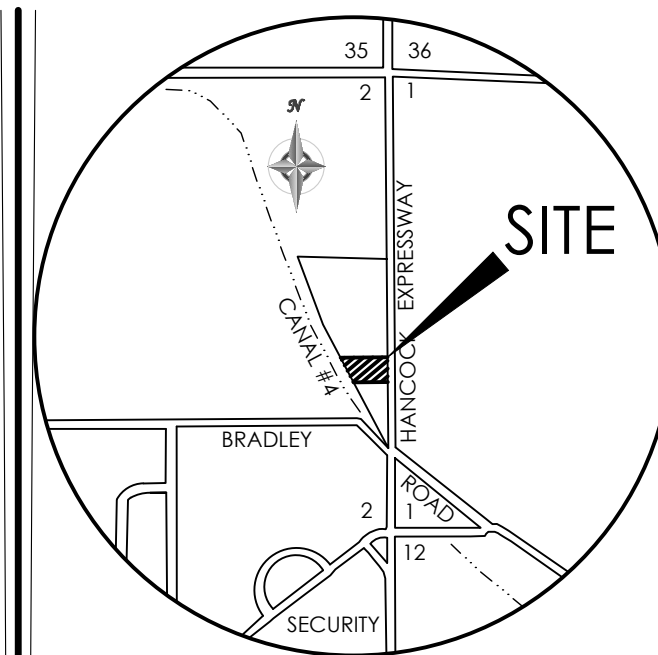


# SITE DEVELOPMENT PLAN

## FOR

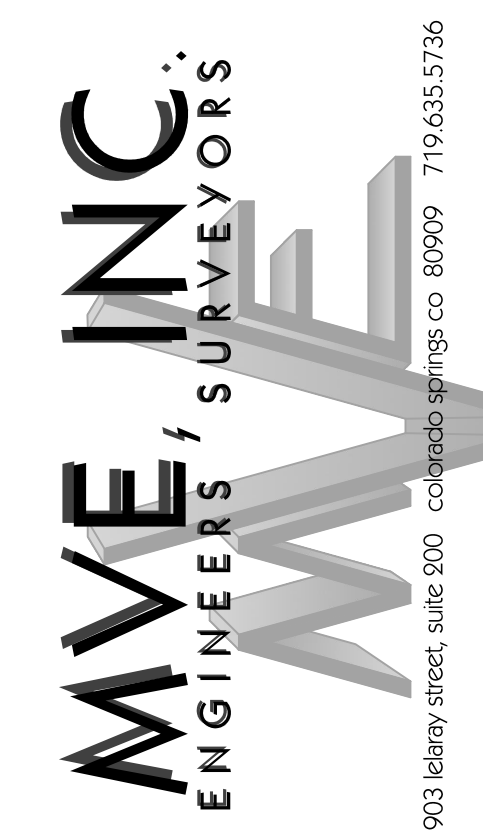
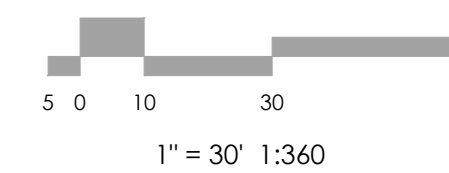
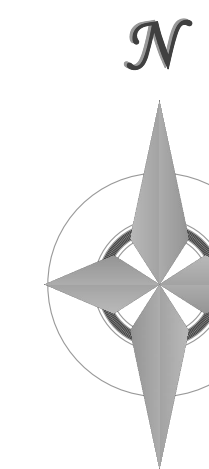
# 4190 HANCOCK EXPRESSWAY

LOT 3, BLOCK A, CLEAR VIEW INDUSTRIAL PARK FILING NO. 1, LOCATED IN SECTION 2, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
EL PASO COUNTY, COLORADO

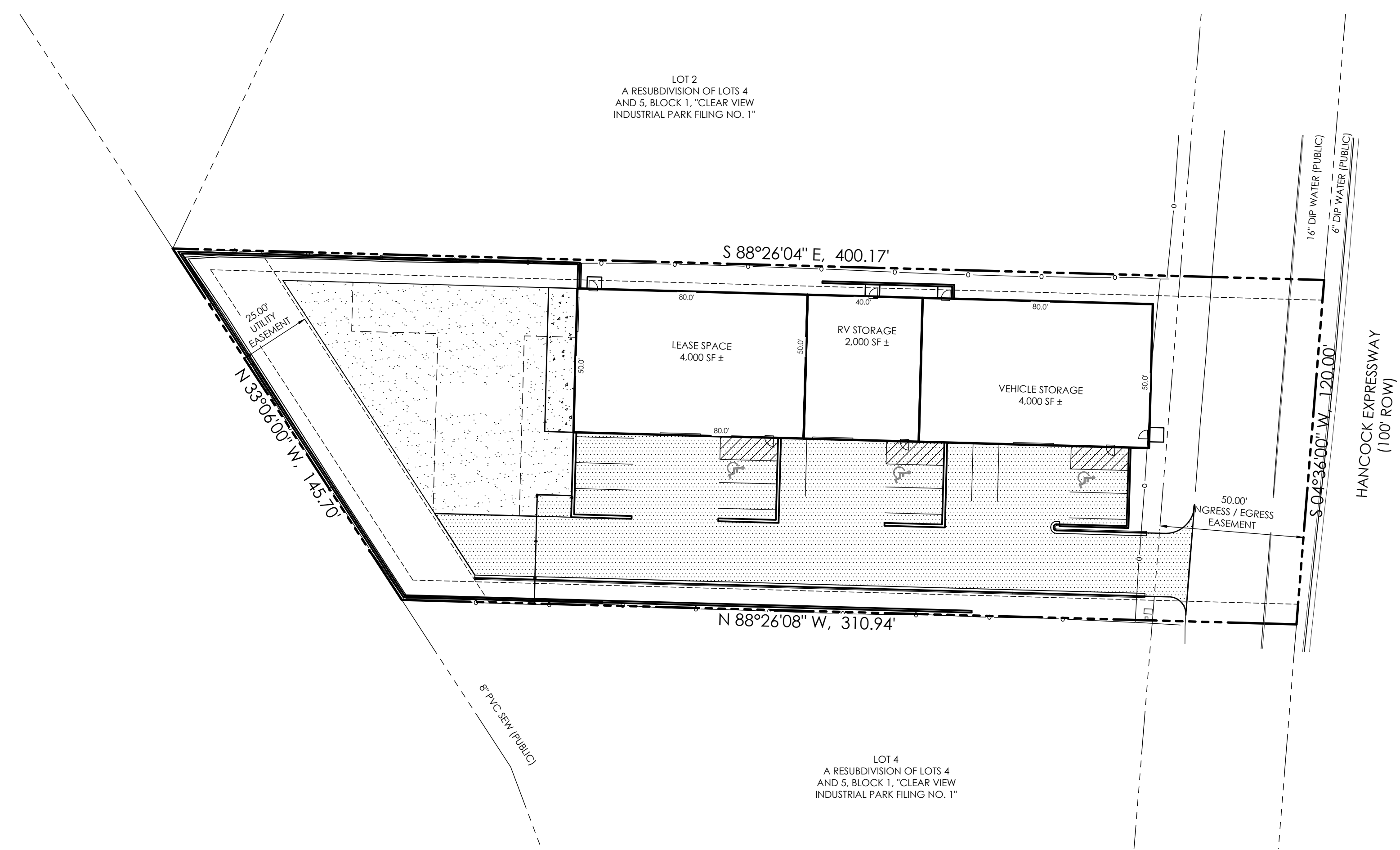


VICINITY MAP  
NOT TO SCALE

BENCHMARK  
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD '88.



1903 LELARAY STREET, SUITE 200 COLORADO SPRINGS, CO 80909 719.635.5736



### SITE DATA

**OWNER/DEVELOPER**  
BRAYLEN PROPERTIES, LLC  
523 SOUTHERN CROSS DRIVE  
COLORADO SPRINGS, CO 80906

**CONSULTANT/ENGINEER**  
M.V.E., INC.  
1903 LELARAY STREET, SUITE 200  
COLORADO SPRINGS, CO 80909  
(719) 635-5736

**SURVEYOR**  
POLARIS SURVEYING, INC.  
1903 LELARAY STREET, SUITE 102  
COLORADO SPRINGS, CO 80909  
(719) 448-0844

**ZONING**  
INDUSTRIAL (M CAD-O)

**BUILDING USE**  
UNIT 1: VEHICLE STORAGE  
UNIT 2: VEHICLE (RV) STORAGE  
UNIT 3: WAREHOUSE/OFFICE & OUTDOOR STORAGE

**TAX SCHEDULE NO.**  
6502002012

**PROPERTY ADDRESS**  
4190 HANCOCK EXPY

**LOT SIZE**  
42,608 SF (0.978 ACRES)

**COVERAGE DATA**

BUILDING	=	10,000 SF	23.5%
PAVED	=	15,325 SF	40.0%
GRAVEL	=	5,454 SF	12.8%
OPEN SPACE / LANDSCAPE	=	11,829 SF	27.7%
<b>TOTAL</b>	<b>=</b>	<b>42,608 SF</b>	<b>100.0%</b>

**PARKING SCHEDULE**

**REQUIRED PARKING**

UNIT 1: VEHICLE STORAGE	-	3 SPACES REQ.
UNIT 2: VEHICLE (RV) STORAGE	-	3 SPACES REQ.
UNIT 3: WAREHOUSE/OFFICE	-	1 SPACE / 1,000 SF = 4 SPACES
<b>TOTAL REQUIRED SPACES</b>	<b>=</b>	<b>10 SPACES</b>

**PROVIDED PARKING**

1 SPACE INSIDE UNIT 1 + 9 OUTDOOR SPACES	=	10 SPACES
3 ADDITIONAL ADA SPACES PROVIDED		

**BUILDING TYPE**

**BUILDING HEIGHT**

MAXIMUM HEIGHT:	50'
-----------------	-----

**SETBACKS**

FRONT:	15'
REAR:	15'
SIDE:	N/A

**LIGHTING**  
LIGHTING TO BE BUILDING MOUNTED FULL CUTOFF LIGHTS

### LEGAL DESCRIPTION

LOT 3, BLOCK A, A RESUBDIVISION OF LOTS 4 AND 5, BLOCK 1, "CLEAR VIEW INDUSTRIAL PARK FILING NO. 1"

### DEVELOPMENT NOTES

1. WATER SERVICE PROVIDED BY SECURITY WATER DISTRICT.
2. SEWER SERVICE PROVIDED BY SECURITY SANITATION DISTRICT.
3. FIRE SERVICE PROVIDED BY SECURITY FIRE PROTECTION DISTRICT.
4. NATURAL GAS SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES
5. ELECTRIC SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES

### SHEET INDEX

SITE DEVELOPMENT PLAN	
DP-1	COVER SHEET
DP-2	SITE PLAN
GRADING & EROSION CONTROL PLAN	
C1.1	COVER SHEET
C1.2	GRADING PLAN
C1.3	EROSION CONTROL
C1.4	EROSION DETAILS 1
C1.5	EROSION DETAILS 2
UTILITY PLAN	
C2.1	UTILITY SERVICE PLAN
LIGHTING PLAN	
E-1	LIGHTING PLAN
LANDSCAPE PLAN	
L1	LANDSCAPE PLAN
L2	LANDSCAPE PLAN
BUILDING FLOOR PLAN	
A1.01	FLOOR PLANS
BUILDING ELEVATIONS	
A2.01	EXTERIOR ELEVATIONS

### LEGEND

	PROPERTY LINE
	EASEMENT LINE
	LOT LINE
	BUILDING SETBACK LINE
	ADJACENT PROPERTY LINE
<b>EXISTING</b>	
	INDEX CONTOUR
	INTERMEDIATE CONTOUR
	CONCRETE AREA
	ASPHALT AREA
	CURB AND GUTTER
	BUILDING/ BUILDING OVERHANG
	DECK
	RETAINING WALL - SOLID/ ROCK
	SIGN
	BOLLARD
	WOOD FENCE
	CHAIN LINK FENCE
	BARBED WIRE FENCE
	TREE (EVERGREEN/DECIDUOUS)
	SHRUB
	ROCK

<b>PROPOSED</b>	
	INDEX CONTOUR
	INTERMEDIATE CONTOUR
	CONCRETE AREA
	ASPHALT AREA
	CURB AND GUTTER
	BUILDING/ BUILDING OVERHANG
	DECK
	RETAINING WALL - SOLID/ ROCK
	SIGN
	BOLLARD
	WOOD FENCE
	CHAIN LINK FENCE
	BARBED WIRE FENCE
	TREE (EVERGREEN/DECIDUOUS)
	SHRUB
	ROCK

### ABBREVIATION LEGEND

ASPH	ASPHALT
CONC	CONCRETE
C & G	CURB & GUTTER
DET.	DETAIL
ESMT	EASEMENT
ME	MATCH EXISTING
P.B., PG.	PLAT BOOK, PAGE
PVMT	PAVEMENT
RET. WALL	RETAINING WALL
REC. NO.	RECEPTION NUMBER
R.O.W.	RIGHT-OF-WAY
SF	SQUARE FOOT
STBK	SETBACK
SW	SIDEWALK
UTIL	UTILITY
Ⓢ	CATCH CURB
Ⓣ	SPILL CURB

### ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

### FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA'S) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0763G, EFFECTIVE DECEMBER 7, 2018.

### MAP NOTES

1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE EAST LINE OF CLEAR VIEW INDUSTRIAL PARK FILING NO. 1, OF THE PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.
2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD '88.
3. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.
4. ALL SIDE AND REAR LOT LINES ARE SUBJECT TO A 7' UTILITY AND DRAINAGE EASEMENT, EXCEPT AS SHOWN OTHERWISE.



PCD FILE # PPR2348

### REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

4190 HANCOCK EXPRESSWAY

COVER SHEET  
DP-1

MVE PROJECT 61179  
MVE DRAWING DEV-CS

JUNE 21, 2024  
SHEET 1 OF 2

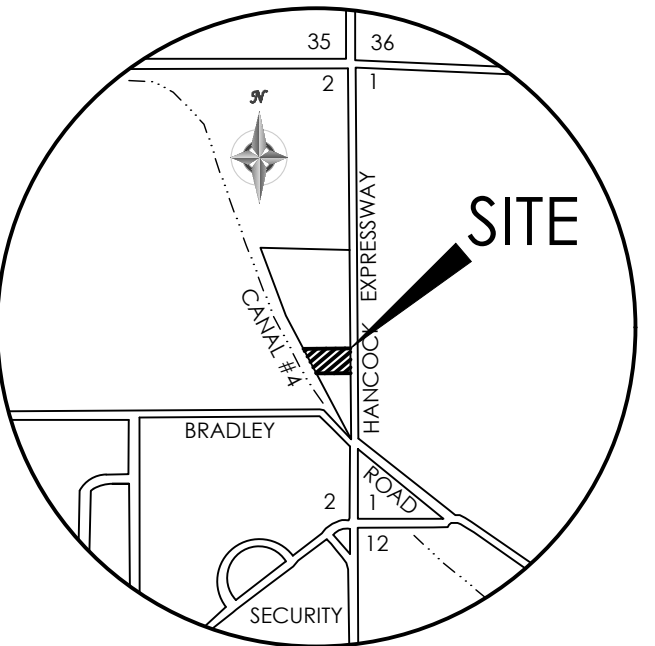
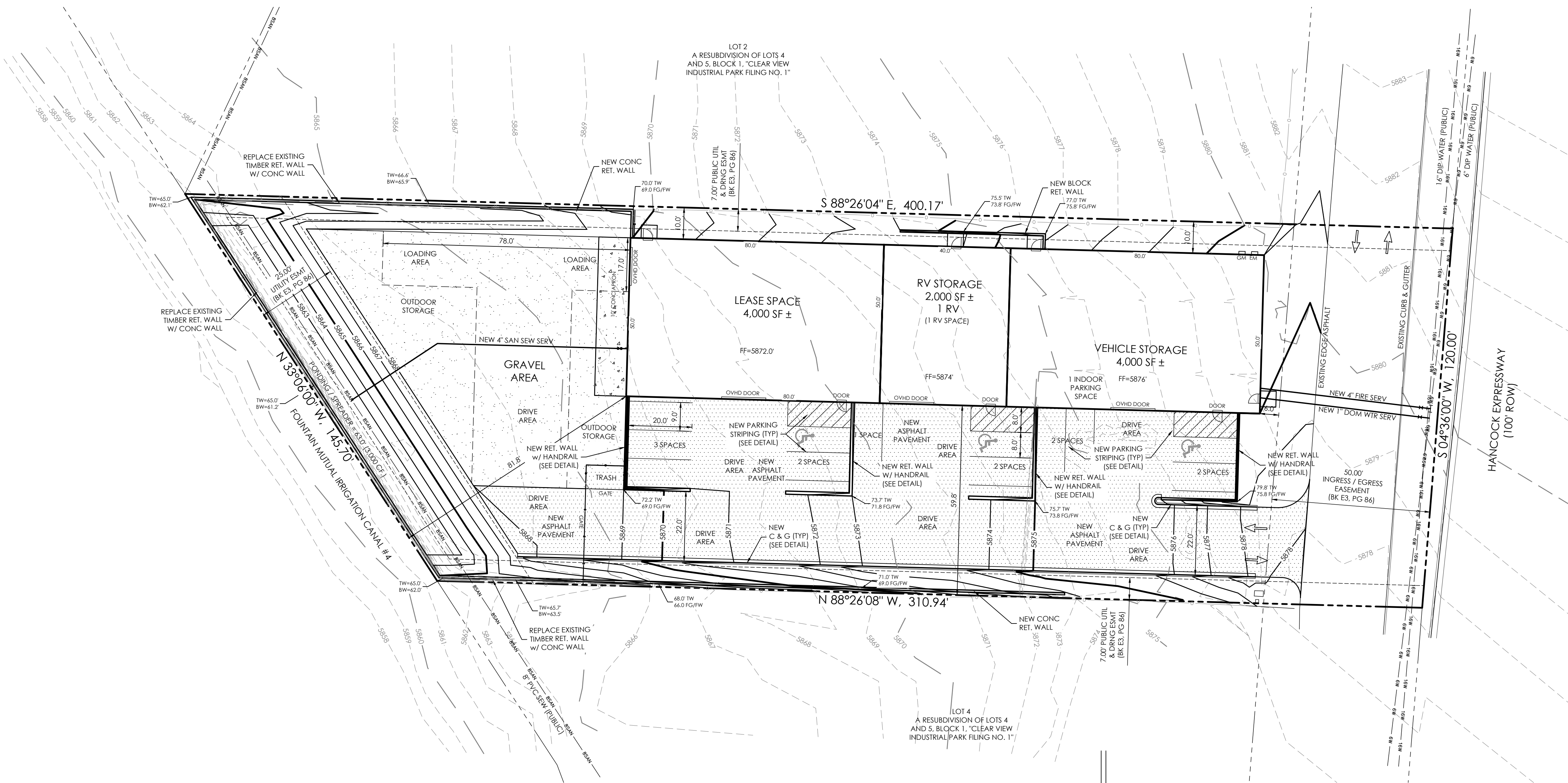


**COLORADO SPRINGS UTILITIES INFORMATION ITEMS:**

- PLEASE CONTACT UTILITIES DEVELOPMENT SERVICES (UDS) AT 719.668.8111 FOR AN ESTIMATE OF DEVELOPMENT CHARGES, FEES, RECOVERY AGREEMENT CHARGES OR OTHER UTILITY RELATED COSTS THAT MAY APPLY TO THIS DEVELOPMENT. ON INSTANCES WHERE METERED WATER AND/OR WASTEWATER CONNECTIONS EXISTED ON THE PROPERTY, PLEASE CONTACT UDS TO DISCUSS DISTRIBUTION OF WATER AND/OR WASTEWATER DEVELOPMENT CHARGES TO ELIGIBLE LOTS.
- WHEN NEW WATER METERS ARE PROPOSED TO SERVE THE PROJECT OR ADDITIONAL DEMAND ADDED TO EXISTING WATER METERS, A COMMERCIAL WATER METER SIZING FORM WILL BE REQUIRED TO BE SUBMITTED TO CSU PRIOR TO SERVICE CONTRACT ISSUANCE AND PLAN SET APPROVAL.
- CSU REQUIRES AN APPLICATION FOR GAS AND ELECTRIC LINE EXTENSION TO BE SUBMITTED ALONG WITH A LOAD DATA FORM OR AN APPLICATION FOR GAS SERVICE LINE APPROVAL AND/OR APPLICATION FOR SEWAGE PRESSURE APPROVAL PRIOR TO ELECTRIC AND NATURAL GAS SYSTEM DESIGN FOR SERVICE TO THE PROJECT. REFER TO THE CSU LINE EXTENSION AND SERVICE STANDARDS OR CONTACT FIELD ENGINEERING AT 719-668-4985.
- CSU MAY REQUIRE AN EXTENSION CONTRACT AND PAYMENT OF CONTRIBUTIONS-IN-AID OF CONSTRUCTION (OR A REVENUE GUARANTEE CONTRACT) FOR THE EXTENSION OF ELECTRIC FACILITIES NEEDED TO SERVE THE DEVELOPMENT. WITH REGARD TO NATURAL GAS EXTENSIONS, CSU MAY REQUIRE AN EXTENSION CONTRACT AND ADVANCE PAYMENT FOR THE ESTIMATED COSTS TO CONSTRUCT THE NECESSARY GAS EXTENSIONS.
- IMPROVEMENTS, STRUCTURES AND TREES MUST NOT BE LOCATED DIRECTLY OVER OR WITHIN 6 FEET OF ANY UNDERGROUND GAS OR ELECTRIC DISTRIBUTION FACILITIES AND SHALL NOT VIOLATE ANY PROVISION OF THE NATIONAL ELECTRIC SAFETY CODE (NEC) OR ANY APPLICABLE NATURAL GAS REGULATIONS OR CSU POLICIES.
- IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED UNDER ANY OVERHEAD UTILITY FACILITY. SHALL NOT VIOLATE NESC CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- LANDSCAPING SHALL BE DESIGNED TO PROVIDE THE REQUIRED CLEARANCES FOR UTILITY FACILITIES, TO ALLOW CONTINUOUS ACCESS FOR UTILITY EQUIPMENT, AND TO MINIMIZE CONFLICTS WITH SUCH FACILITIES.
- CSU REQUIRES WASTEWATER AND WATER CONSTRUCTION DRAWINGS WHEN NEW WASTEWATER AND WATER FACILITIES ARE PROPOSED. PLANS CAN BE SUBMITTED ELECTRONICALLY TO UDS VIA WWW.CSU.ORG.

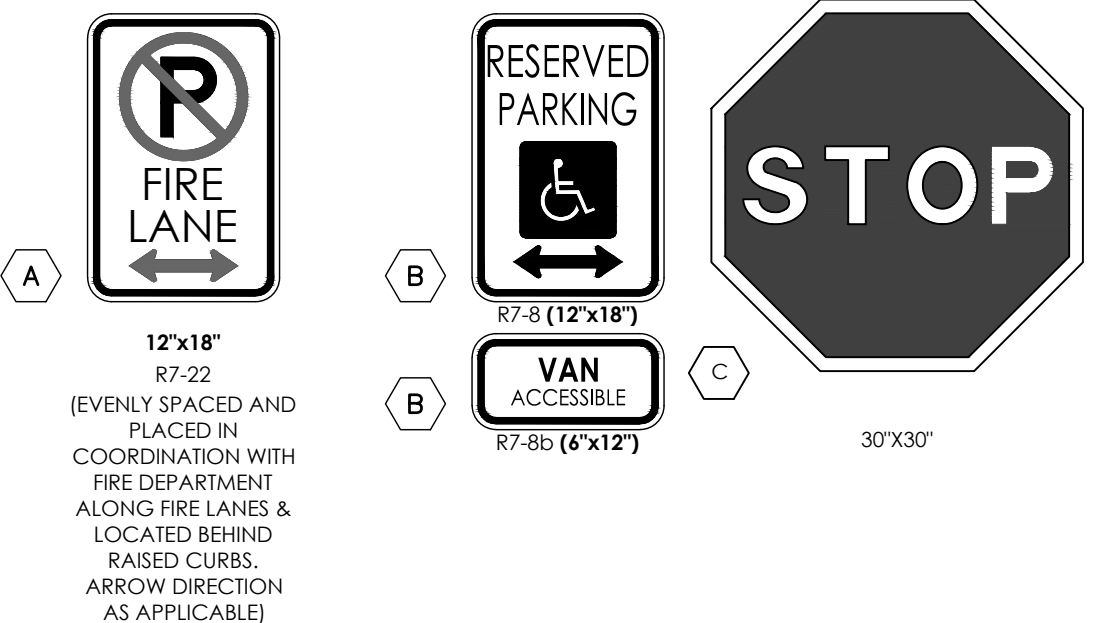
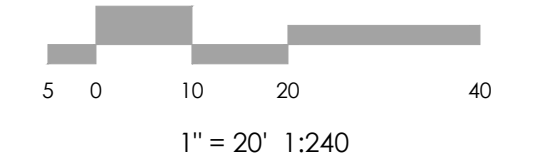
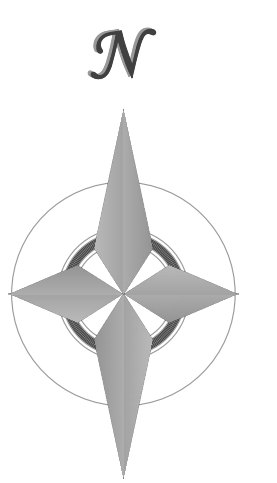
**COLORADO SPRINGS UTILITIES REQUIRED NOTES:**

- GAS METERS MUST BE A MINIMUM OF 3-FEET AWAY FROM ANY OPENING IN WALLS.
- TREES SHALL MAINTAIN A 15-FOOT MINIMUM SEPARATION FROM WATER AND WASTEWATER MAINS AND A 6-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.
- A MINIMUM OF 3-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.
- FENCING SHALL NOT STOP ACCESS TO UTILITY LINES OR CONFLICT WITH UTILITY EQUIPMENT.

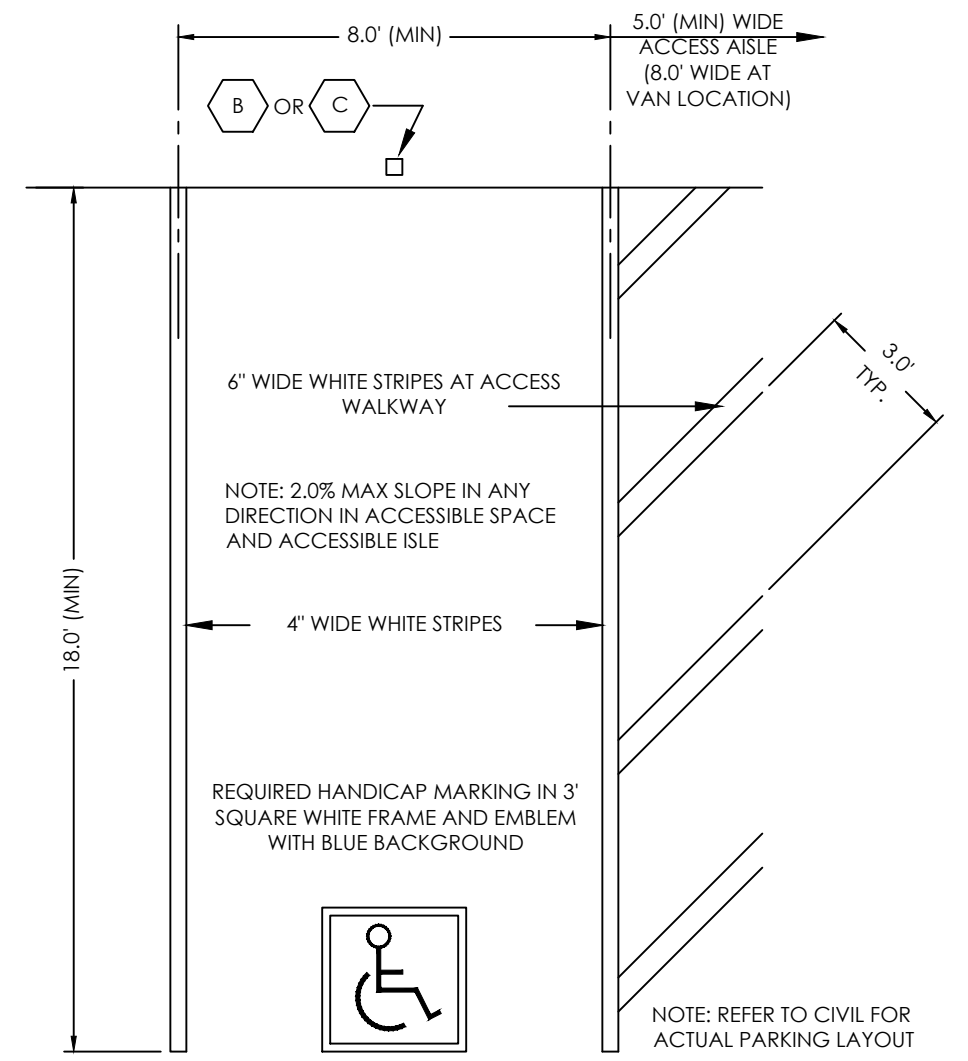


VICINITY MAP  
NOT TO SCALE

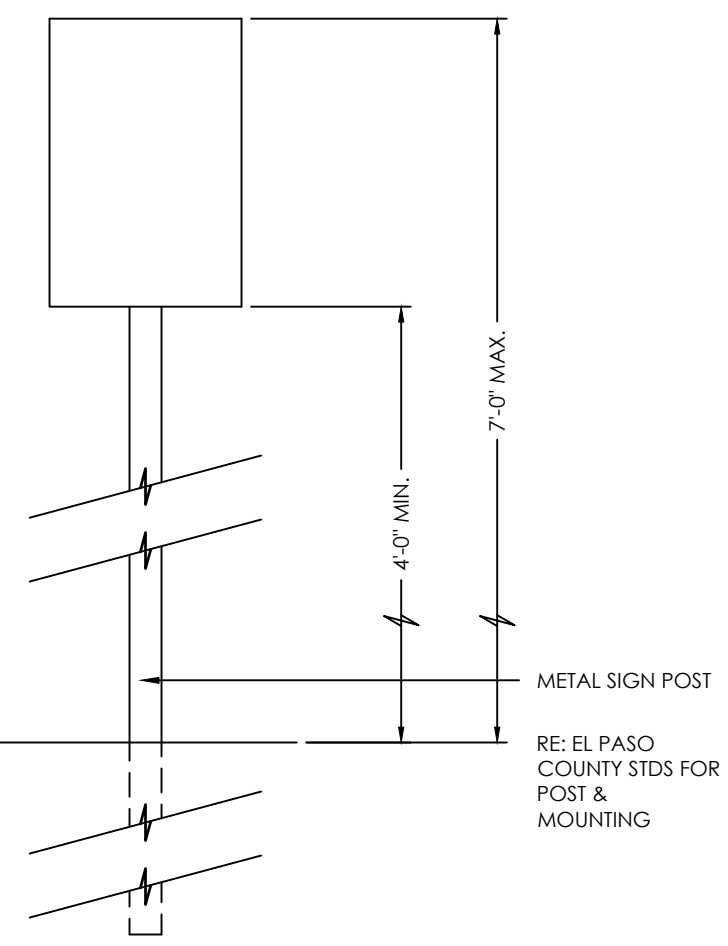
BENCHMARK  
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD 88.



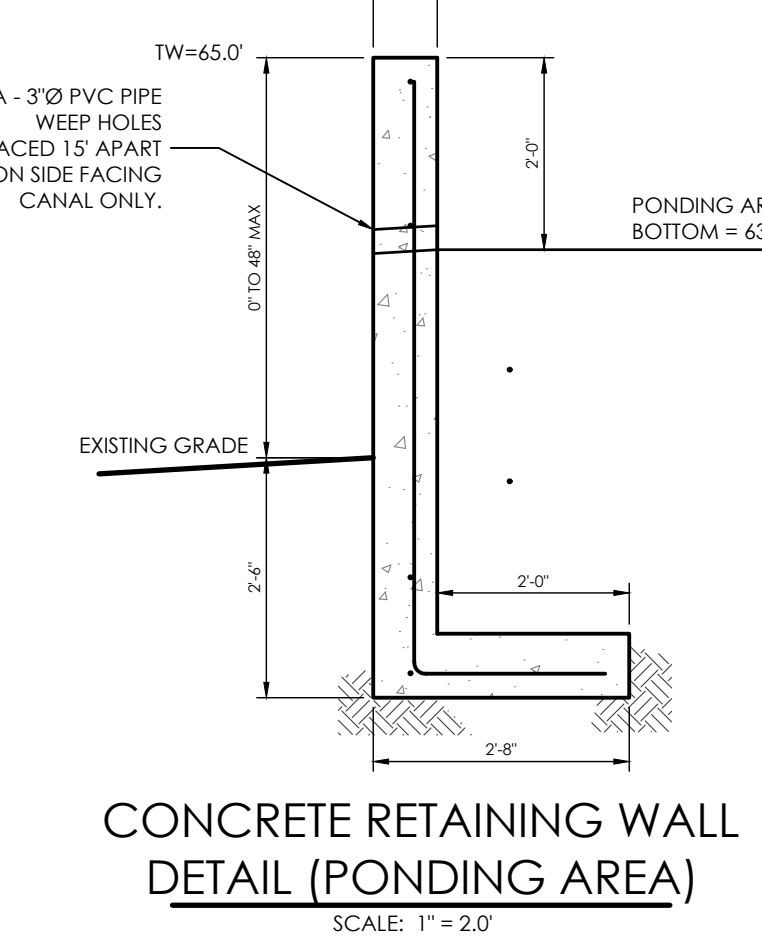
**SITE SIGNAGE LEGEND**  
SCALE: 1" = 1'-0"



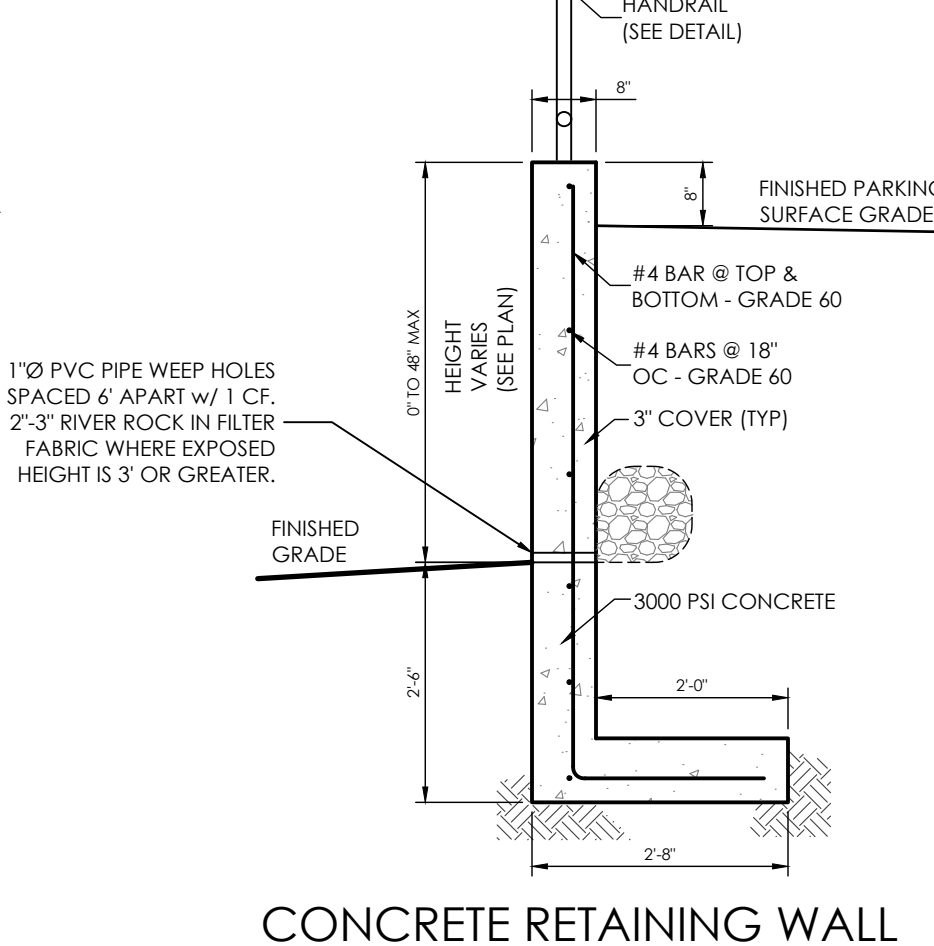
**TYPICAL HANDICAP PARKING SPACE**  
SCALE: 1" = 4'-0"



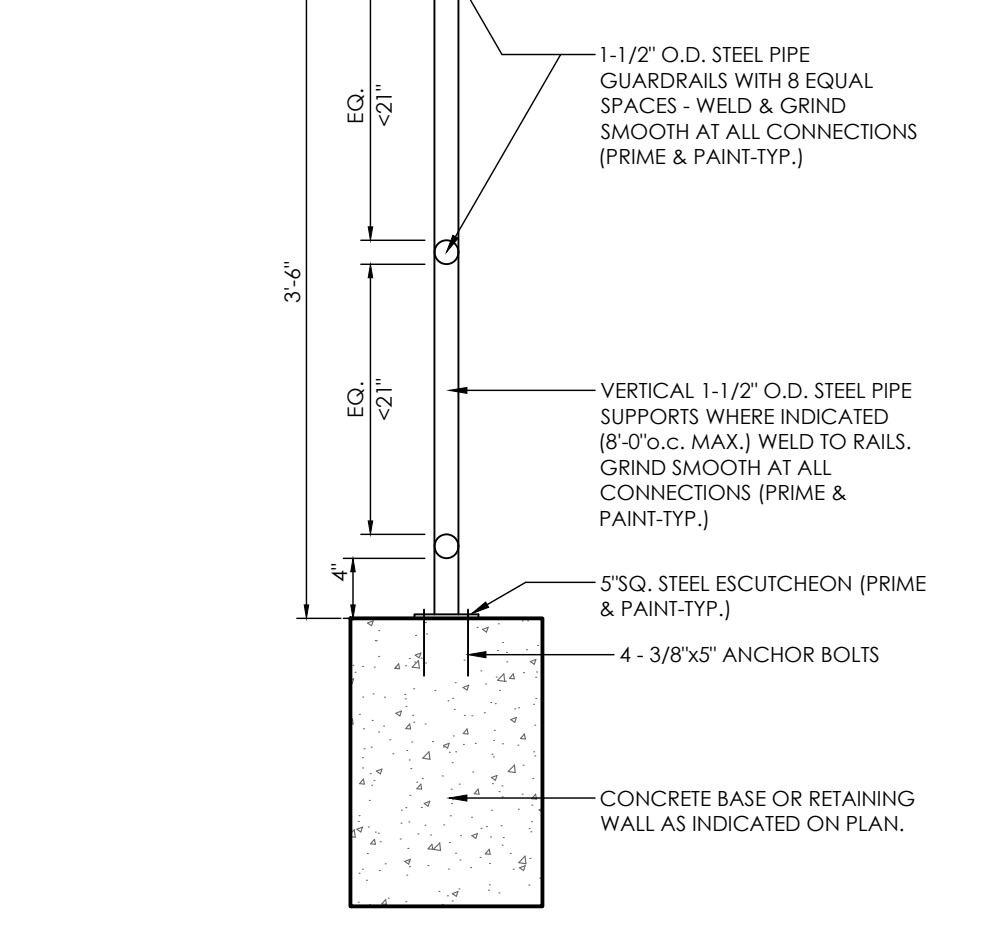
**TYPICAL SIGN POST**  
NTS



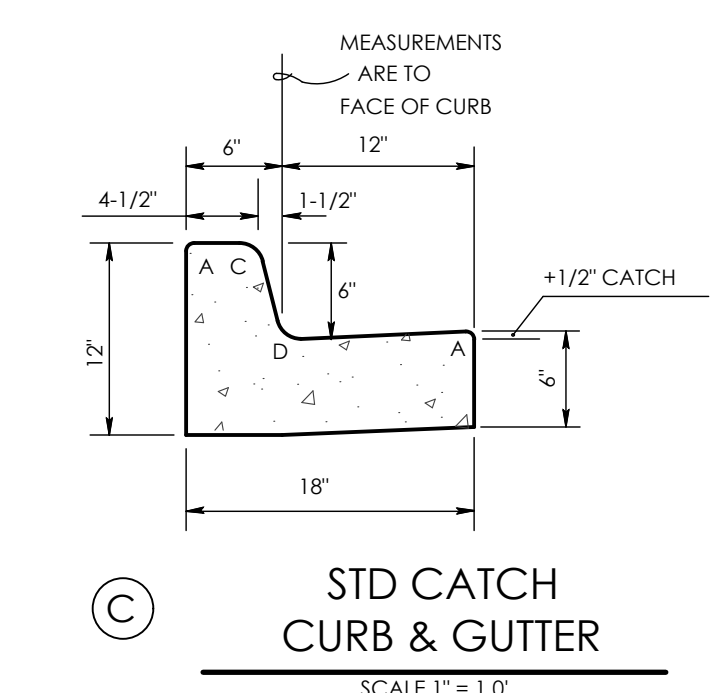
**CONCRETE RETAINING WALL  
DETAIL (PONDING AREA)**  
SCALE: 1" = 2'-0"



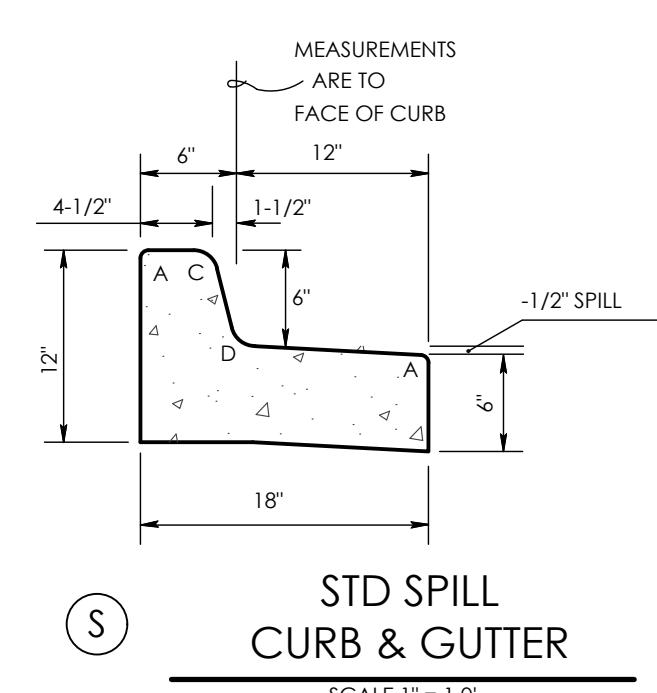
**CONCRETE RETAINING WALL  
DETAIL (PARKING LOT)**  
SCALE: 1" = 2'-0"



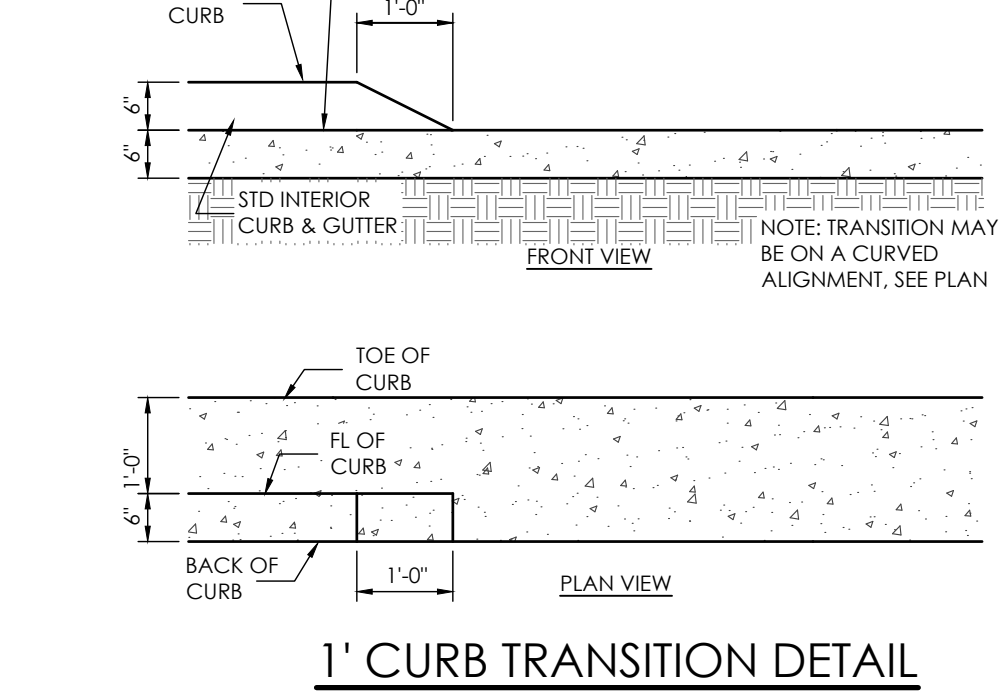
**HANDRAIL DETAIL**  
SCALE: 1" = 1'-0"



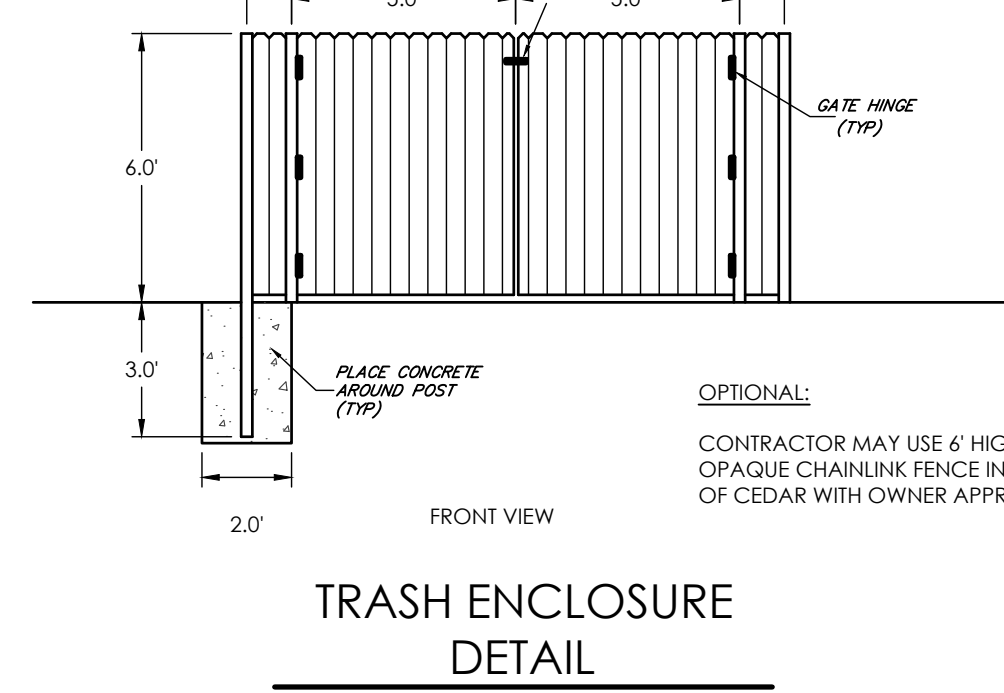
**STD CATCH CURB & GUTTER**  
SCALE: 1" = 1'-0"



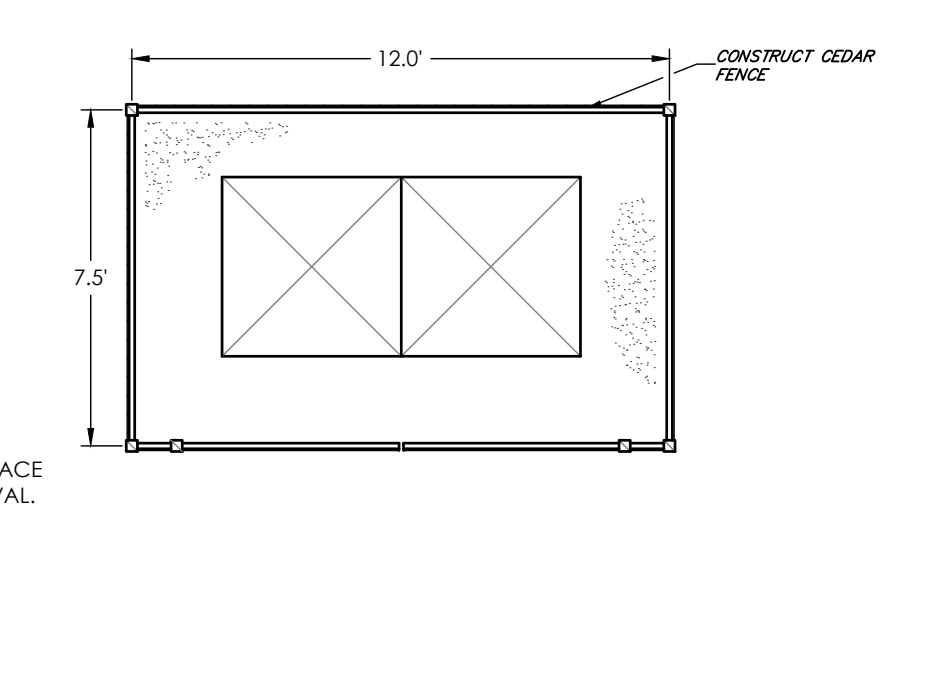
**STD SPILL CURB & GUTTER**  
SCALE: 1" = 1'-0"



**1' CURB TRANSITION DETAIL**  
SCALE: 1" = 2'-0"



**TRASH ENCLOSURE  
DETAIL**  
SCALE: NOT TO SCALE



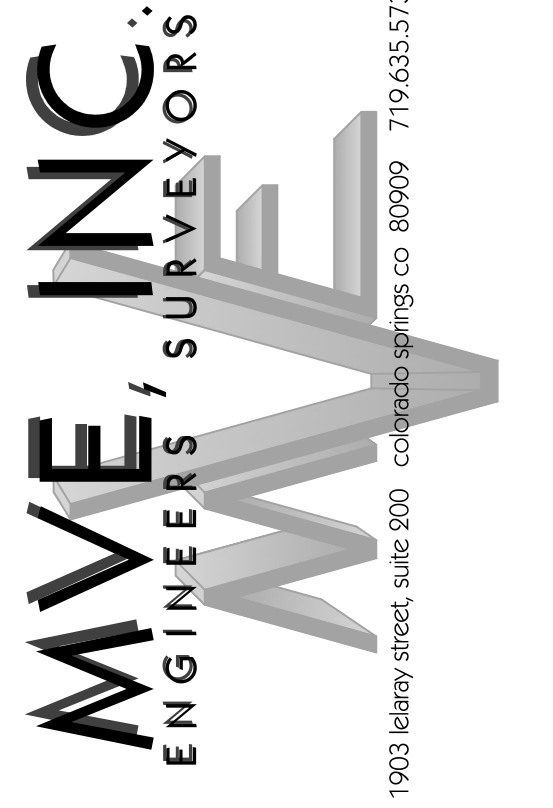
**MASONRY BLOCK WALL DETAIL**  
NOT TO SCALE

REVISIONS

NO.	DESCRIPTION

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

4190 HANCOCK EXPRESSWAY  
SITE DEVELOPMENT PLAN  
SITE PLAN  
DP-2 MVE PROJECT 61179  
MVE DRAWING DEV-SP  
JUNE 21, 2024  
SHEET 2 OF 2



PCD FILE # PPR2348



June 20, 2024

PCD File No. PPR2348

**LETTER OF INTENT  
4190 HANCOCK EXPRESSWAY  
SITE DEVELOPMENT PLAN  
(MVE Proj. No. 61179)**

**Owner:**

Braylen Properties LLC  
523 Southern Cross Drive  
Colorado Springs, CO 80906  
(719) 475-0922

**Consultant:**

M.V.E., Inc.  
1903 Lelaray Street, Suite 200  
Colorado Springs, CO 80909  
(719) 635-5736

**Developer/Applicant:**

Braylen Properties LLC  
523 Southern Cross Drive  
Colorado Springs, CO 80906  
(719) 475-0922

**Site Location Size and Zoning:**

The proposed Red Barn Trailers SITE is located on Lot 3, Block A, A Resubdivision of Lots 4 and 5, Block 1, "Clear View Industrial Park Filing No. 1" in Section 2, Township 15 South, Range 66 West of the 6<sup>th</sup> P.M., El Paso County, Colorado. The property is addressed as 4190 Hancock Expressway. The site is located on the west side of Hancock Expressway approximately 500 feet north of the intersection of Hancock Expressway and Bradley Road. The proposed site is 0.978 acres in size and having El Paso County Tax Schedule No. 65020-02-012. The property is currently vacant land that is zoned M CAD-O (Industrial).

**Request and Justification:**

The request is for Site Development Plan Approval of 4190 Hancock Expressway on Lot 3, Block A, A Resubdivision of Lots 4 and 5, Block 1, "Clear View Industrial Park Filing No. 1". The project will consist of one (1) building divided into three (3) separate spaces for automobile storage (garage), RV storage and a lease-able warehouse space having one story and paved access driveway, paved parking, gravel outdoor storage area, and landscaping.

**Access**

The access to this project is from the existing Hancock Expressway Frontage Road lying within a 50' ingress / egress right-of-way easement along the east 50' of the Lot. One access drive will connect the parking and storage area to the west side of said Frontage Road.

*Engineers • Surveyors  
1903 Lelaray Street, Suite 200 • Colorado Springs, CO 80909 • Phone 719-635-5736  
Fax 719-635-5450 • e-mail [mve@mvecivil.com](mailto:mve@mvecivil.com)*

### **Parking**

Ten (10) parking spaces are provided for the proposed building including three (3) van accessible ADA spaces. Required parking was calculated to be 10 spaces considering 4,000 sf of vehicle storage, 2,000 sf of RV storage, and 4,000 sf warehouse for totals of 3 spaces for vehicle storage, 3 spaces for RV storage, and 4 spaces for warehouse. One space of the 3 spaces required for vehicle storage shall be located indoors in the vehicle storage area.

### **ADA Requirements**

The site is provided with the required number ADA parking spaces. A van accessible ADA space is included for each unit of the building since an ADA accessible route is not feasible due to the stair stepped nature of the building / parking areas. All dimensions, slopes, ramps and building access ways have been examined and are deemed compliant with the Department of Justice 2010 ADA Standards for Accessible Design.

### **Landscaping/Screening**

Currently, the site is covered in native grasses and weeds. A landscape plan is included in the project submittal. Landscaping shall include trees and shrubs along the west side of the Hancock Expressway Frontage Road. Planted areas with trees and shrubs are also located on the front (east) side of the building. Non-irrigated native grass will be planted in most the remaining portions of the site that are not to receive building, pavement or gravel storage areas. Proposed trees will provide screening from the adjacent roadways. No further screening is required. There is an Alternate Landscaping Request for this project. Due to the industrial zoning and use of the this site, the owner requests a waiver of the internal tree landscape requirement. The presence of required Internal Landscaping on the site would hinder the efficient and proper use of the property for which it is intended and zoned. All other landscape requirements are being met. The most visible portion of the site (the street frontage) is landscaped with trees and shrubs.

### **Grading/Erosion Control/Storm Drainage**

The portions of the site shall be graded to accept the new improvements and to tie into the existing grades on the four edges of the site. Runoff from the impervious surfaces of the proposed site will flow to a small localized depression along the west edge of the site and be released at less than the historic rate into the adjacent Fountain Mutual Drainage Canal #4 as flows have done historically. A Final Drainage Report has been prepared as part of the submittal material for this application. Disturbance of the site shall be less than one (1) acre. The development of this site shall be in conformance with the drainage report. Drainage and Bridge Fees are not assessed on Site Development Projects.

### **Water, Sanitary Sewer, Electric and Gas Utilities**

The site is contained within the service area of Security Water and Sanitation District which will provide water and sanitary sewer service. Construction Documents for the proposed building will be reviewed by the appropriate utility organizations.

### **Fire Protection**

Fire Protection is provided by the Security Fire Department. Water mains exist along the east side of the site and existing fire hydrants are located approximately 300' north and 200' south of the site. Construction Documents for the proposed building will be reviewed by PPRBD and the Fire District.

### **Traffic Impact**

Per the El Paso County Engineering Criteria Manual Appendix B Section B.1.2.D, No Traffic Impact Study is required since all seven(7) of the criteria are satisfied. (1 & 3) Three fifths of the proposed building shall be vehicle and RV long term storage / garages with the remainder serving as warehouse and outdoor storage. In general, this business is a low volume traffic generator and not expected to cause significant traffic trips in the vicinity of the site. (2) There are no proposed road intersections. (4) There is no proposed change in use associated with this development. (5) The development of this site will have negligible impact on the existing LOS of adjacent roadways. (6) No known safety problems exist in the immediate vicinity. (7)There is no change in land use.

Road Impact Fees apply to this development.

### **Existing and Proposed Facilities**

Water service will be extended from the existing water main in the Frontage Road and sanitary sewer service will be connected to an existing sewer main running through the site to the west. Construction Drawings for the buildings will be reviewed and approved by Pike Peak Regional Building Department.



STAMP

PROJECT NAME

**4190 HANCOCK EXPRESSWAY**  
 Colorado Springs, CO

PLAN TITLE

**ALTERNATIVE LANDSCAPE PLAN**

PLAN DATE

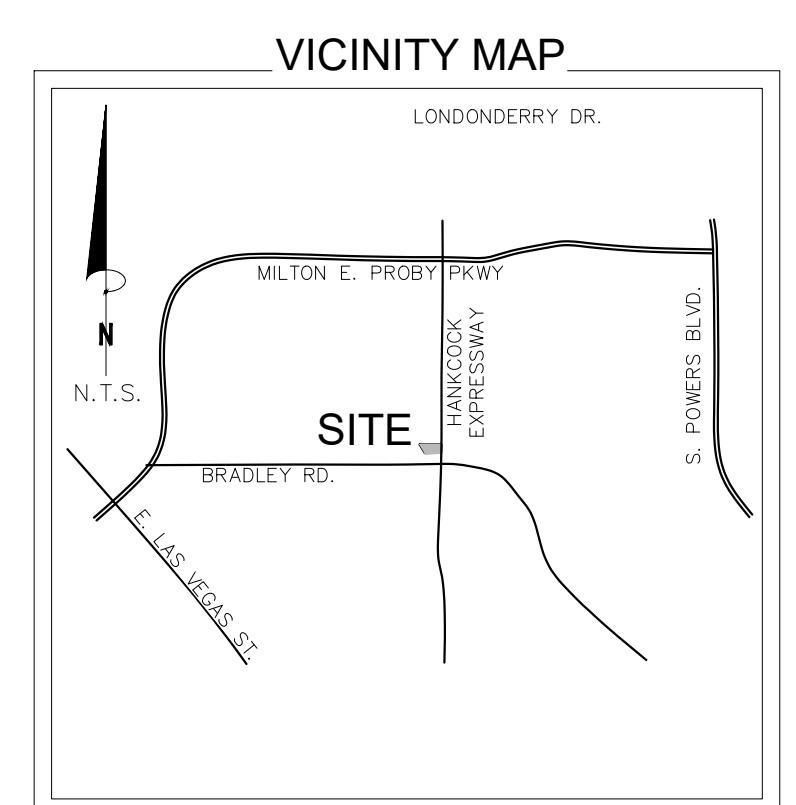
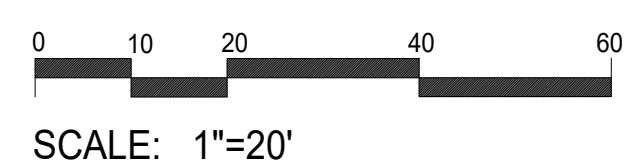
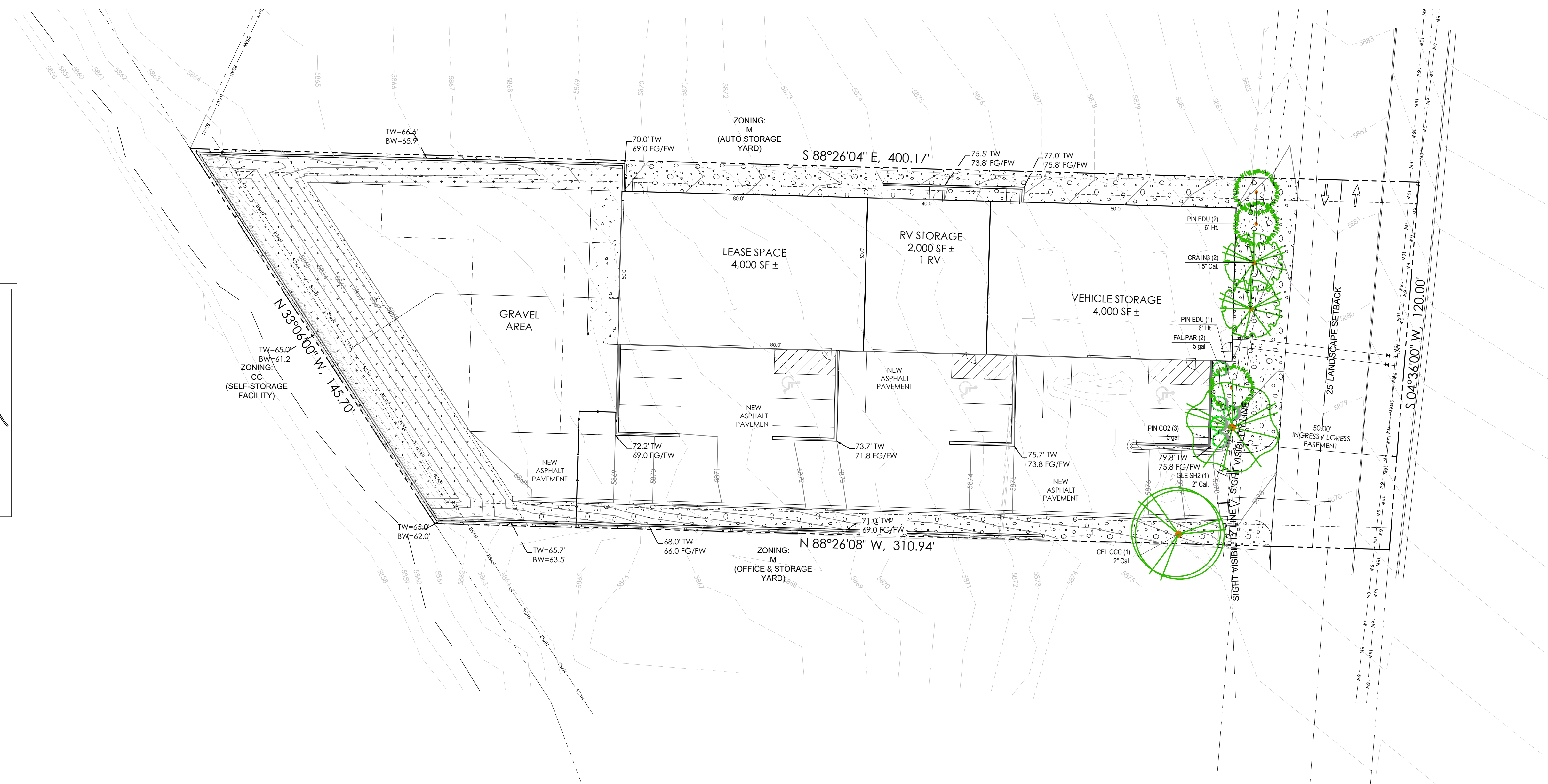
September 13, 2023

REVISIONS

April 15, 2024

SHEET NO.

**L1**



**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
	CEL OCC	1	Celtis occidentalis	Common Hackberry	2" Cal.	B & B
	CRA IN3	2	Crataegus crus-galli inermis	Thornless Cockspur Hawthorn	1.5" Cal.	B & B
	GLE SH2	1	Gleditsia triacanthos inermis 'Shademaster' TM	Shademaster Locust	2" Cal.	B & B
	PIN EDU	3	Pinus cembroides edulis	Pinyon Pine	6' Ht.	B & B
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
	FAL PAR	2	Fallugia paradoxa	Apache Plume	5 gal	
	PIN CO2	3	Pinus mugo 'Compacta'	Dwarf Mugo Pine	5 gal	

**LANDSCAPE MATERIALS LEGEND**

SYMBOL	DESCRIPTION	QTY
	1.5" DIAMETER 'ROYAL GRANITE' CRUSHED ROCK, 3" DEPTH OVER LANDSCAPE FABRIC	5,561 sf
	NON-IRRIGATED NATIVE GRASS WITH EROSION CONTROL BLANKET	4,579 sf

**SITE CATEGORY CALCULATIONS**

**Landscape Setbacks**

Street Name or Boundary	Street Classification	Width (in Ft) Req./Prov.	Linear Footage	Tree/Feet Required	No. of Trees Req./Prov.	Setback Plant Abbr. Denoted on Plan
Hancock Expressway	Major Arterial	25' / 25'	120'	1 / 20'	6 / 6	(HE)

**Parking**

No. of Vehicles Spaces Provided	Shade Trees Required/Provided	Abbr. on Plan	Vehicle Lot Frontages	Length of Frontage (excluding driveways)	2/3 Length of Frontage (ft.)
11	1 / 1	(MV)	Hancock Expressway	28'	19'

Min. 3" Screening Plants Req. / Prov.	Evergreen Plants Req. (50%) / Prov.	Length of Screening Wall or Berm Provided	Vehicle Lot Plant Abbr. on Plan	Percent Ground Plane Veg. Req. / Prov.
5 / 5	3 / 3	-	(HS)	75% / 75%

**Internal Landscaping**

Net Site Area (SF) (less public ROW)	Percent Minimum Internal Area (%)	Internal Area (SF) Required / Provided	Internal Trees (1/500 SF) Required / Provided
42,607 s.f.	5%	2,130 s.f. / 3,672 s.f.	- / 0*

Shrub Substitutes Required / Provided	Internal Plant Abbr. Denoted on Plan
0 / 0	(IN)

**Landscape Buffer & Screens**

Street Name or Property Line	Width (in Ft.) Req. / Prov.	Linear Footage	Buffer Trees (1/25') Required / Provided	Evergreen Trees Req. (1/3) / Provided
None	- / -	-	- / -	- / -

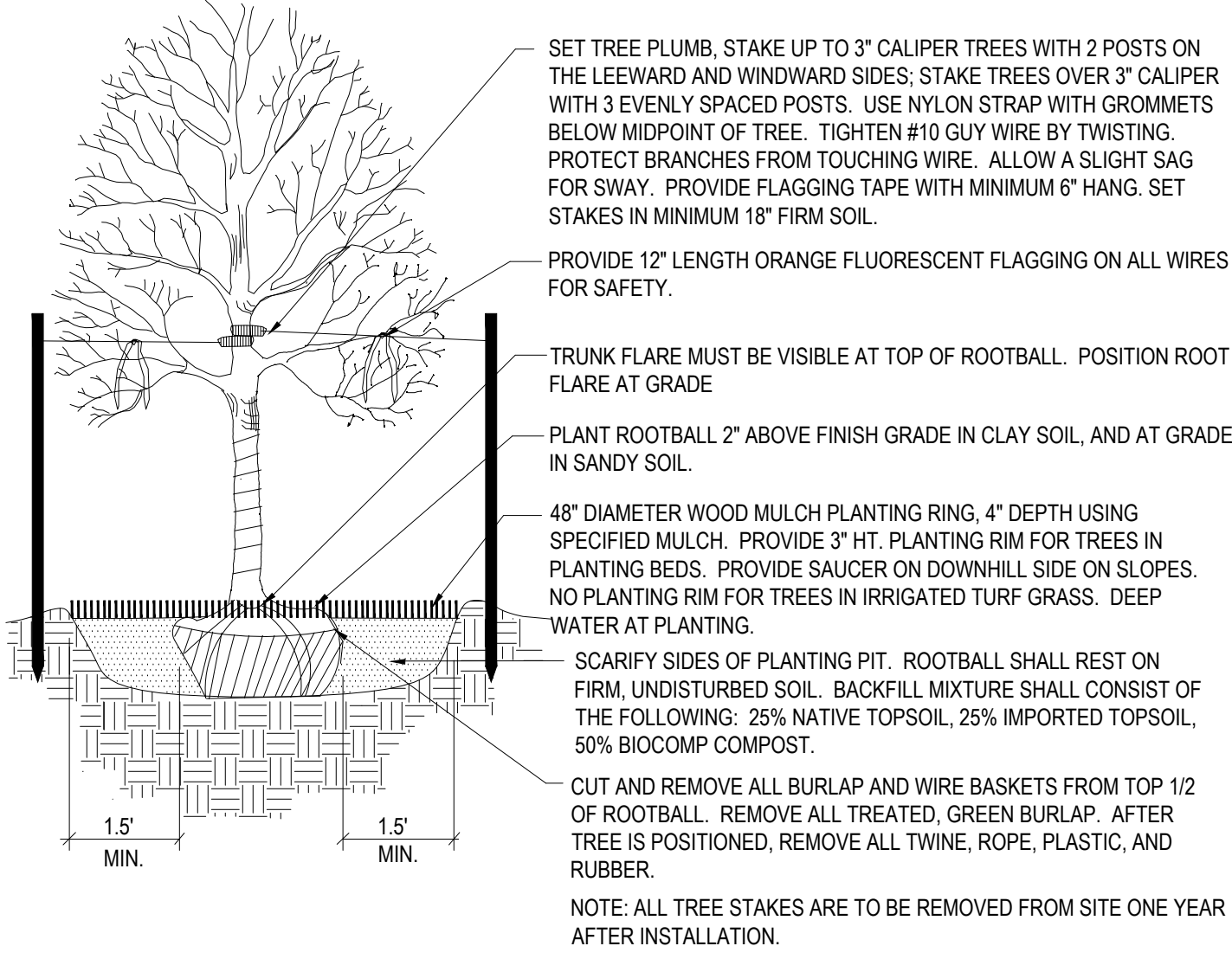
Length of 6 Ft. Opaque Structure Req. / Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
- / -	-	- / -

\* ALTERNATIVE LANDSCAPE PLAN REQUEST- Because of the industrial zoning and use of this site, the owner requests a waiver of the internal tree landscape requirement. All other landscape requirements are being met. The most visible portion of the site (the street frontage) is landscaped with trees and shrubs.



# PLANTING DETAILS

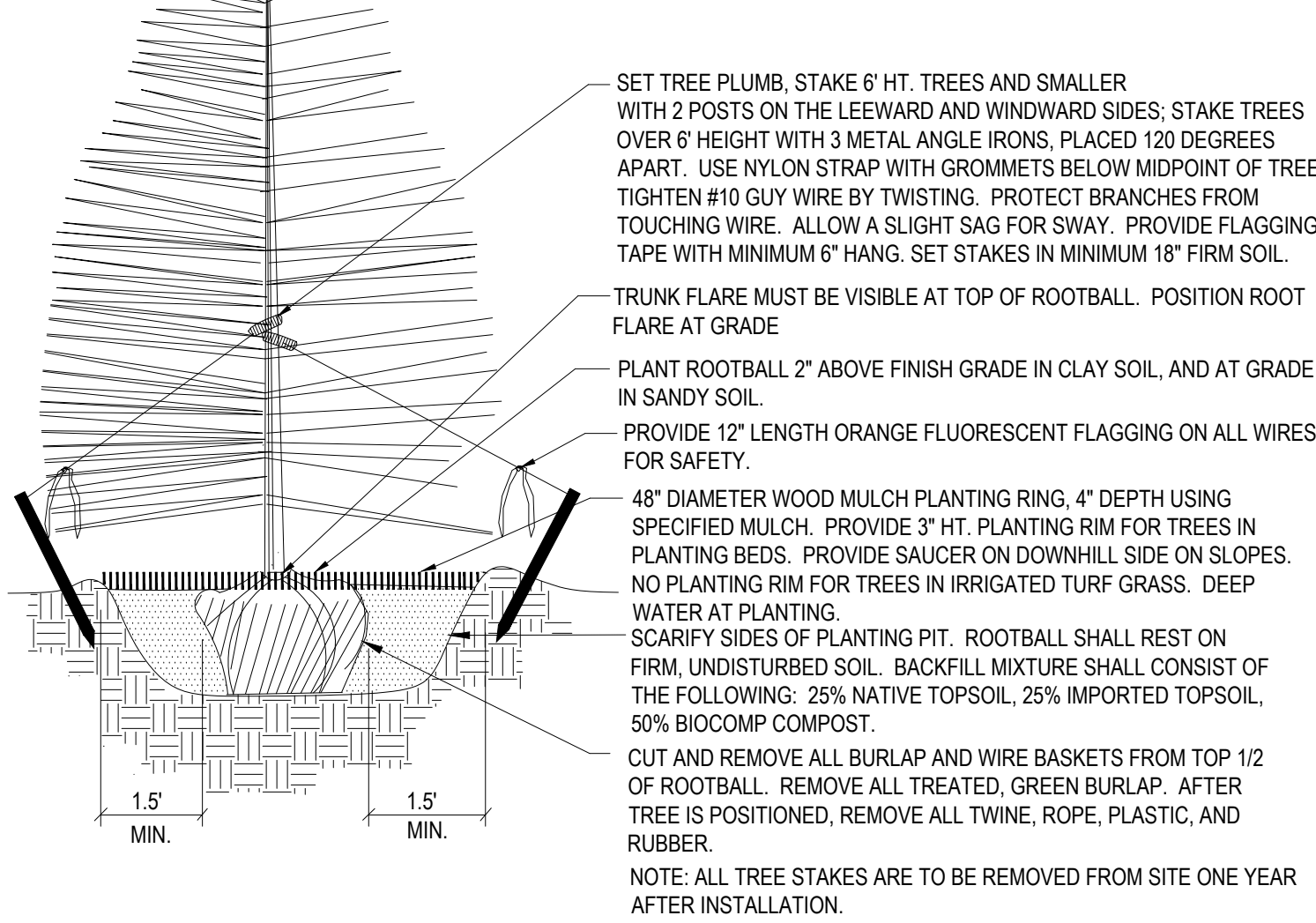
- NOTES:
- DO NOT REMOVE OR CUT LEADER.
  - PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
  - DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTED.
  - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
  - WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE NOT TWINE.



**1** Deciduous Tree Planting Detail

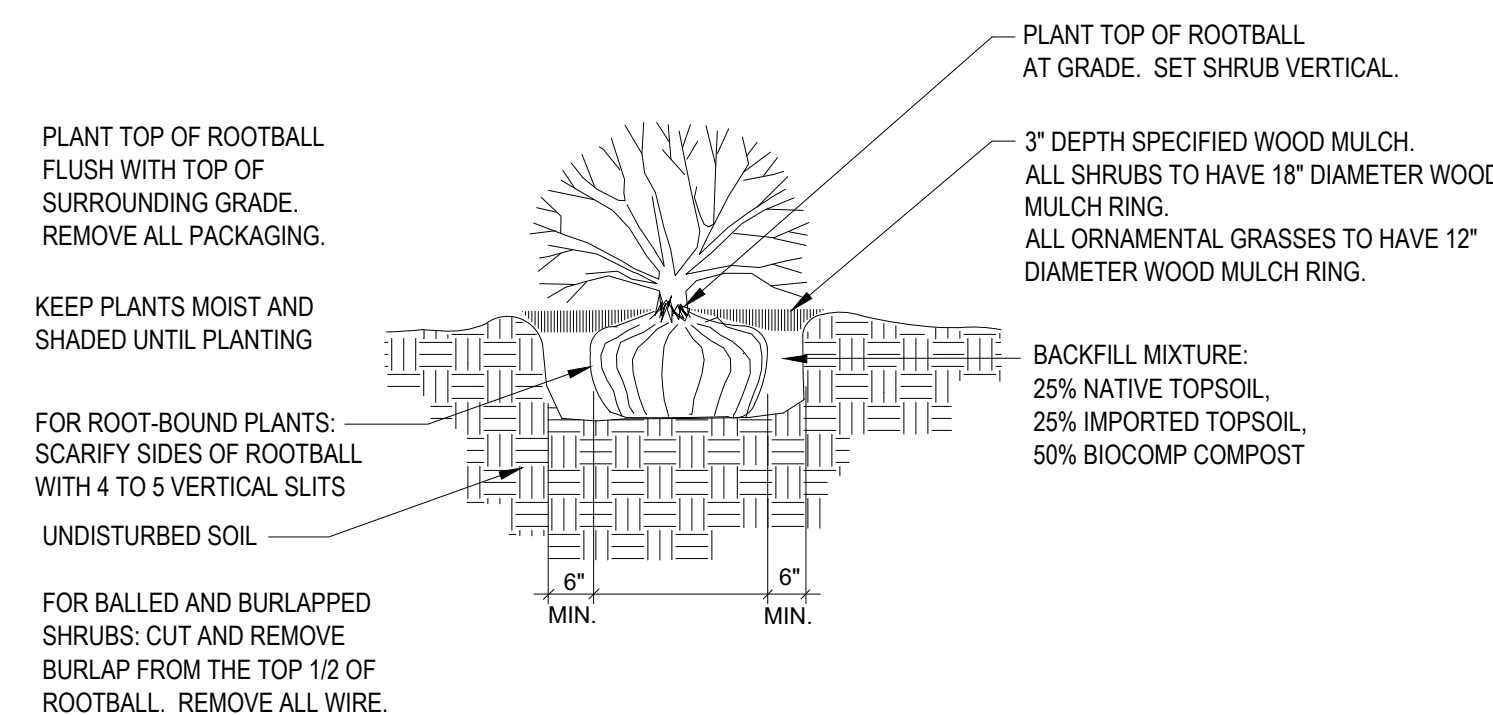
NOT TO SCALE

- NOTES:
- DO NOT REMOVE OR CUT LEADER.
  - PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
  - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTED.
  - AVOID FALL PLANTING IF POSSIBLE.



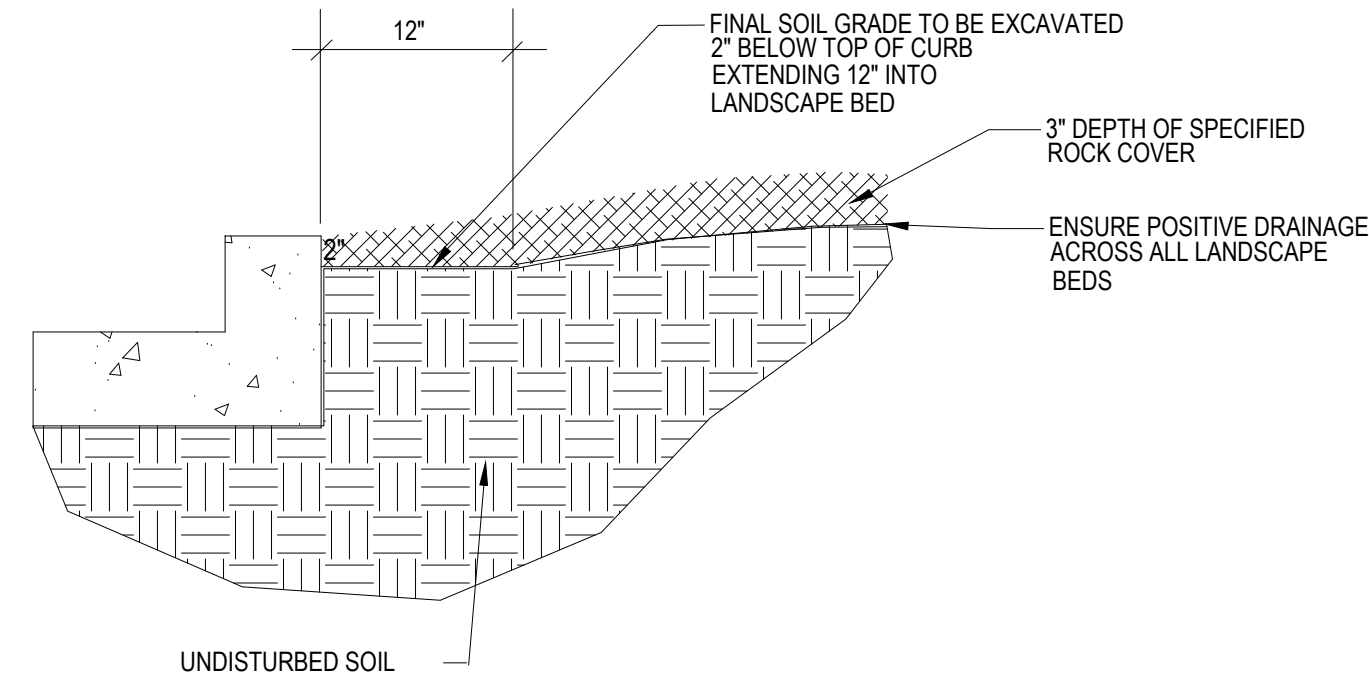
**2** Coniferous Tree Planting Detail

NOT TO SCALE



**3** Shrub Planting Detail

SCALE: NOT TO SCALE



**4** Rock Cover / Mulch Bed Excavation

SCALE: NOT TO SCALE

# GENERAL NOTES

- ALL REFERENCES TO 'CONTRACTOR' REFER TO LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR GETTING ALL UTILITY LOCATES PRIOR TO STARTING ANY WORK ON SITE AND ALSO HAVING UTILITIES RELOCATED AS NECESSARY FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS SHALL REQUIRE APPROVAL FROM THE EL PASO COUNTY PLANNING DEPARTMENT AND MAY DELAY COMPLETION OF PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF LANDSCAPE MATERIALS ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. NOTIFY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION IF LANDSCAPE MATERIAL LOCATIONS NEED TO BE ALTERED DUE TO ON-SITE CONDITIONS.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS, IRRIGATION COMPONENTS, NATIVE GRASS, AND WORKMANSHIP. CONTRACTOR IS TO PROVIDE OWNER WITH WARRANTY CONDITIONS AND COMMENCE WARRANTY PERIOD UPON FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION.
- THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, PRUNING, AND PLANT MATERIAL REPLACEMENT.

# PROJECT NOTES

- FINE GRADING TO BE PERFORMED BY LANDSCAPE CONTRACTOR TO REFLECT FINISHED GRADES SHOWN ON THE PROJECT GRADING PLANS. ALL FINISHED GRADES ARE TO HAVE A MINIMUM 2% SLOPE. CONTRACTOR IS TO REPORT POOR DRAINAGE CONDITIONS OR ANY GRADES IN LANDSCAPE AREAS LESS THAN 2% TO GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT PRIOR TO LANDSCAPE CONSTRUCTION WORK.
- CONTRACTOR IS TO PROVIDE FINAL GRADES ADJACENT TO HARDSCAPE SURFACES AT THE FOLLOWING SPECIFICATIONS:  
2' BELOW TOP OF CONCRETE OR ASPHALT FOR ALL ROCK COVER BEDS.  
1' BELOW TOP OF CONCRETE OR ASPHALT FOR NATIVE SEED AREAS.  
CONTRACTOR IS TO COORDINATE THESE GRADING SPECIFICATIONS WITH GENERAL CONTRACTOR AND/OR WHOEVER IS PROVIDING ROUGH GRADING. FINAL GRADES IN ALL LANDSCAPE AREAS ARE TO BE ESTABLISHED USING ON-SITE STOCKPILED TOPSOIL.
- ALL DISTURBED NATIVE GRASS AREAS ARE TO BE SEEDED WITH SPECIFIED SEED MIX BY HYDRO-MULCHING OR DRILL SEEDING (WHERE ACCESSIBLE) AT SEEDING RATE SHOWN IN TABLE. EROSION CONTROL BLANKET TO BE INSTALLED OVER ALL NATIVE SEED AREAS. REFER TO NATIVE SEED ESTABLISHMENT SPECIFICATION AND SEED MIX TABLE FOR MORE DETAILED INSTRUCTIONS.
- ROCK COVER AREAS INSIDE PROPERTY BOUNDARIES TO CONSIST OF 1.5" DIAMETER 'ROYAL GRANITE' CRUSHED GRANITE (C&C SAND), SPREAD 3" DEPTH OVER LANDSCAPE FABRIC. LANDSCAPE FABRIC TO CONSIST OF A WOVEN FIBER FABRIC (MIRAFI OR EQUAL). FABRIC TO OVERLAP 6" MINIMUM AT ALL SEAMS. 6" STEEL ANCHOR PINS TO BE INSTALLED 8' O.C. MAX.
- 'CASCADE CEDAR' (C&C SAND) WOOD MULCH IS TO BE PROVIDED AROUND THE BASE OF ALL PLANTINGS, 3" DEPTH (NO FABRIC BENEATH). REFER TO PLANTING DETAILS.

# SOIL PREPARATION NOTES

- NATIVE GRASS AREAS:** ALL DISTURBED NATIVE GRASS AREAS TO RECEIVE 2 CU. YDS. PER 1,000 SQ. FT. OF 'BIOCOMP' SOIL AMENDMENTS (C&C SAND) INCORPORATED INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
- PROPOSED TREES AND SHRUBS:** ALL PROPOSED TREES ARE TO BE BACKFILLED WITH A MIXTURE OF 'BIOCOMP' SOIL AMENDMENT AND IMPORTED GRADE A TOPSOIL (C&C SAND). REFER TO PLANTING DETAIL.

# IRRIGATION NOTES

- ALL PROPOSED PLANT MATERIALS ARE TO BE WATERED BY A PROPOSED PERMANENT AUTOMATIC DRIP IRRIGATION SYSTEM. ALL SHRUBS TO HAVE (2) 1 GPH EMITTERS PLACED AT EDGE OF ROOTBALL ON OPPOSITE SIDES. ALL TREES TO HAVE (4) 1 GPH EMITTERS PLACED 90 DEGREES APART AROUND EDGE OF ROOTBALL.
- ALL SEEDED NATIVE GRASS AREAS TO BE ESTABLISHED BY A TEMPORARY SPRAY IRRIGATION ZONES CONNECTED TO THE AUTOMATIC IRRIGATION SYSTEM OR WITH PORTABLE SPRINKLER HEADS AND HOSES CONNECTED TO IRRIGATION SYSTEM QUICK COUPLERS AND/OR BUILDING HOSE BIB(S).

# GRADING / DRAINAGE NOTES

- LANDSCAPE CONTRACTOR IS TO VERIFY THAT ALL FINISHED GRADES COMPLY WITH GRADING PLAN PREPARED BY CIVIL ENGINEER. VERIFY THAT ALL SLOPES DRAIN AWAY FROM BUILDING(S) AND THAT DRAINAGE SWALES ARE CORRECTLY LOCATED AND CARRY WATER AS INTENDED. NOTIFY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION IF STANDING WATER IS PRESENT (OTHER THAN DETENTION FACILITIES) OR IF SLOPES ARE NOT GRADED AS PER APPROVED GRADING PLAN.
- LANDSCAPE CONTRACTOR IS TO LOCATE ALL DOWNSPOUTS AND DOWNSPOUT EXTENSIONS AND VERIFY THAT NO OBSTRUCTIONS ARE IMPEDING THE FLOW OF WATER AWAY FROM THE BUILDING.
- LANDSCAPE CONTRACTOR IS TO PROVIDE TEMPORARY EROSION MITIGATION MEASURES FOR THE DURATION OF LANDSCAPE CONSTRUCTION. THIS INCLUDES PLACEMENT OF WATTLES AND/OR EROSION BLANKET WHEREVER DRAINAGE ERODES BARE SOIL AND RUNOFF CAN POTENTIALLY DAMAGE NEIGHBORING PROPERTIES OR SEDIMENT COULD POTENTIALLY FLOW OUTSIDE OF PROPERTY LINES.

## EL PASO COUNTY ALL-PURPOSE MIX FOR UPLAND, TRANSITION AND PERMANENT CONTROL MEASURE AREAS

COMMON NAME	SCIENTIFIC NAME	GROWTH SEASON / FORM	% OF MIX	POUNDS PLS (PURE LIVE SEED)		
				-IRRIGATED BROADCAST -IRRIGATED HYDROSEED	-NON-IRRIGATED BROADCAST -NON-IRRIGATED HYDROSEED -IRRIGATED DRILLED	-NON-IRRIGATED DRILLED
				80 SEEDS/SQ. FT.	40 SEEDS/SQ. FT.	20 SEEDS/SQ. FT.
BIG BLUESTEM	<i>Buchloe dactyloides</i>	WARM, SOD	20%	4.4	2.2	1.1
BLUE GRAMA	<i>Bouteloua gracilis</i>	WARM, BUNCH	10%	0.5	0.25	0.13
GREEN NEEDLEGRASS	<i>Nassella viridula</i>	COOL, BUNCH	10%	2	1	0.5
WESTERN WHEATGRASS	<i>Pascopyrum smithii</i>	COOL, SOD	20%	6.4	3.2	1.6
SIDE-OATS GRAMA	<i>Bouteloua curtipendula</i>	WARM, BUNCH	10%	2	1	0.5
SWITCHGRASS	<i>Panicum virgatum</i>	WARM, BUNCH/ SOD	10%	0.8	0.4	0.2
PRAIRIE SANDREED	<i>Calamovilfa longifolia</i>	WARM, BUNCH	10%	1.2	0.6	0.3
YELLOW INDIANGRASS	<i>Sorghastrum nutans</i>	WARM, SOD	10%	2	1	0.5
SEED RATE (LBS. PLS / ACRE)				19.3	9.7	4.8

# NATIVE SEED ESTABLISHMENT

## INITIAL PLANTING

STOCKPILED TOPSOIL SHOULD BE SPREAD EVENLY OVER ALL AREAS TO RECEIVE NATIVE SEED. SEED BED IS TO BE WEED-FREE. SPECIFIED SOIL AMENDMENTS SHOULD BE SPREAD AND INCORPORATED INTO TOP 6" OF SOIL. SEED BED IS TO BE RAKED SMOOTH AND FREE OF DEBRIS LARGER THAN 1" IN DIAMETER. ANY AREAS THAT THE CONTRACTOR BELIEVES TO BE SUSCEPTIBLE TO EROSION ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR GENERAL CONTRACTOR PRIOR TO SEEDING. THE SPECIFIED SEED MIX IS TO BE APPLIED BY HYDRO-MULCH SEEDING AT THE RATE SPECIFIED. SEED IS TO BE APPLIED BETWEEN APRIL 15 AND SEPTEMBER 15. SEED SHALL NOT BE SOWN IF GROUND IS IN A FROZEN STATE. SPECIFIED EROSION CONTROL BLANKET IS TO BE INSTALLED IMMEDIATELY AFTER SEEDING. BLANKET SHALL BE LAID AND SECURED WITH 6" METAL STAPLES AS PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO PROVIDE INCIDENTAL WATERING OF ALL SEEDED AREAS THREE TIMES A WEEK DURING GROWING SEASON FOR A MINIMUM OF 8 WEEKS, OR UNTIL ESTABLISHED AND MEETING COVERAGE REQUIREMENTS. MOWING MAY BE NECESSARY DURING THE FIRST GROWING SEASON TO KEEP INVASIVE WEEDS FROM SETTING SEEDS. CONTRACTOR IS RESPONSIBLE FOR KEEPING BROADLEAF WEEDS UNDER CONTROL FOR 12 MONTHS AFTER INITIAL SEEDING AND IS ALSO RESPONSIBLE FOR OVER SEEDING BARE AREAS UNTIL SPECIFIED NATIVE GRASSES COVER ALL AREAS AND AREAS WITHOUT SPECIFIED NATIVE GRASS DO NOT EXCEED 6' X 6'.

## OVER SEEDING

SIX WEEKS AFTER THE INITIAL SEEDING DURING THE FIRST GROWING SEASON AND/OR DURING THE SPRING OF THE SECOND GROWING SEASON CONTRACTOR IS TO REPAIR ANY ERODED AREAS AND OVER SEED ALL BARE NATIVE GRASS AREAS. CONTRACTOR IS TO USE SPECIFIED SEED MIX BY BROADCAST AND RAKING INTO TOP 1/4" TO 1/2" OF SOIL. INCIDENTAL WATERING IS TO BE PROVIDED TO ESTABLISH OVER-SEEDED AREAS. BROADLEAF WEEDS ARE TO BE KEPT UNDER CONTROL BY MANUALLY PULLING OR CUTTING WEEDS OR SPRAYING OF BROADLEAF WEED HERBICIDE. HERBICIDE AND APPLICATION SHALL CONFORM TO ALL APPLICABLE LAWS OF THE STATE OF COLORADO AND MANUFACTURERS INSTRUCTIONS.



P.O. Box 354  
Palmer Lake, CO 80133  
(719) 640-9428  
jwlandarch@gmail.com  
www.jwlandscapearchitect.com

STAMP

PROJECT NAME

4190 HANCOCK EXPRESSWAY  
Colorado Springs, CO

PLAN TITLE

**ALTERNATIVE LANDSCAPE PLAN**

PLAN DATE

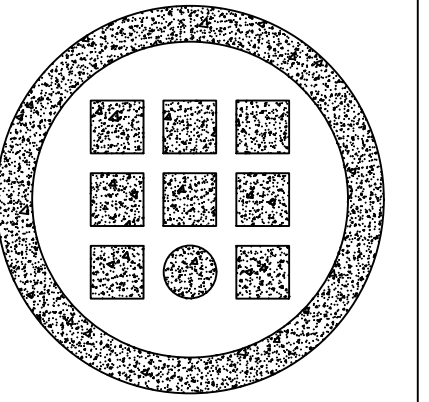
September 13, 2023

REVISIONS

April 15, 2024

SHEET NO.

L2

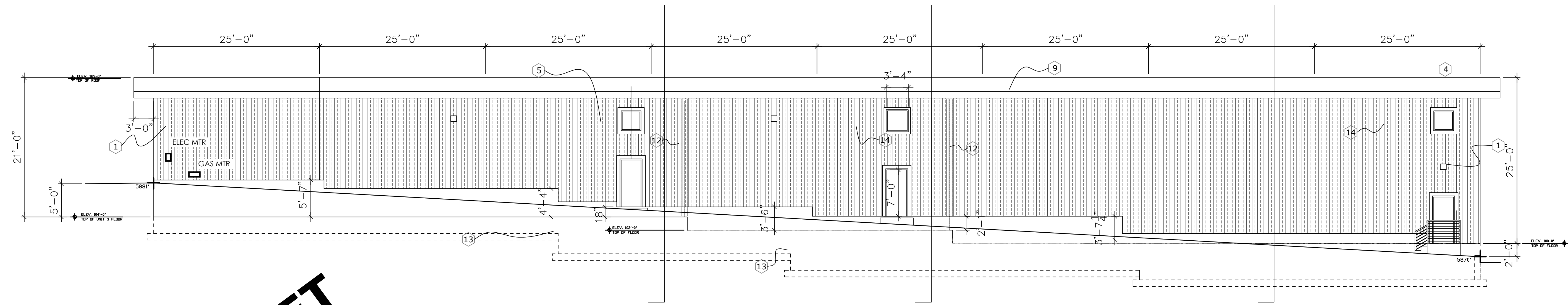


architvity

Ron Conder

r.conder@architvity.com

14405 River Oaks Dr.  
Colorado Springs, CO 80921  
719-661-9250, phone  
719-481-6463, fax

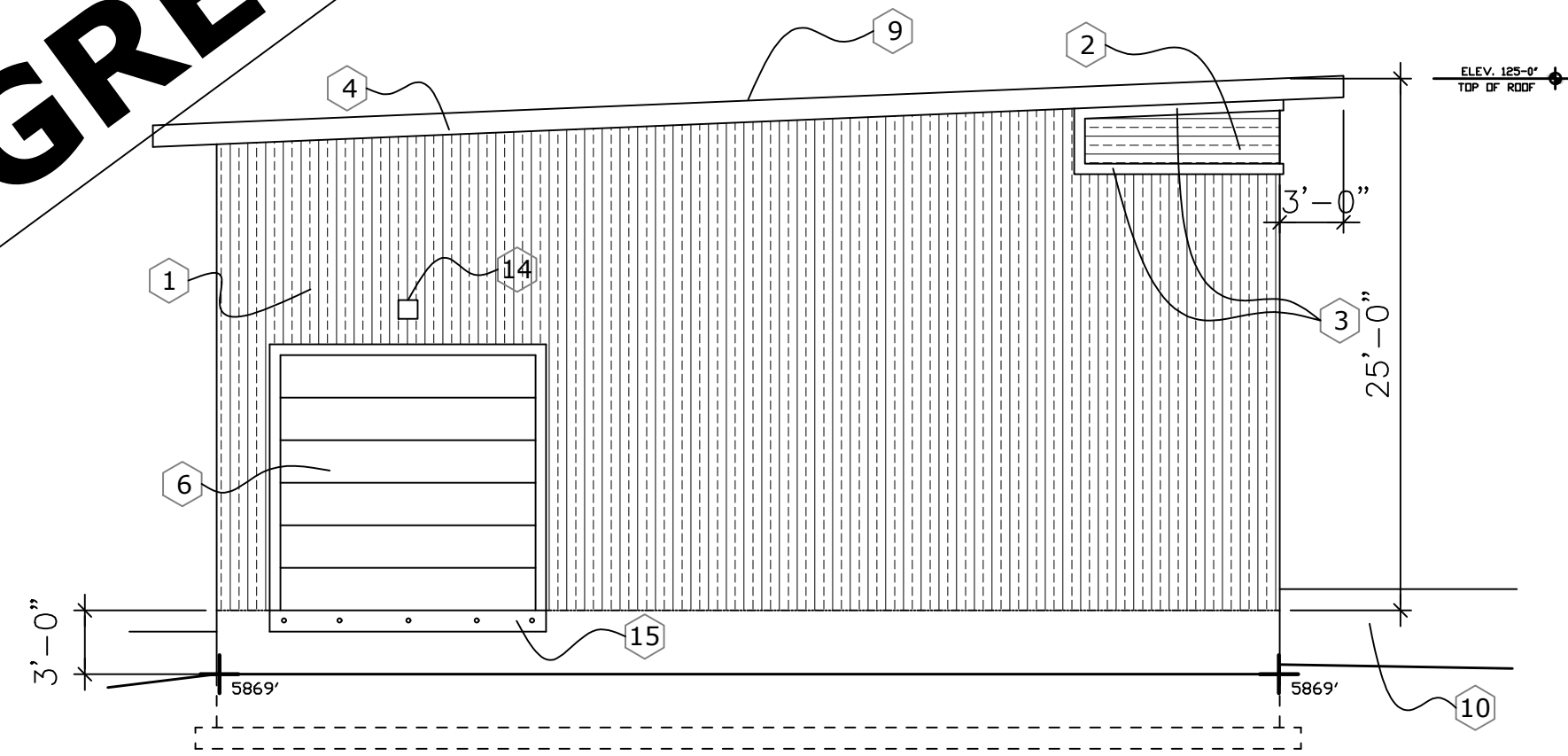


**1 NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

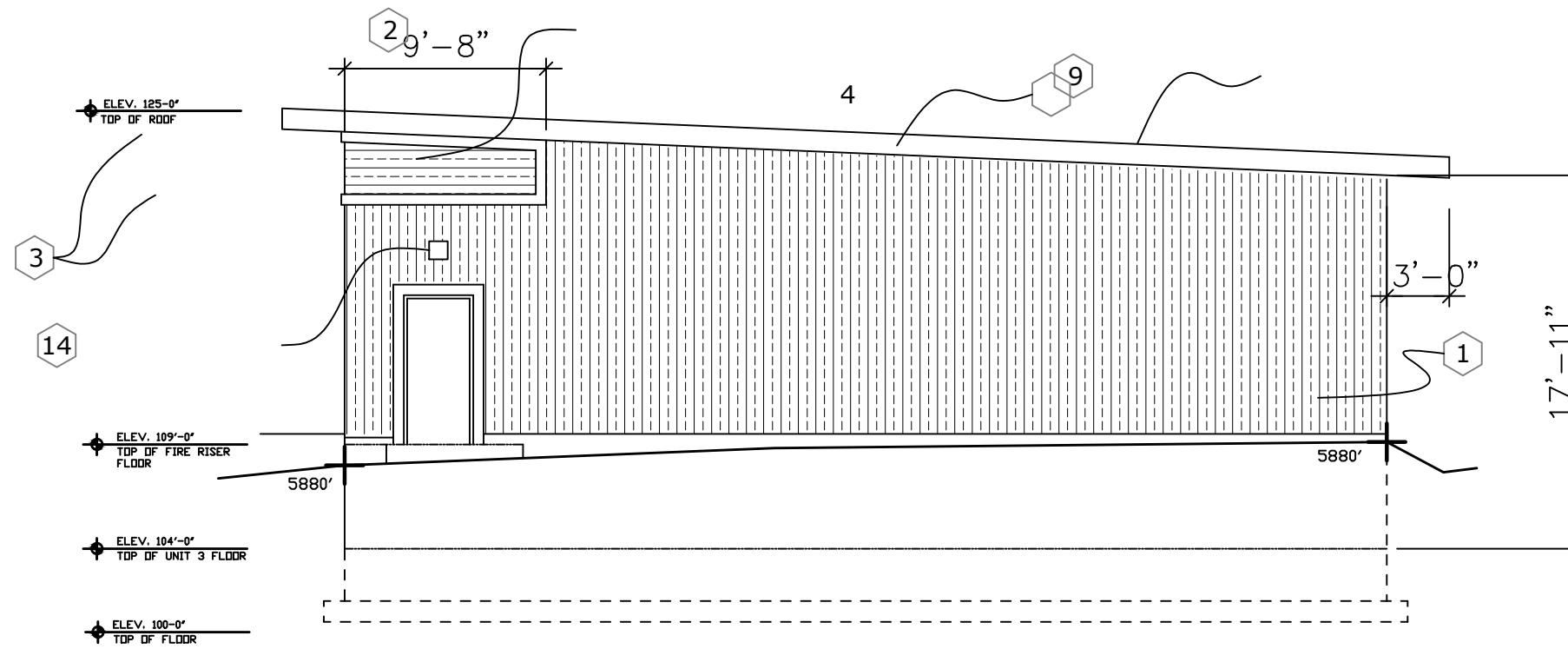
**KEY NOTES:**

- 1 BUILDING: RIGID METAL SIDING: VERTICAL COLOR: ASH GREY
- 2 ACCENT BAND: RIGID METAL SIDING: HORIZONTAL COLOR: CHARCOAL GREY
- 3 BREAK METAL TRIM: POWDER COAT OR PAINT COLOR: 2 SHADES DARKER THAN ACCENT BAND
- 4 METAL FASCIA: COLOR: CHARCOAL GREY
- 5 STOREFRONT GLASS AND FRAMES: CHARCOAL GREY COLOR: MATCH BREAK METAL FINISH
- 6 STEEL GARAGE DOORS: INSULATED COLOR: MATCH ACCENT SIDING
- 7 PRE-FABRICATED ALUMINUM AWNING. SEE STRUCT. DWGS FOR FRAMING AND MOUNTING. COLOR TBD
- 8 POWDER COATED STEEL SUPPORT STRUTS
- 9 ROOFING: RIGID METAL ROOFING: COLOR: SPECK 2000 BURNISHED SLATE
- 10 CONCRETE RETAINING WALL. SEE CIVIL DWGS.
- 11 PHANTOM LINE INDICATES STEPPED FOUNDATION WALL BEYOND METAL SIDING.
- 12 LINE OF UNIT DEMISING WALL BEYOND.
- 13 STEPPED FOUNDATION: SEE FOUNDATION PLAN
- 14 DOWN LIGHTING TBD.
- 15 LOADING DOCK BUMPER ANCHORED TO CONCRETE FACE.

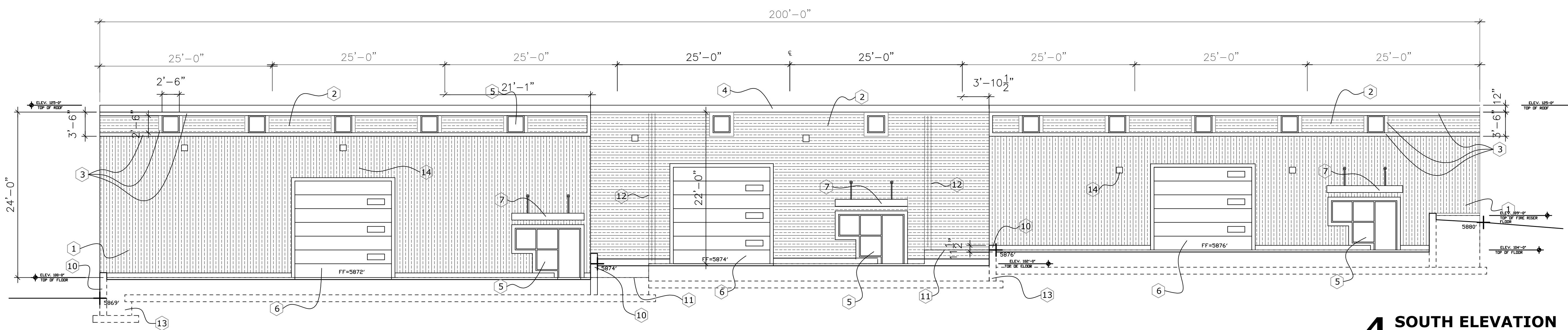
**PROGRESS SET**



**2 WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**3 EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**4 SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**PROJECT: BRAYLEN PROPERTIES WAREHOUSE  
4190 HANCOCK EXPWY. COLORADO SPRINGS CO 80911**

**SHEET: EXTERIOR ELEVATIONS**

date: 12/07/23

REV:

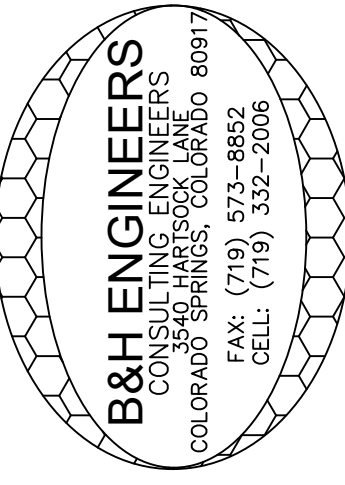
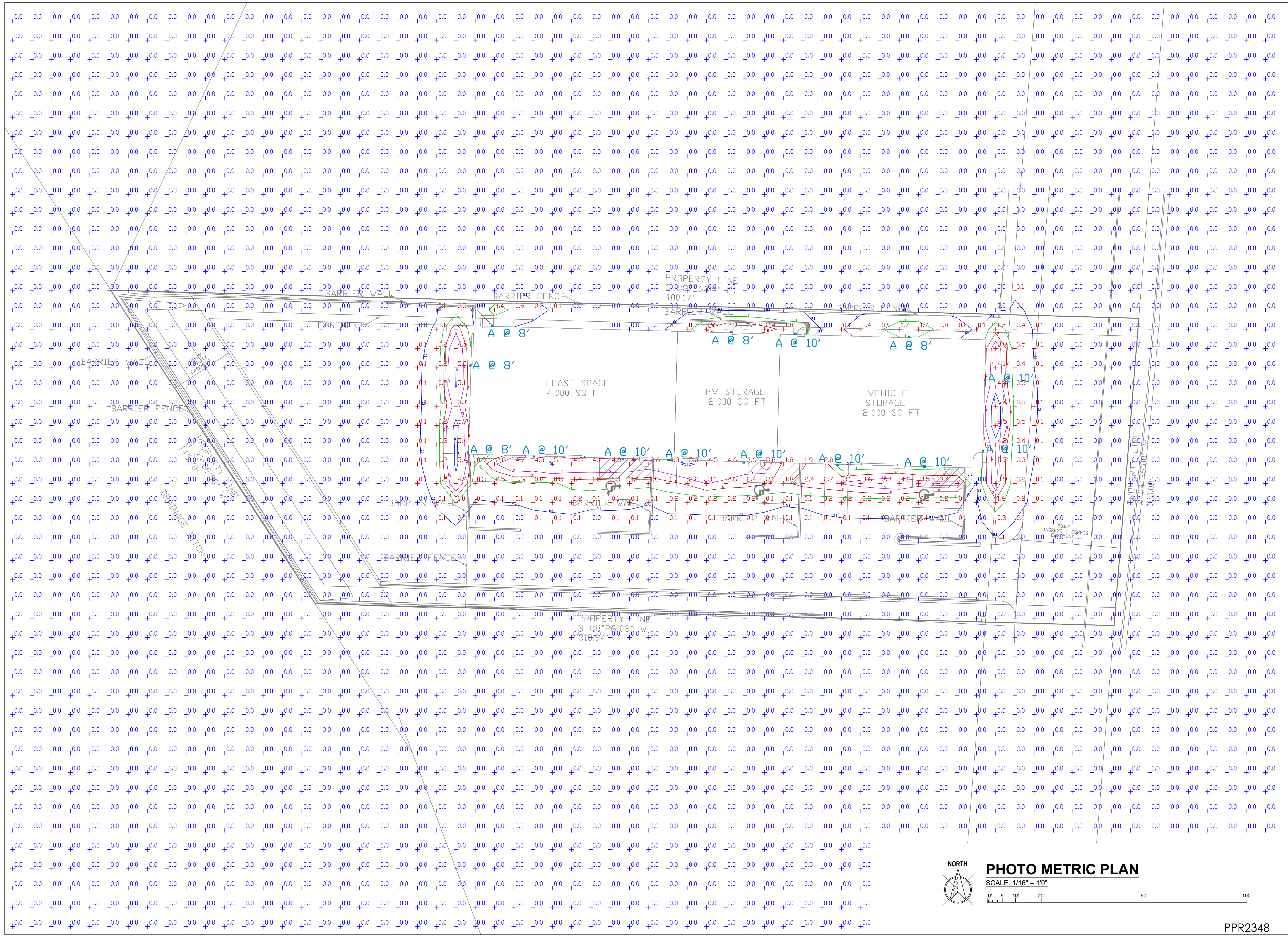
**A-4**



**SIGN PLAN**

Project: 4190 Hancock Expy (EA2325)

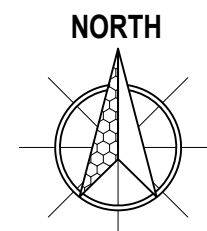
Exterior signage is not desired at this location. A Sign Plan is not submitted with this PPR application.



CONSULTING ELECTRICAL, MECHANICAL, & PLUMBING ENGINEERS  
 3550 HARTSOCK LANE  
 COLORADO SPRINGS, COLORADO 80917  
 TEL: (719) 573-8952  
 FAX: (719) 532-2942

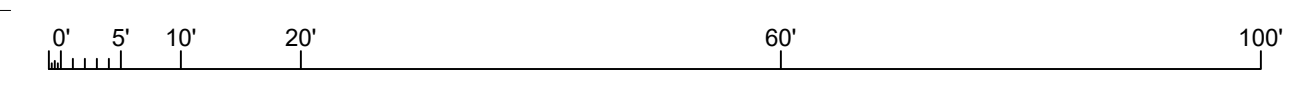
**4190 HANCOCK EXPY**  
**COLORADO SPRINGS, COLORADO 80911**

**B&H ENGINEERS**  
**PHOTO METRIC PLAN**  
**PM1**



**PHOTO METRIC PLAN**

SCALE: 1/16" = 10'



PPR2348



Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	A		14	Lithonia Lighting	WDG2 LED P2 50K 80CRI T1S	WDG2 LED WITH P2 - PERFORMANCE PACKAGE, 5000K, 80CRI, TYPE 1 SHORT OPTIC, FULL CUTDFY	1	1957	1	18.9815	

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.0 fc	6.5 fc	0.0 fc	N/A	N/A

**WDG2 LED Architectural Wall Sconce Precision Reflective Optic**

**Specifications**

- Depth (D1): 7"
- Depth (D2): 1.5"
- Height: 9"
- Width: 11.5"
- Weight (without options): 13.5 lbs

**WDGE LED Family Overview**

Luminaire	Optic	Standard EM, 0% Cds/E, 24°C	Standard EM, 0% Cds/E, 24°C	Standard EM, 0% Cds/E, 24°C	Standard EM, 0% Cds/E, 24°C	Standard EM, 0% Cds/E, 24°C	Standard EM, 0% Cds/E, 24°C	Standard EM, 0% Cds/E, 24°C	Standard EM, 0% Cds/E, 24°C	Standard EM, 0% Cds/E, 24°C
WDGE2 LED	Wash	4W	15W	30W	45W	75W	100W	150W	200W	300W

**Ordering Information**

EXAMPLE: WDG2 LED P3 40K 80CRI VF MVOLT SRM DBBXD

Series	Package	Color Temperature	Optic	Electronics	Mounting	Shipped In	Shipped Separately
WDGE2 LED	P0	2700	700CR	T1S	VF	MVOLT	SRM

**Options**

Option	Description	Part Number
EDW	Emergency battery backup, Certified to CA Title 20 MA6835 (10kV, 24V min)	EDW

**Accessories**

Part Number	Description
WDG2P010000	3/8" Bore Aluminum Wall Spacer (Specify Finish)

**Performance Data**

Performance Package	Lamp Output (lm)	Beam Spread	10K (2700K, 16,10%)					16K (2700K, 16,10%)					20K (2700K, 16,10%)					30K (2700K, 16,10%)					40K (2700K, 16,10%)				
			T15	T24	T36	T48	T60	T15	T24	T36	T48	T60	T15	T24	T36	T48	T60	T15	T24	T36	T48	T60	T15	T24	T36	T48	T60
P0	7W	70°	47	51	55	60	64	69	73	78	82	87	91	96	100	105	110	115	120	125	130	135	140	145	150	155	160

**Accessories**

Part Number	Description
WDG2P010000	3/8" Bore Aluminum Wall Spacer (Specify Finish)

**Performance Data**

Performance Package	Lamp Output (lm)	Beam Spread	10K (2700K, 16,10%)					16K (2700K, 16,10%)					20K (2700K, 16,10%)					30K (2700K, 16,10%)					40K (2700K, 16,10%)				
			T15	T24	T36	T48	T60	T15	T24	T36	T48	T60	T15	T24	T36	T48	T60	T15	T24	T36	T48	T60	T15	T24	T36	T48	T60
P0	7W	70°	47	51	55	60	64	69	73	78	82	87	91	96	100	105	110	115	120	125	130	135	140	145	150	155	160

**Electrical Load**

Performance Package	Switch Mode	2700K	3000K	4000K	5000K	6000K	7000K	Algo.	Algo.
P0	7.0	0.061	0.042	0.04	0.039	---	---	---	---

**Lumen Output in Emergency Mode (4000K, 80 CRI, T3M)**

Series	Lumen
E10W	1,158
E20W	2,230

**Photometric Diagrams**

LEGEND:  
0.5% 0.5%  
0.5% 0.5%  
1.0% 1.0%  
2.0% 2.0%

**Emergency Egress Options**

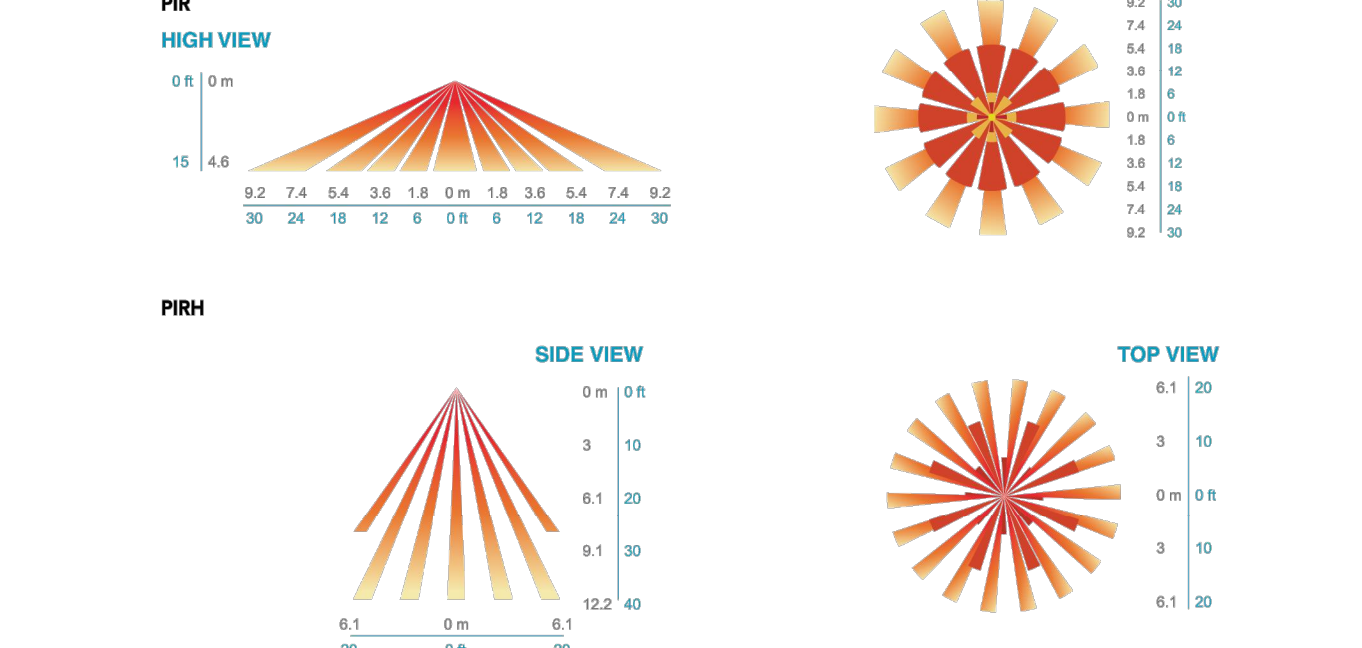
The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes.

Applicable codes: NFPA 70NEC — section 700.16, NFPA 101 Life Safety Code Section 7.9

**Control / Sensor Options**

**Motion/Ambient Sensor (PIR, PIRH)**

Motion/Ambient sensor (Sensor Switch MS20) is integrated into the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false tripping from the environment. The integrated photocell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIRH option comes with a sensor lens that is optimized to provide maximum coverage for mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.



Option	Day Level	High Level (Sensor on)	Photocell Sensitivity	Mounting Height	Response Time	Response Time	Response Time
PIR or PIRH	Motion - 2% (37% of full output) Photocell - 0% (turned off)	10% (100% output)	Enabled @ 9%	5 min	5 min	5 min	Motion - 3 sec Photocell - 45 sec

**Mounting, Options & Accessories**

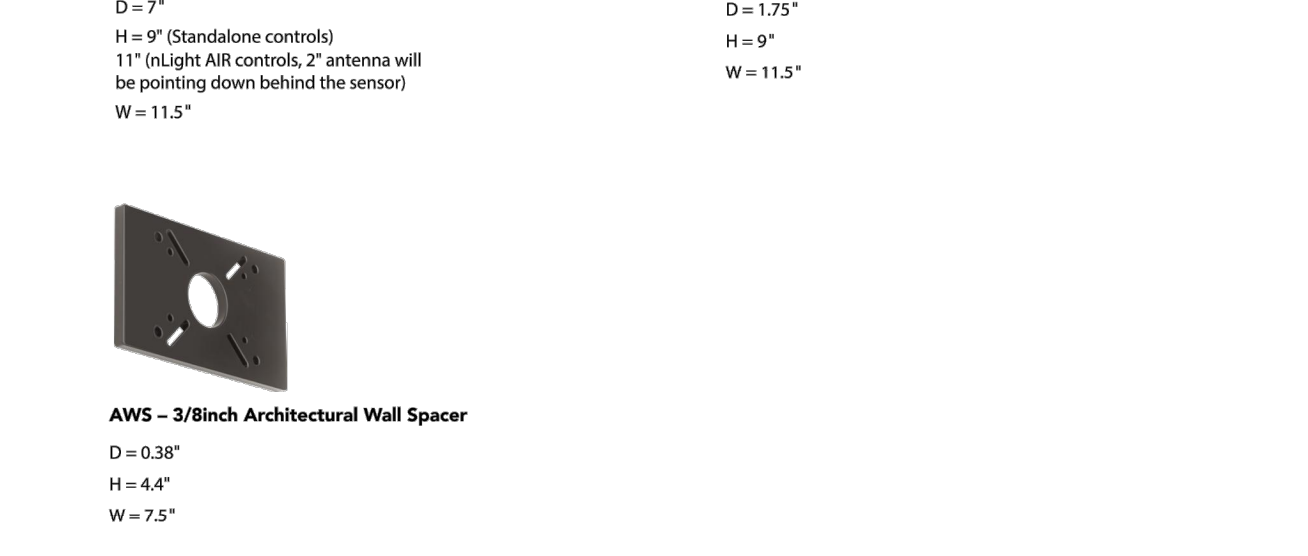
**Motion/Ambient Sensor**

- D = 7"
- H = 9"
- 11" (Night AIR controls, 2" antenna will be pointing down behind the sensor)
- W = 11.5"

**PBBW - Surface-Mounted Back Box**

Use when there is no junction box available.

- D = 1.75"
- H = 9"
- W = 11.5"



**FEATURES & SPECIFICATIONS**

**INTENDED USE**  
Common architectural look with clean rectangular shape, the WDG2 LED was designed to blend into any type of construction, whether it be brick, concrete or other materials. Application includes commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

**CONSTRUCTION**  
The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casing for a low operating temperature and long life. The die-cast aluminum is fully galvanized with a one-piece solid solution anodize to keep out moisture and dust, providing an IP65 rating for the luminaire.

**FINISH**  
Exterior painted parts are protected by a zinc-fluoride Super Durabond TGIC thermoplastic powder coat finish that provides superior resistance to corrosion. Standard Super Durabond colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

**OPTICS**  
Individually formed acrylic lenses are engineered for superior application efficiency which maximizes the light in the area where it's most needed. The WDG2 LED has zero spill light and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED and Green Globes™ criteria for eliminating wasteful light.

**ELECTRICAL**  
Light engine consists of high-efficiency LEDs mounted to metal-core circuit board to minimize heat dissipation and promote long life (up to L70/100,000 hours at 25°C). The electronic driver has a power factor of 99%, THD < 20%. Luminaire comes with built-in 5-20V surge protector, which meets a minimum Category C line response per ANSI/IEEE C62.41.3. Fixture ships standard with 0-10V dimmable driver.

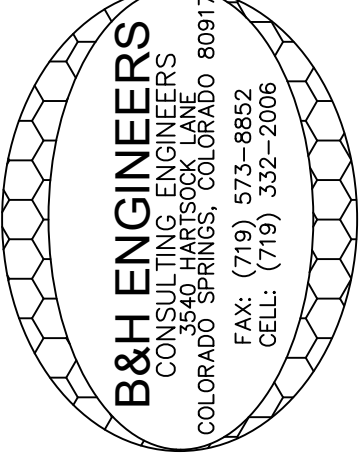
**INSTALLATION**  
A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The AWS can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration level rating per ANSI C136.31.

**LISTINGS**  
CEA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are listed for wet location. Rated for 40°C maximum ambient. DesignLight Consortium (DLC) Premium qualified product and DLC E-qualified product. Not all versions of this product may be DLC Premium qualified or DLC E-qualified. Please check the DLC Qualified Products List at www.dlcqualified.com. To confirm which versions are qualified International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on the page starting 2/2022, and 3000K color temperature only and SRM mounting only.

**BUY AMERICAN ACT**  
Product with the BAA option is assembled in the USA and meets the Buy American! government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.

**WARRANTY**  
Standard limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/acuitywarranty/terms-and-conditions

**Notes:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



CONSULTING ELECTRICAL, MECHANICAL, & PLUMBING ENGINEERS

3550 HARTSHOCK BLVD  
COLORADO SPRINGS, COLORADO 80917  
REVISION: /DATE  
FILE NAME: 4190-HANCOCK-EXPY-PN-12-01-23.dwg

DRAWN BY: B&H  
CHECKED BY: B.P.

**4190 HANCOCK EXPY**  
**COLORADO SPRINGS, COLORADO 80911**

**B&H ENGINEERS**

**PHOTO METRIC PLAN**

**PM2**