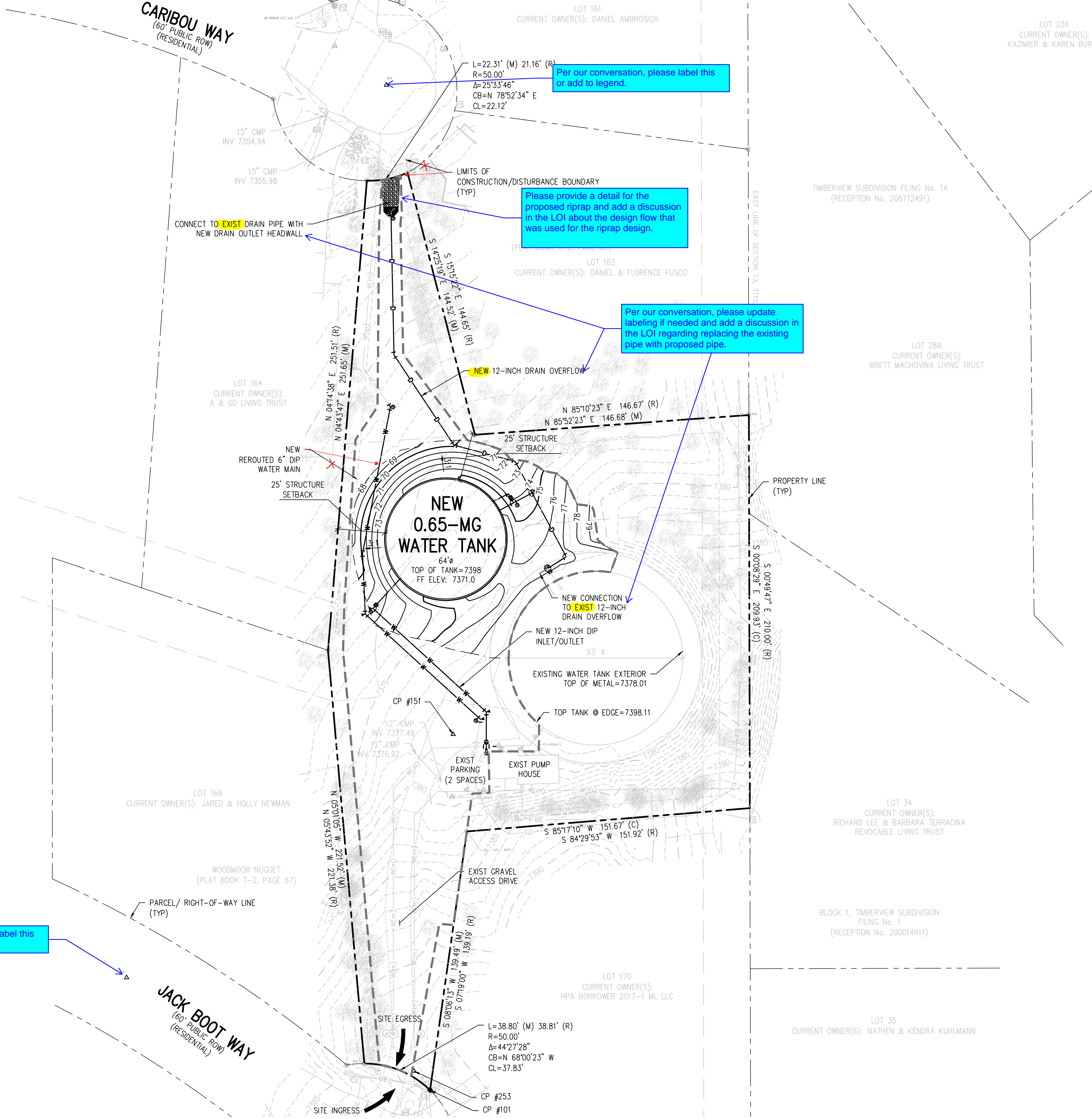
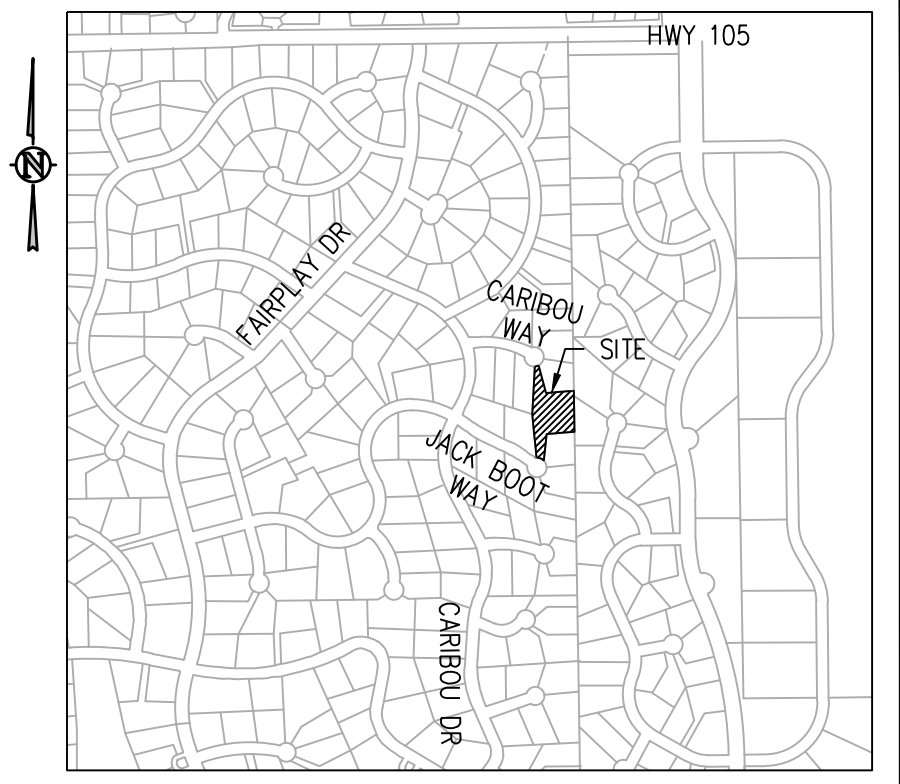


# A PARCEL OF LAND IN THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN COUNTY OF EL PASO, STATE OF COLORADO



Per our conversation, please label this or add to legend.

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Please provide a detail for the proposed riprap and add a discussion in the LOI about the design flow that was used for the riprap design.

Per our conversation, please update labeling if needed and add a discussion in the LOI regarding replacing the existing pipe with proposed pipe.

**LEGEND**

- LIMITS OF CONSTRUCTION/DISTURBANCE BOUNDARY
- LIMITS OF EARTHWORK CUT/FILL
- PARCEL/RIGHT-OF-WAY LINE
- WOODMOOR WSD PROPERTY LINE

**LAND USE AREA TABLE**

DESCRIPTION	AREA (SQ-FT)	AREA (AC)	AREA (%)
EXISTING TANK + 10' PERIMETER	10,029	0.230	16.90
EXISTING PUMP HOUSE	551	0.013	0.93
EXISTING GRAVEL ACCESS DRIVE	4,308	0.099	7.26
NEW TANK	3,353	0.077	5.65
NEW LANDSCAPING AREA	20,327	0.467	34.26
UNDISTURBED AREA	20,762	0.477	34.99
<b>TOTAL:</b>	<b>59,330</b>	<b>1.362</b>	<b>100</b>

**PROPERTY INFORMATION:**

ADDRESS: CARIBOU WAY (NO DESIGNATED STREET NO.)  
 USE: EXEMPT NON RESIDENTIAL LAND  
 TAX SCHEDULE: 7113401040-EXEMPT  
 CURRENT ZONING: RS-2000  
 LOT/PARCEL: R07669 **RS-20000**

**OWNER CONTACT:**  
 JESSIE SHAFFER, DISTRICT MANAGER  
 WOODMOOR WATER AND SANITATION DISTRICT  
 BOX 1407, MONUMENT, CO 80132  
 719-488-2525 EXT. 14  
 JESSIE@WOODMOORWATER.COM

**APPLICANT:**  
 RICHARD HOOD, PROJECT MANAGER  
 JVA, INCORPORATED  
 1675 LARIMER STREET, SUITE 550  
 DENVER, CO 80202

**Building Setbacks:**

Required	Provided
Front: 40 ft	_____
Rear: 40 ft	_____
Side: 15 ft	25 ft

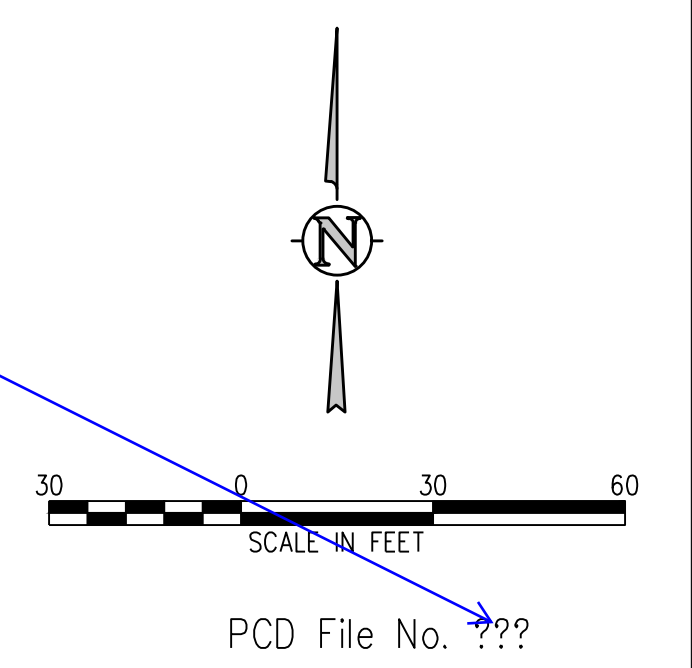
**Building Height:**

Required: 30 ft	Provided: 29.7 ft
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**Lot coverage:**

Required: 20%	Provided: _____
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PPR2431



DESIGNED BY: RLK/KCT  
 DRAWN BY: JGJ  
 CHECKED BY: JJM/RAH  
 JOB #: 240504.ENV  
 DATE: SEPTEMBER 6, 2024  
 © JVA, INC.

WOODMOOR WSD NO. 1  
 SOUTH TANK PROJECT  
 EL PASO COUNTY, CO

SITE DEVELOPMENT PLAN

SHEET NO.  
**FIG-1**