES AND TREES MUST NOT BE LOCATED DIRECTLY OVER OR WITHIN 6 FEET OF ANY UNDERGROUND GAS OR ELECTRIC DISTRIBUTION FACILITIES AND SHALL NOT VIOLATE ANY PROVISION OF THE NATIONAL ELECTRIC SAFETY CODE (NEC) OR ANY APPLICABLE NATURAL GAS REGULATIONS OR CSU POLICIES.
- IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED UNDER ANY OVERHEAD UTILITY FACILITY. SHALL NOT VIOLATE NESC CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- LANDSCAPING SHALL BE DESIGNED TO PROVIDE THE REQUIRED CLEARANCES FOR UTILITY FACILITIES, TO ALLOW CONTINUOUS ACCESS FOR UTILITY EQUIPMENT, AND TO MINIMIZE CONFLICTS WITH SUCH FACILITIES.
- CSU REQUIRES WASTEWATER AND WATER CONSTRUCTION DRAWINGS WHEN NEW WASTEWATER AND WATER FACILITIES ARE PROPOSED. PLANS CAN BE SUBMITTED ELECTRONICALLY TO UDS VIA WWW.CSU.ORG.

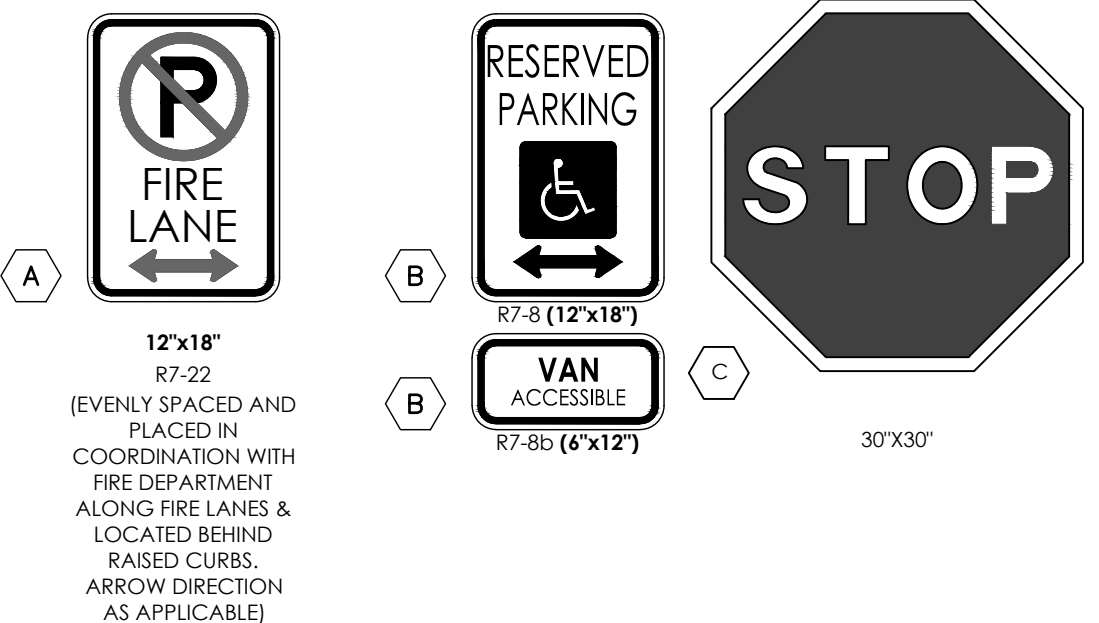
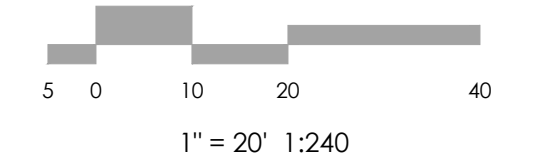
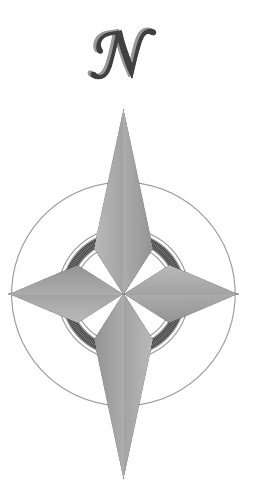
**COLORADO SPRINGS UTILITIES REQUIRED NOTES:**

- GAS METERS MUST BE A MINIMUM OF 3-FEET AWAY FROM ANY OPENING IN WALLS.
- TREES SHALL MAINTAIN A 15-FOOT MINIMUM SEPARATION FROM WATER AND WASTEWATER MAINS AND A 6-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.
- A MINIMUM OF 3-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.
- FENCING SHALL NOT STOP ACCESS TO UTILITY LINES OR CONFLICT WITH UTILITY EQUIPMENT.

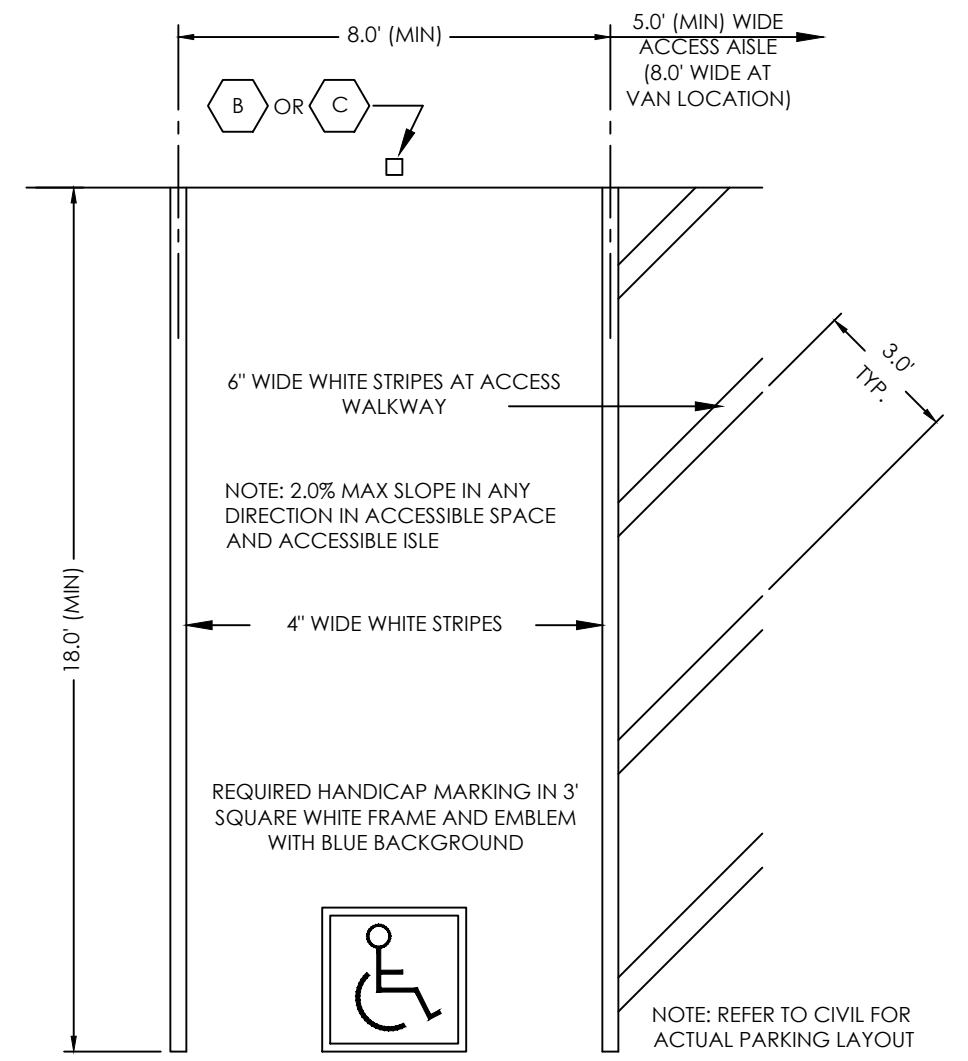


**VICINITY MAP**  
NOT TO SCALE

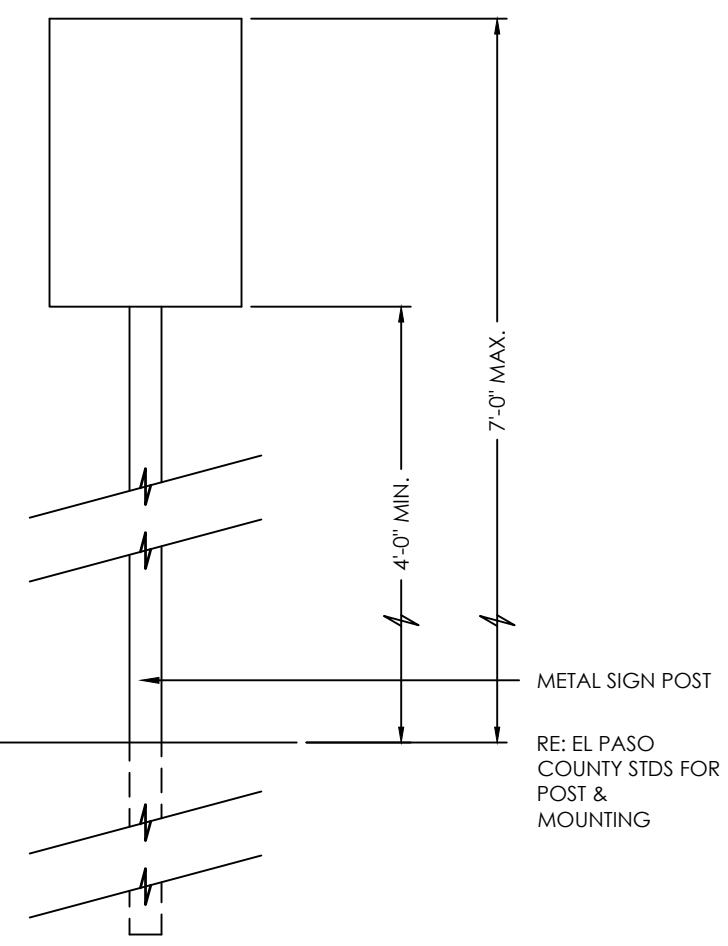
**BENCHMARK**  
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD 88.



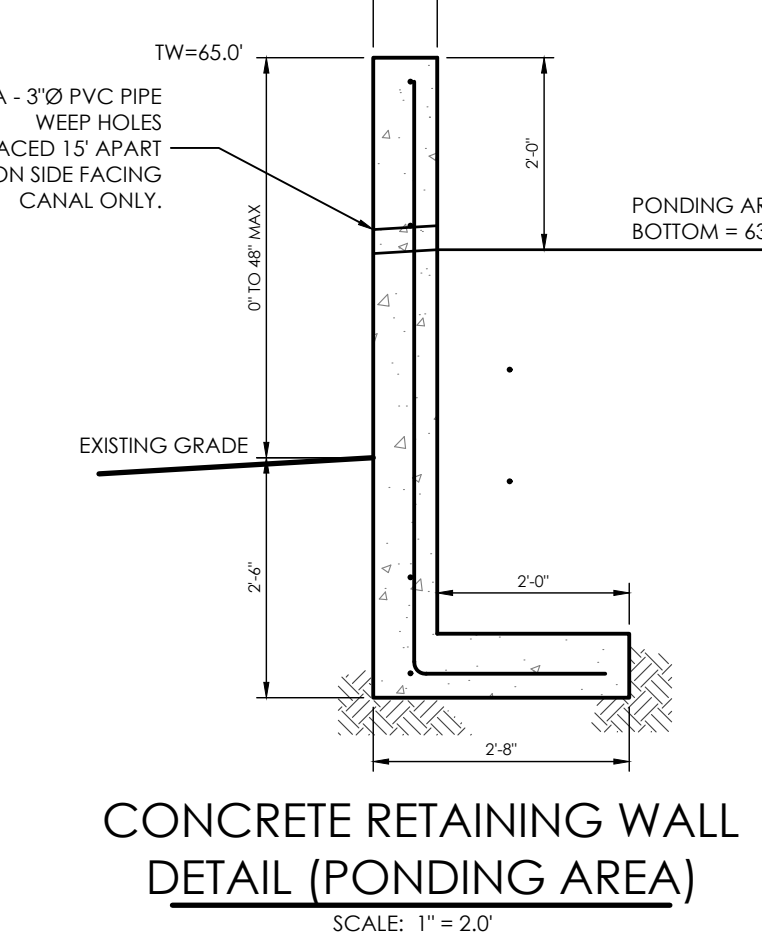
**SITE SIGNAGE LEGEND**  
SCALE: 1" = 1'-0"



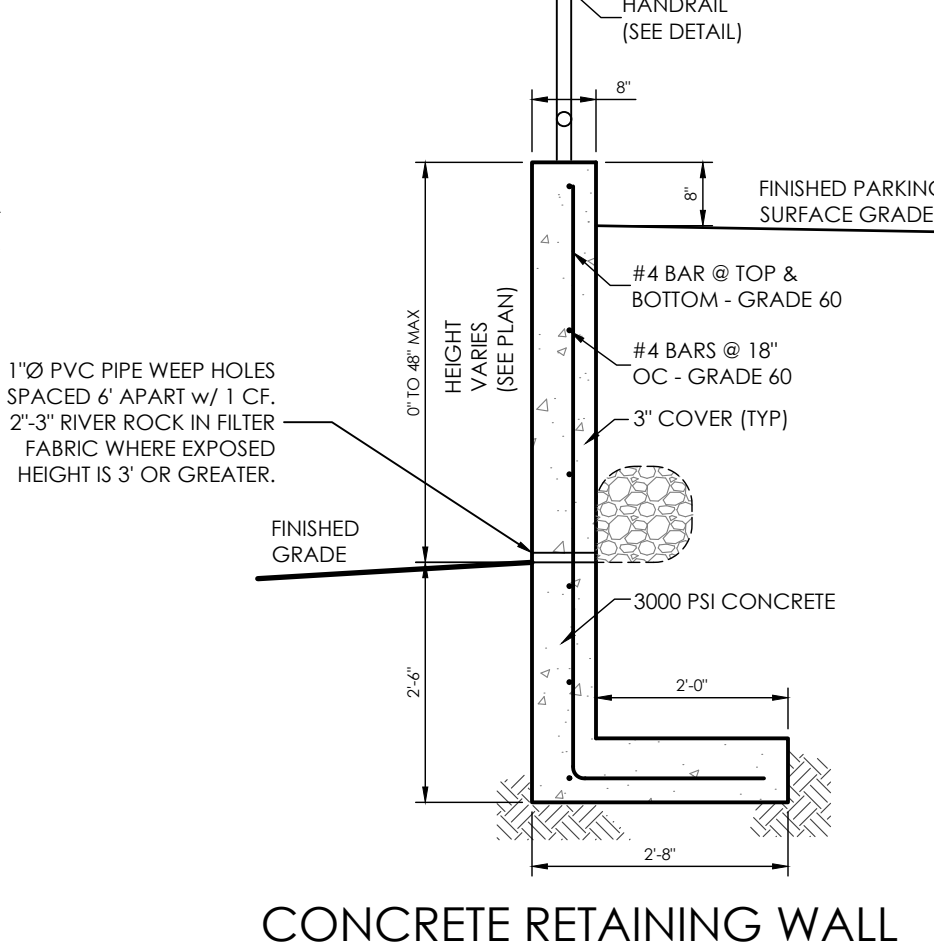
**TYPICAL HANDICAP PARKING SPACE**  
SCALE: 1" = 4'-0"



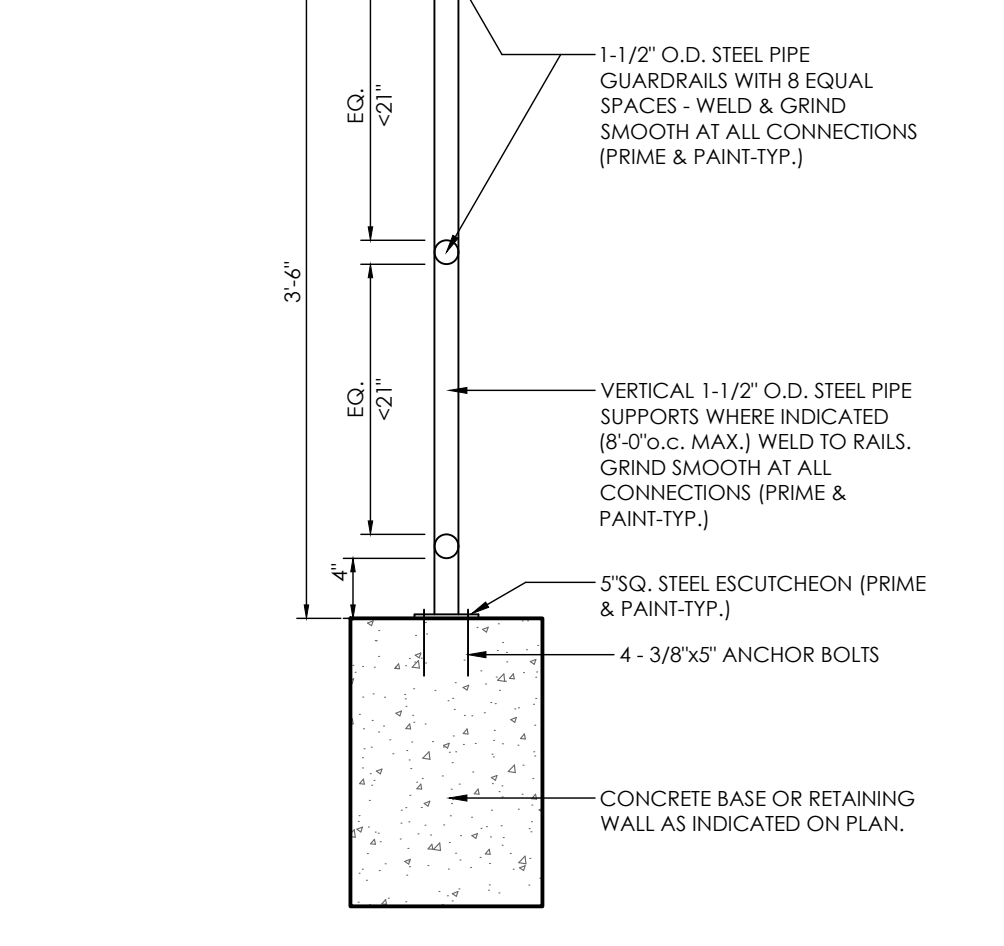
**TYPICAL SIGN POST**  
NTS



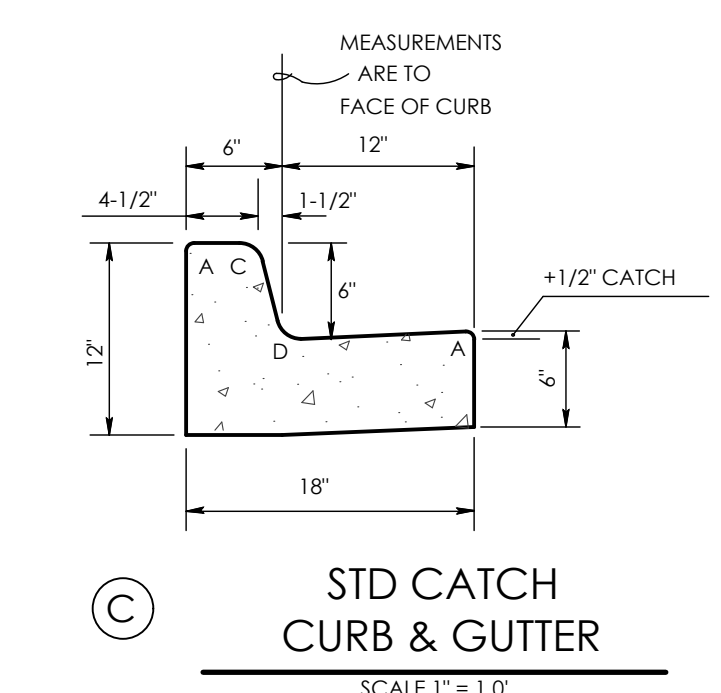
**CONCRETE RETAINING WALL DETAIL (PONDING AREA)**  
SCALE: 1" = 2'-0"



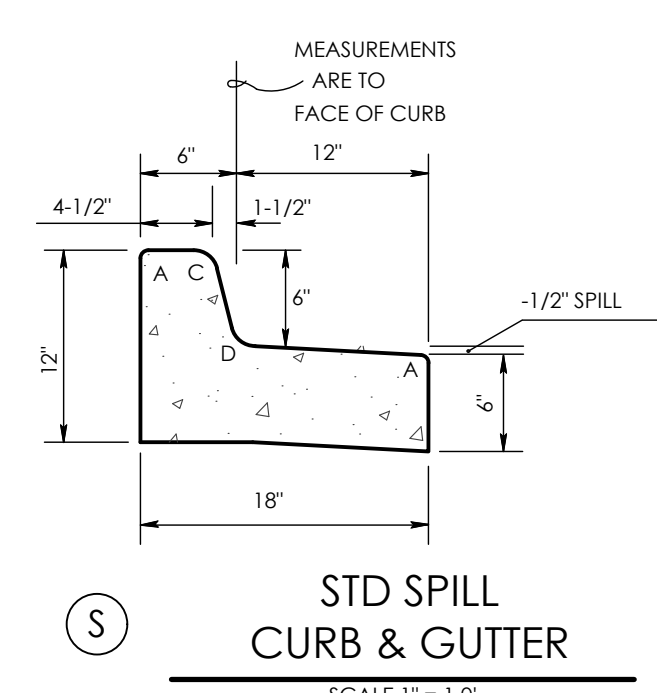
**CONCRETE RETAINING WALL DETAIL (PARKING LOT)**  
SCALE: 1" = 2'-0"



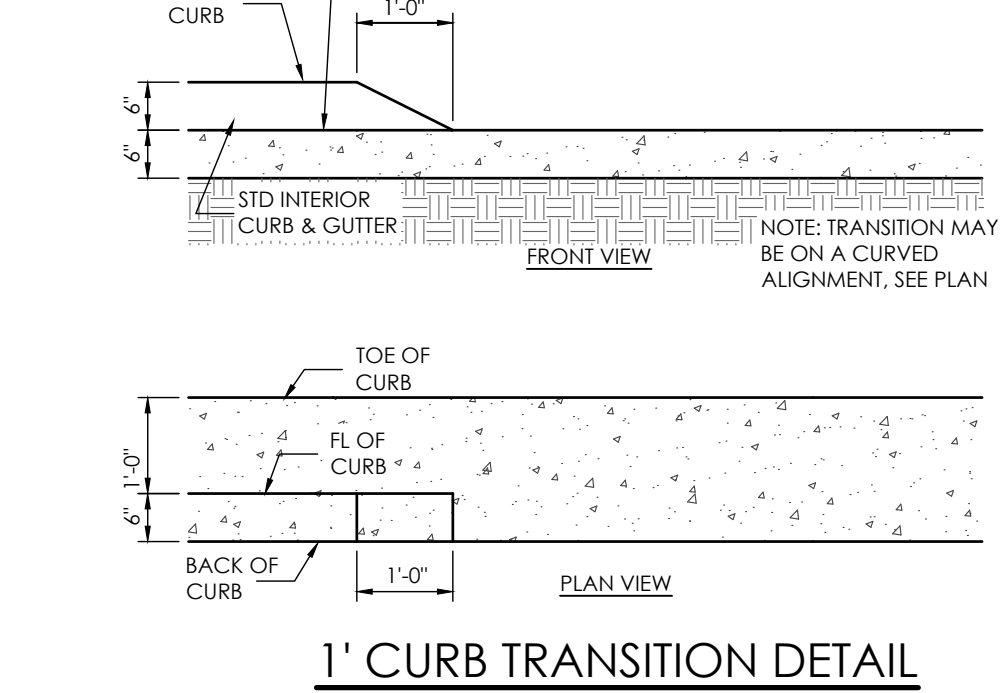
**HANDRAIL DETAIL**  
SCALE: 1" = 1'-0"



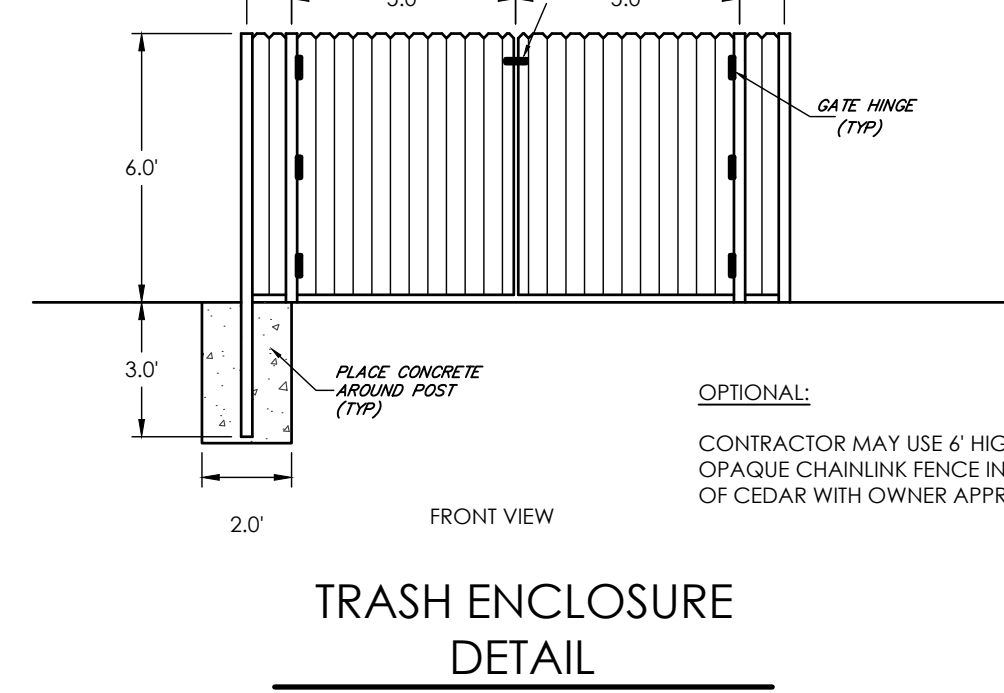
**STD CATCH CURB & GUTTER**  
SCALE: 1" = 1'-0"



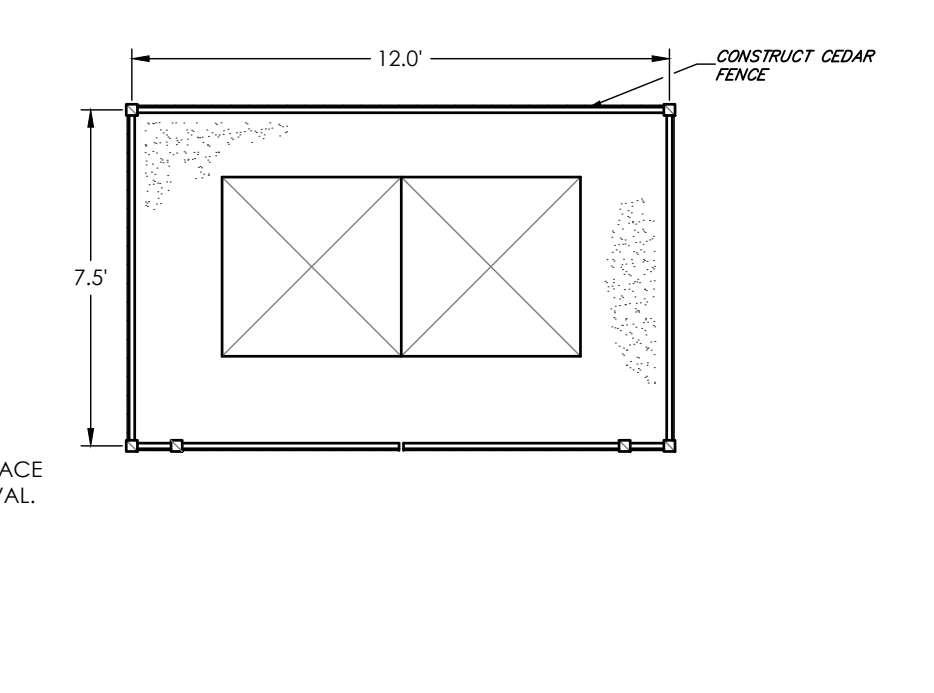
**STD SPILL CURB & GUTTER**  
SCALE: 1" = 1'-0"



**1' CURB TRANSITION DETAIL**  
SCALE: 1" = 2'-0"



**TRASH ENCLOSURE DETAIL**  
SCALE: NOT TO SCALE



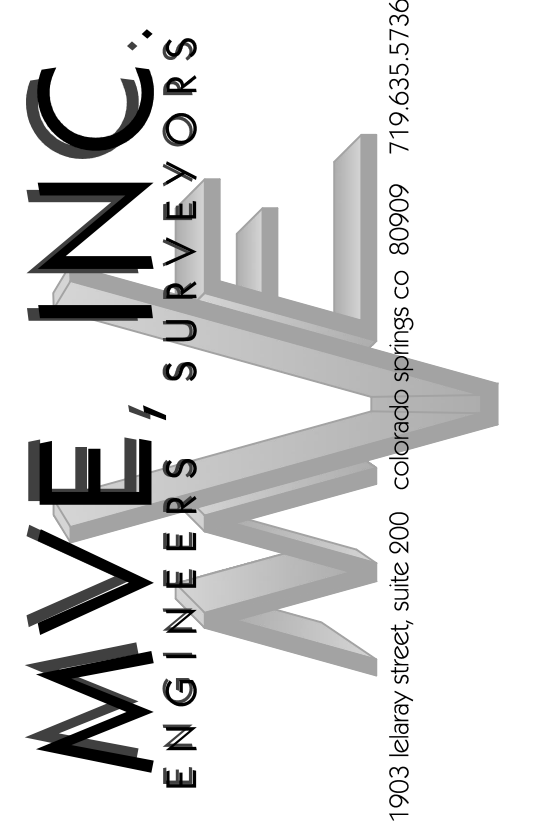
**MASONRY BLOCK WALL DETAIL**  
NOT TO SCALE

**REVISIONS**

NO.	DESCRIPTION	DATE

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

**4190 HANCOCK EXPRESSWAY**  
**SITE DEVELOPMENT PLAN**  
**SITE PLAN**  
**DP-2** MVE PROJECT 61179  
MVE DRAWING DEV-SP  
**JUNE 21, 2024**  
**SHEET 2 OF 2**



PCD FILE # PPR2348