

P:\T\15-MC22199-MAYBERRY-FILING NO. 2-LOTS 2 & 3\ENGINEERING\4-DRAWINGS\PLANS\MC22199 - CIV - CD.DWG, PLOT DATE: 7/16/2024, 2:41:43 PM, BY: JNN, C:GRADY

CONSTRUCTION DOCUMENTS  
MAYBERRY, COLORADO - FILING NO. 2A

A REPLAT OF PART OF TRACT M AND ALL OF TRACT P, MAYBERRY, COLORADO SPRINGS FILING NO. 1, AND ALL OF TRACTS A, B, C AND D, MAYBERRY, COLORADO SPRINGS FILING NO. 2,  
AND THAT PART OF SPRINGS ROAD RIGHT-OF-WAY LYING SOUTH OF SAID TRACT A AND THAT PART OF VILLAGE MAIN STREET RIGHT-OF-WAY LYING EAST OF ATCHISON WAY  
ALL LOCATED IN THE NORTH HALF OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH PRINCIPAL MERIDIAN  
COUNTY OF EL PASO (UNINCORPORATED), STATE OF COLORADO



Know what's below.  
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CONTACT LIST			
DEVELOPER	CIVIL ENGINEER	SURVEYOR	COUNTY ENGINEERING
MAYBERRY COMMUNITIES, LLC	R&R ENGINEERS-SURVEYORS, LLC	R&R ENGINEERS-SURVEYORS, LLC	EL PASO COUNTY DEVELOPMENT SERVICES
3296 DIVINE HEIGHTS #208 COLORADO SPRINGS, CO 80922 719-922-2181 CONTACT: SCOTT SOUDERS	1635 WEST 13TH AVENUE, SUITE 310 DENVER, CO 80204 303-753-6730 CONTACT: CLIF DAYTON, P.E.	1635 13TH AVENUE, SUITE 310 DENVER, CO 80204 303-753-6730 CONTACT: MR. DARELL DeLAP	2880 INTERNATIONAL CIRCLE COLORADO SPRINGS, CO 80922 719-520-6300
STATE HIGHWAY	WATER/WASTEWATER	GAS DEPARTMENT	ELECTRIC DEPARTMENT
COLORADO DEPARTMENT OF TRANSPORTATION, REGION 2	ELLCOTT UTILITIES COMPANY, LLC	BLACK HILLS ENERGY	MOUNTAIN VIEW ELECTRIC ASSOCIATION
5615 WILLS BLVD. PUEBLO, CO 81008 MR. ART GONZALES (REFERENCE CDOT ACCESS PERMITS NO. 218053 & 218054)	PO BOX 64257 COLORADO SPRINGS, CO 80962 719-426-7810 CONTACT: JASON KVOLS	1515 WYNKOOP ST #500 DENVER, CO 80202 719-359-3176 CONTACT: SEBASTIAN SCHWENDER	11140 E. WOODMEN ROAD COLORADO SPRINGS, CO 80908 719-495-2283 CONTACT: MR. DAVE WALDNER

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Engineer's Statement (for GEC Plan within Construction Drawing set):  
These detailed plans and specifications were prepared under my direction and supervision. Said plans and specifications have been prepared according to the criteria established by the County for detailed roadway, drainage, grading and erosion control plans and specifications, and said plans and specifications are in conformity with applicable master drainage plans and master transportation plans. Said plans and specifications meet the purposes for which the particular roadway and drainage facilities are designed and are correct to the best of my knowledge and belief. I accept responsibility for any liability caused by any negligent acts, errors or omissions on my part in preparation of these detailed plans and specifications.

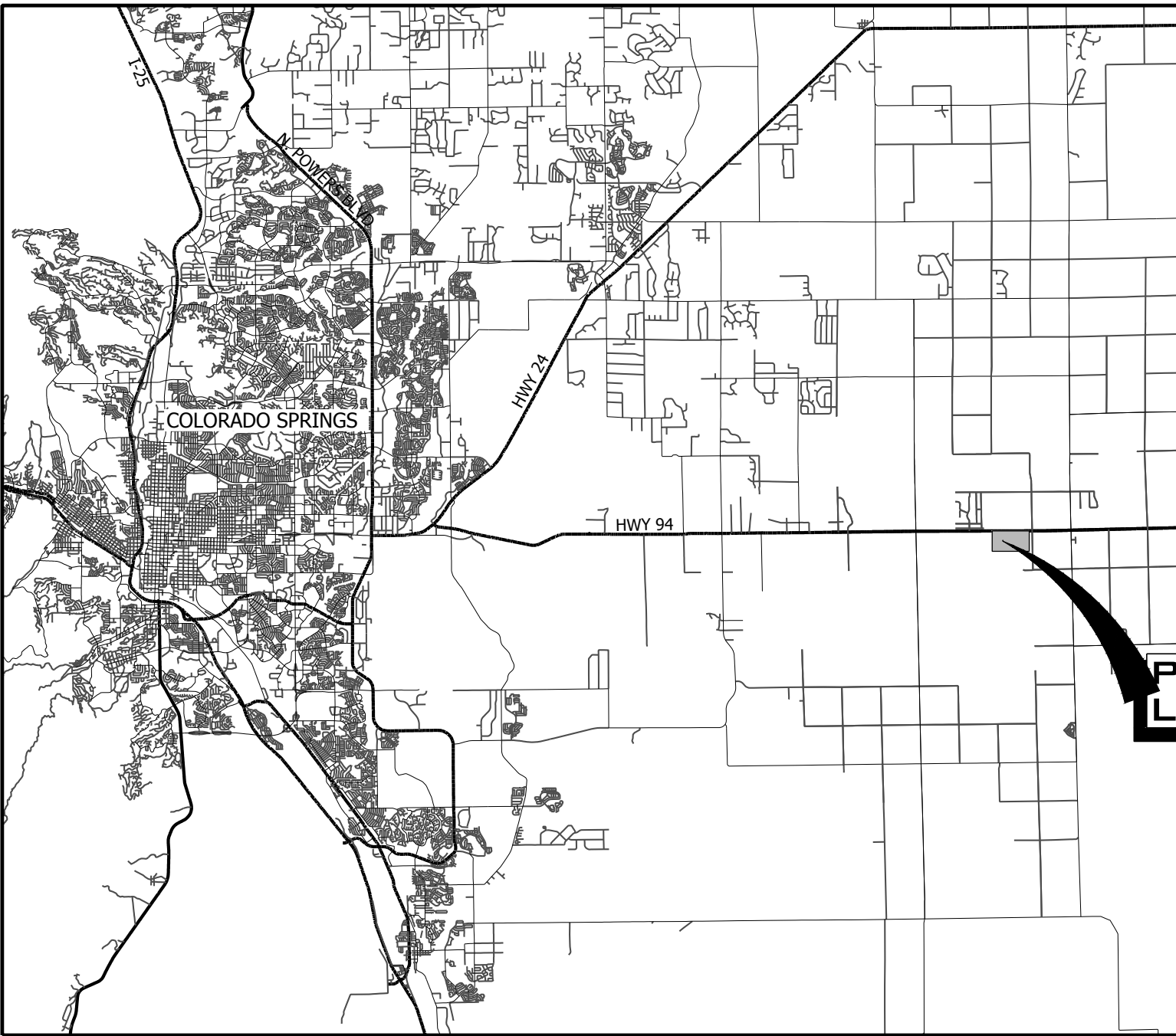
Tim Stackhouse, P.E. Date

Owner's Statement (for GEC Plan within Construction Drawing set):  
I, the owner/developer have read and will comply with the requirements of the grading and erosion control plan and all of the requirements specified in these detailed plans and specifications.

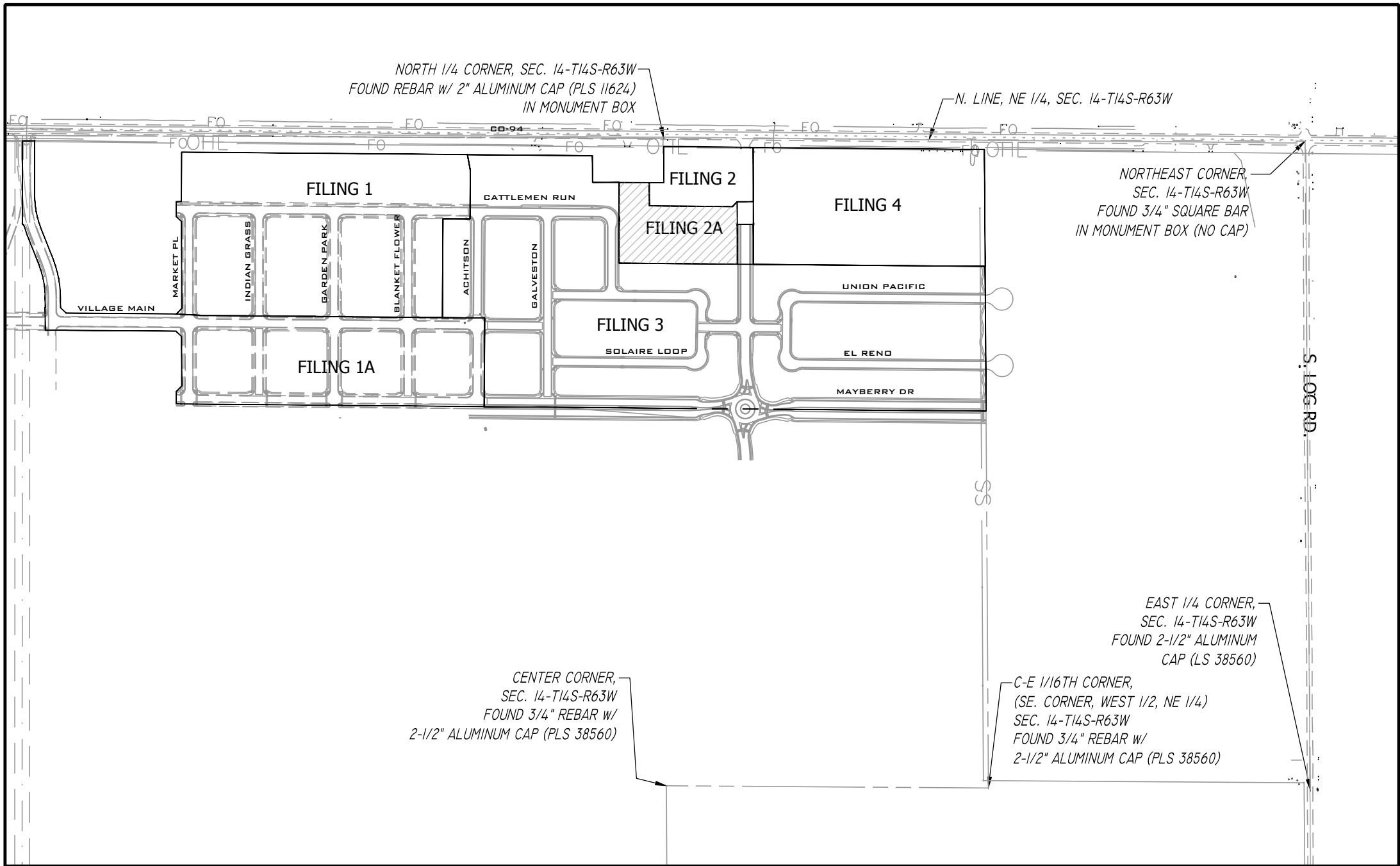
Owner Signature Date

**BENCHMARK:**  
NGS Benchmark PID: JK003, Designation: Z 76  
Disk Stamped Z 76 1935 in top of concrete monument.  
Project Elevation: 6041.98 Feet  
Elevation Note: Project Vertical Datum is based upon previous surveys conducted by Rampart Surveys LLC where the elevation of 6041.98 feet was established on this benchmark. This elevation has been verified by R&R Engineers and Surveyors by running closed bench level loops from Z 76 to other aerial control points that were used for the topographic survey and design on previous projects. The current NGS published elevation was Not Used.  
Benchmark Located in the Southeast quadrant of the intersection of State Highway 94 and Log Road. The benchmark lies 65.5 feet South and 30 feet East of the intersection.  
Horizontal Values:  
State Plane 1983 Central Coordinate Values in US Survey Feet:  
Grid Northing: 1367803.3380' Grid Easting: 3311725.4580'  
Project Coordinate Values in US Survey Feet:  
Northing: 1368261.2691' Easting: 3312880.8395'

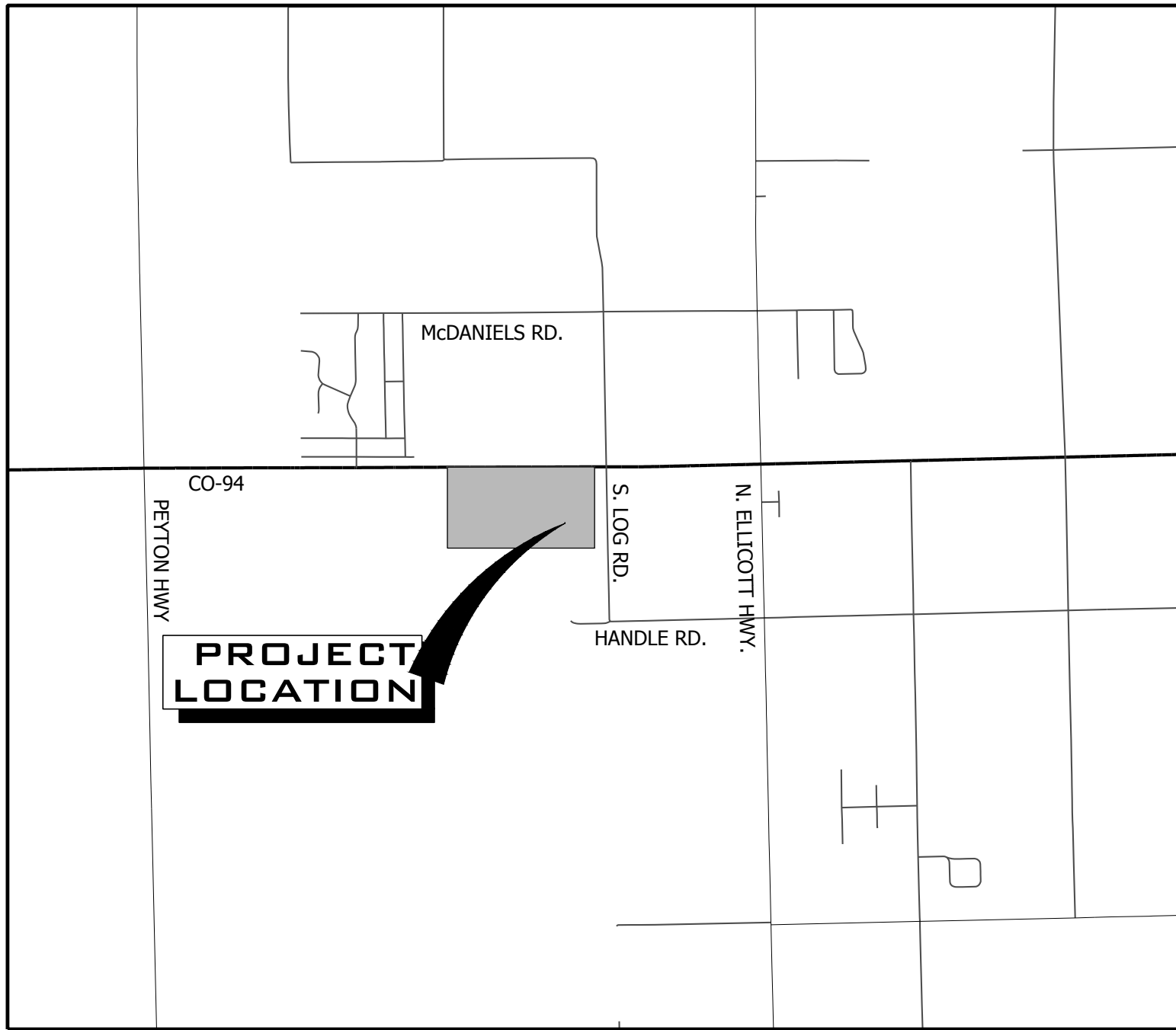
**BASIS OF BEARING:**  
Bearings are based on the North line of the Northeast Quarter of Section 14, Township 14 South, Range 63 West of the 6th Principal Meridian having a bearing of South 89° 44' 50" East as shown on the recorded plats of Mayberry, Colorado Springs Filing No. 1 recorded as Reception No. 220714655 and as shown on Mayberry, Colorado Springs Filing No. 2 recorded as Reception No. 221714698, said North line having a ground distance of 2606.58 feet and monumented at each end as shown on sheet 2 of the Mayberry, Colorado Springs Filing No. 3 Plat.



VICINITY MAP  
SCALE 1" = 20,000'



SITE MAP  
SCALE 1" = 500'



VICINITY MAP  
SCALE 1" = 5,000'

PCD FILE NO. VR2323

**Design Engineer's Statement:**

These detailed plans and specifications were prepared under my direction and supervision. Said plans and specifications have been prepared according to the criteria established by the County for detailed roadway, drainage, grading and erosion control plans and specifications, and said plans and specifications are in conformity with applicable master drainage plans and master transportation plans. Said plans and specifications meet the purposes for which the particular roadway and drainage facilities are designed and are correct to the best of my knowledge and belief. I accept responsibility for any liability caused by any negligent acts, errors or omissions on my part in preparation of these detailed plans and specifications.

Clif Dayton, P.E. #48189 Date

**Owner/Developer's Statement:**

I, the owner/developer have read and will comply with the requirements of the grading and erosion control plan and all of the requirements specified in these detailed plans and specifications.

Owner signature Date

**El Paso County:**

County plan review is provided only for general conformance with County Design Criteria. The County is not responsible for the accuracy and adequacy of the design, dimensions, and/or elevations which shall be confirmed at the job site. The County through the approval of this document assumes no responsibility for completeness and/or accuracy of this document.

Filed in accordance with the requirements of the El Paso County Land Development Code, Drainage Criteria Manual, Volumes 1 and 2, and Engineering Criteria Manual as amended.

In accordance with ECM Section 1.12, these construction documents will be valid for construction for a period of 2 years from the date signed by the El Paso County Engineer. If construction has not started within those 2 years, the plans will need to be resubmitted for approval, including payment of review fees at the Planning and Community Development Directors discretion.

Joshua Palmer, P.E.  
County Engineer/ECM Administrator

Date

MAYBERRY PUD PH 1 - FILING NO. 2A

SITE ADDRESS: MAYBERRY, COLORADO SPRINGS  
EL PASO COUNTY

PREPARED FOR:  
MAYBERRY COMMUNITIES, LLC  
3296 DIVINE HEIGHTS #208  
COLORADO SPRINGS, CO 80922

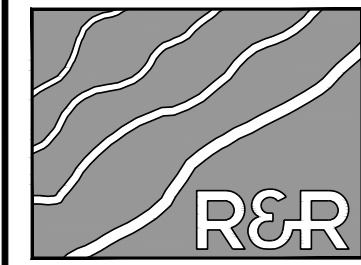
CONSTRUCTION DOCUMENTS

JOB NO. MC22199  
ORG. SUBM. DATE 12/22/2022  
DWN: JMP CHKD: CJD  
NAME

COVER SHEET

No.

1



ENGINEERS  
SURVEYORS

R&R ENGINEERS-SURVEYORS, INC.  
1635 WEST 13TH AVENUE, SUITE 310  
DENVER, COLORADO 80204  
PHONE: 303-753-6730

WWW.RRENGINEERS.COM

P:\T1-P-MC22199-MAYBERRY-PLANS-NO. 2 (LOTS 2 & 3)\ENGINEERING\4. DRAWINGS\PLANS\MC22199 - NOTES.DWG, PLOT DATE: 1/6/2024, 2:41:53 PM, BY: LYNN, CDRADY



Know what's below.  
Call before you dig.

COUNTY GENERAL NOTES:

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/ EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNC).C.
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
  - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
  - CITY OF COLORADO SPRINGS/ EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
  - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
  - CDOT M&S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER THE FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEViate FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP WITH CLASS B BEDDING UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRIANGLE MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DPW/ (DEPT. OF PUBLIC WORKS) AND MUTCD CRITERIA.
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/ DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

GENERAL DRAINAGE & GRADING NOTES:

- INDIVIDUAL BUILDERS SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND ACCOUNT FOR POTENTIAL CROSS-LOT DRAINAGE IMPACTS WITHIN EACH LOT.
- BUILDERS AND PROPERTY OWNERS SHALL IMPLEMENT & MAINTAIN EROSION CONTROL BEST MANAGEMENT PRACTICES FOR PROTECTION OF DOWNSTREAM PROPERTIES AND FACILITIES INCLUDING PROTECTION OF EXISTING GRASS BUFFER STRIPS ALONG THE DOWNSTREAM PROPERTY BOUNDARIES.
- GRADING AND DRAINAGE WITHIN LOTS IS THE RESPONSIBILITY OF THE INDIVIDUAL BUILDERS AND PROPERTY OWNERS.

COUNTY SIGNING AND STRIPING NOTES:

- ALL SIGNS AND PAVEMENT MARKING SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- REMOVAL OF EXISTING PAVEMENT MARKING SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
- ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS.
- ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
- STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
- ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
- ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS".
- ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
- ALL LOCAL RESIDENTIAL STREET SIGNS MUST BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SUBBASE DESIGN.
- ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
- ALL LIMIT LINES /STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMIC THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALK LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
- ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
- THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
- THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY PUBLIC WORKS DEPARTMENT PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

EL PASO COUNTY GRADING & EROSION CONTROL STANDARD NOTES:

- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON-SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
- TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
- FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
- COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENEED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF-SITE.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.
- DURING DEWATERING OPERATIONS, UNCONTAMINATED GROUNDWATER MAY BE DISCHARGED ON-SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
- EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ON-SITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ON-SITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
- OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON-SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY [COMPANY NAME, DATE OF REPORT] AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT  
WATER QUALITY CONTROL DIVISION  
WQCD - PERMITS  
4300 CHERRY CREEK DRIVE SOUTH  
DENVER, CO 80246-1530  
ATTN: PERMITS UNIT

PROJECT GENERAL NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.
- EXISTING CONTOUR DATA PROVIDED BY OWNER GENERALLY CONSISTS OF AERIAL MAPPING FROM UNITED PLANNING & ENGINEERING. JPS ENGINEERING TAKES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING TOPOGRAPHIC MAPPING.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THESE APPROVED PLANS AND ONE (1) COPY OF THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES:
  - EL PASO COUNTY ENGINEERING CRITERIA MANUAL
  - CDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION
  - ELLICOTT UTILITIES STANDARDS SPECIFICATIONS (REFER TO CSU STANDARDS IN THE ABSENCE OF PUBLISHED SPECIFICATIONS)
- STORM DRAIN PIPE SHALL BE RCP CLASS III WITH CLASS C BEDDING UNLESS OTHERWISE NOTED. PROVIDE WATER-TIGHT JOINTS ON STORM SEWER PIPE.
- STATIONING IS AT CENTERLINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.
- PROPOSED CONTOURS SHOWN ARE TO FINISHED GRADE.
- LENGTHS SHOWN FOR STORM SEWER PIPES ARE TO CENTER OF MANHOLE.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, DEBRIS, WASTE AND OTHER UNSUITABLE FILL MATERIAL FOUND WITHIN THE LIMITS OF EXCAVATION
- MATCH INTO EXISTING GRADES AT 3:1 MAX CUT AND FILL SLOPES.
- REVEGETATION OF ALL DISTURBED AREAS SHALL BE DONE WITH SPECIFIED SEED MIX WITHIN 30 DAYS AFTER FINE GRADING IS COMPLETE.
- EROSION CONTROL SHALL CONSIST OF SILT FENCE AND OTHER BMP'S AS SHOWN ON THE DRAWINGS, AND TOPSOIL WITH GRASS SEED, WHICH WILL BE WATERED UNTIL VEGETATION IS REESTABLISHED.
- THE EROSION CONTROL MEASURES OUTLINED ON THIS PLAN ARE THE RESPONSIBILITY OF THE DEVELOPER TO MONITOR AND REPLACE, REGRADE, AND REBUILD AS NECESSARY UNTIL VEGETATION IS REESTABLISHED.
- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED IN A MANNER THAT WILL PROTECT ADJACENT PROPERTIES AND PUBLIC FACILITIES FROM THE ADVERSE EFFECTS OF EROSION AND SEDIMENTATION AS A RESULT OF CONSTRUCTION AND EARTHWORK ACTIVITIES WITHIN THE PROJECT SITE.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY SITE CONDITIONS.
- THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- PEDESTRIAN RAMPS SHALL BE INSTALLED AT ALL INTERSECTIONS AND CONFORM TO COUNTY ENGINEERING STANDARDS AND SPECIFICATIONS.
- ALL FINISHED GRADES SHALL HAVE A MINIMUM OF 0.5% SLOPE TO PROVIDE POSITIVE DRAINAGE.
- WHERE PROPOSED SLOPES CONFLICT WITH PROPOSED SPOT ELEVATIONS, SPOT ELEVATIONS SHALL GOVERN.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO BEGINNING WORK.
- ALL RESIDENTIAL STREET CURB RETURN RADI ARE 25-FEET AT FLOWLINE UNLESS OTHERWISE NOTED. ARTERIAL STREET CURB RETURN RADI ARE 35' UNLESS NOTED OTHERWISE.
- 25-FOOT SIGHT VISIBILITY TRIANGLES SHALL BE PROVIDED AT ALL RESIDENTIAL STREET INTERSECTIONS. 50-FOOT SIGHT TRIANGLES SHALL BE PROVIDED AT ARTERIAL STREET INTERSECTIONS. NO OBSTRUCTIONS TALLER THAN 18" ARE PERMITTED WITHIN THESE TRIANGLES.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY AND ALL UTILITIES INVOLVED IN PROJECT PRIOR TO MOBILIZING ON SITE.
- TYPE C STORM INLETS SHALL HAVE CLOSE-MESH GRATES.
- PROVIDE 10' TRANSITION FROM RAMP CURB TO VERTICAL CURB ON EACH SIDE OF STORM INLETS.
- ALL BACKFILL, SUB-BASE, AND/OR BASE COURSE MATERIAL SHALL BE COMPACTED PER EL PASO COUNTY AND CDOT STANDARDS AND SPECIFICATIONS AND PROJECT GEOTECHNICAL REPORT. CONTRACTOR SHALL STABILIZE ALL SUBGRADE AREAS PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

GENERAL GEC NOTES:

- THE EXISTING VEGETATION INCLUDES NATIVE GRASSES AND NO TREES.
- NO BATCH PLANTS WILL BE UTILIZED ONSITE.

GENERAL UTILITY NOTES:

- ALL WATER AND SEWER INSTALLATIONS SHALL CONFORM TO ELLICOTT UTILITIES COMPANY STANDARD SPECIFICATIONS, WHICH FOLLOW CSU STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.
- STORM DRAIN PIPE SHALL BE RCP (CLASS III) UNLESS OTHERWISE NOTED.
- STORM DRAIN PIPE BEDDING SHALL BE CLASS C.
- SANITARY SEWER PIPE SHALL BE PVC ASTM D3034-SDR 35 OR ASTM F679 UNLESS OTHERWISE NOTED.
- STATIONING IS AT CENTERLINE UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED
- WATER PIPES AND FITTINGS SHALL BE INSTALLED PER SMD SPECIFICATIONS. ALL TRENCH BEDDING, THRUST BLOCKS AND REVERSE ANCHORS SHALL BE INSTALLED PER CSU STANDARDS. ALL WATER PIPE SHALL BE PVC AWWA C900(DR14). DISINFECTION AND TESTING SHALL BE COMPLETED PER CSU SPECIFICATIONS.
- LENGTHS SHOWN FOR STORM SEWER PIPES ARE TO CENTER OF MANHOLE.
- CONTRACTOR SHALL MAKE WATER CONNECTIONS WITHOUT SHUTDOWN OR NOTIFY OWNER AND AFFECTED RESIDENTS OF ANY SERVICE SHUTDOWNS NECESSARY TO CONNECT TO EXISTING LINES.
- BENDS, DEFLECTION & CUT PIPE LENGTHS SHALL BE USED TO HOLD HORIZONTAL ALIGNMENT OF SEWER AND WATER LINES TO 10 FEET SEPARATION AT ALL POINTS REQUIRED. ALIGNMENT CONSTRUCTION STAKES SHALL BE PLACED AT 25' INTERVALS ALONG CURVES FOR PLACEMENT OF SEWER AND WATER LINES.
- FIE HYDRANT ASSEMBLIES SHALL BE INSTALLED PER CITY OF FOUNTAIN STANDARDS AND SHALL INCLUDE LATERAL, VALVE, ELBOW, HYDRANT, AND THRUST BLOCKS. FIRE HYDRANT MATERIALS SHALL CONSIST OF STANDARD 5-SIDED (HEX) NUT WITH NST THREAD & HYDRANT SHALL OPEN COUNTER-CLOCKWISE.
- WHEREVER DUCTILE IRON PIPE IS USED, THE PIPE, FITTINGS AND HYDRANTS SHALL BE WRAPPED IN POLYETHYLENE.
- SERVICE LINES SHALL BE INSTALLED PER CSU STANDARDS.
- CONTRACTOR SHALL COORDINATE WITH GAS, ELECTRIC, TELEPHONE AND CABLE T.V.E UTILITY SUPPLIERS FOR INSTALLATION OF ALL UTILITIES. MINIMUM COVER FOR ALL UTILITIES SHALL BE 36".
- UTILITY BEDDING SHALL BE PLACED PER CSU REQUIREMENTS.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, DEBRIS, WASTE AND OTHER UNSUITABLE FILL MATERIAL FOUND WITHIN THE LIMITS OF EXCAVATION.
- REFER TO CSU SPECIFICATIONS FOR BACKFILL AND COMPATION SPECIFICATIONS, ALSO MEET ALL EL PASO CUNTY BACKFILL SPECIFICATIONS IN THE ROADWAY R.O.W.'S.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL MATERIALS TO OWNER FOR APPROVAL PRIOR TO BEGINNING WORK.
- WATER MAIN FITTINGS 5' OR LESS APART REQUIRE ALL-THREAD (S EA. 3/4").
- INSTALLATION OF CURVILINEAR WATER & SANITARY SEWER MAINS SHALL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
- INSTALL POLY-WRAP AS BOND BREAKER AT ALL THRUST BLOCKS.
- ALL WATER LINE LOWERINGS UNDER STORM DRAIN SHALL MEET CSU SPECIFICATIONS. ANY STEEL SLEEVES IN ROADWAY R.O.W. NEED TO MET 50-YEAR DESIGN LIFE MINIMUM.
- SEWER MAINS SHALL BE TV INSPECTED AFTER INSTALLATION FOR APPROVAL BY OWNER.
- THE WATER MAIN HAS BEEN DESIGNED TO PROVIDE FOR MINIMUM OF 4-FEET OF CLEARANCE BETWEEN THE GUTTER LIP AND THE CENTER LINE OF THE WATER MAIN. THE CONTRACTOR SHALL INSTALL THE WATER MAIN IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS, PROVIDING FOR A MINIMUM OF 4-FEET OF CLEARANCE AS DESIGNED.
- CURBS TO BE MARKED WITH "W" AND "S" FOR RESPECTIVE LOCATIONS OF SERVICE LINES TO LOTS FOR WATER AND SEWER.
- GATE VALVES ARE REQUIRED ON EACH SIDE OF ALL TEES AND CROSSES WITHIN THE PROJECT.

STANDARD UTILITY DETAILS:

- REFER TO COLORADO SPRINGS UTILITIES FOR WATER & WASTEWATER STANDARD SPECIFICATIONS & DETAILS, UNLESS NOTED OTHERWISE.

APPROVAL NOTE:

- PRELIMINARY PLAN WAS APPROVED WITH 2004 VERSION OF ECM.
- SITE SPECIFIC PUD (PUDSP219) AS APPROVED ON 5/5/2022 WAS PER THE LATEST VERSION OF THE ECM AT TIME OF APPROVAL

BY		DATE	
REVISION			
NO.			
MAYBERRY PUD PH 1 - FILING NO. 2A			
SITE ADDRESS: MAYBERRY, COLORADO SPRINGS EL PASO COUNTY			
PREPARED FOR: MAYBERRY COMMUNITIES, LLC 3296 DEVINE HEIGHTS #208 COLORADO SPRINGS, CO 80922			
CONSTRUCTION DOCUMENTS			
JOB NO. MC22199			
ORG. SUBM. DATE 09/25/2023			
DWN: LO		CHKD: TW	
NAME			
GENERAL NOTES			
NO. 2			



PATH: P:\MC22199 MAYBERRY PLING NO. 2 (LOTS 2 & 3)\ENGINEERING\4. DRAWINGS\PLANS\MC22199 - NOTES.DWG, PLOT DATE: 7/16/2024 2:41:54 PM, BY: LYNN, CDR: JUDY

## ABBREVIATIONS

ABAN ABANDON  
AC ASBESTOS CONCRETE  
ADDL ADDITIONAL  
ADDM ADDENDUM  
ADJ ADJUSTABLE  
AL ALUMINUM  
ALT ALTERNATE  
AMT AMOUNT  
APPROX APPROXIMATELY  
ARCH ARCHITECTURAL  
ASPH ASPHALT  
ASSY ASSEMBLY  
ASYM ASYMMETRICAL  
AUTO AUTOMATIC  
AWWA AMERICAN WATER WORKS ASSOC

BFV BUTTERFLY VALVE  
BLK BLOCK  
BM BENCHMARK  
BMP BEST MANAGEMENT PRACTICE  
BS BACKSIGHT  
BOC BACK OF CURB  
BOT BOTTOM  
BOW BACK OF WALK  
BSMT BASEMENT  
BVCE BEGIN VERTICAL CURVE ELEVATION  
BVCS BEGIN VERTICAL CURVE STATION  
BW BOTTOM OF WALL

CB CATCH BASIN (AREA INLET)  
CCW COUNTER CLOCKWISE  
CDOT COLORADO DEPARTMENT OF TRANSPORTATION  
CIP CAST IRON PIPE  
C&G CURB AND GUTTER  
CFS CUBIC FEET PER SECOND  
CL CENTERLINE OR CHAIN LINK  
CLR CLEAR  
CMP CORRUGATED METAL PIPE  
CMU CONCRETE MASONRY UNIT  
CO CLEAN OUT  
COMM COMMUNICATIONS  
CONC CONCRETE  
CONST CONSTRUCTION  
CONT CONTINUOUS(ATION)  
COR CORNER  
CR CONCENTRIC REDUCER  
CTR CENTER  
CY CUBIC YARDS

DEMO DEMOLITION  
DIA DIAMETER  
DIAG DIAGONAL  
DIP DUCTILE IRON PIPE  
DN DOWN  
DR DRAIN  
DWG DRAWING  
DWL DOWEL

E EAST  
EA EACH  
EB EASTBOUND  
ECC ECCENTRIC  
EJ EXPANSION JOINT  
EL ELEVATION  
ELB ELBOW  
ELEC ELECTRICAL  
ENGR ENGINEER  
EOA EDGE OF ASPHALT  
EOP EDGE OF PAVEMENT  
EQ EQUAL  
EQUIP EQUIPMENT  
EQUIV EQUIVALENT  
ESMT EASEMENT  
EST ESTIMATE  
E&T ELECTRICAL AND TELEPHONE  
EVCE END VERTICAL CURVE ELEVATION  
EVCS END VERTICAL CURVE STATION  
EW EACH WAY  
EX, EXIST EXISTING  
EXP JT EXPANSION JOINT

FDC FIRE DEPARTMENT CONNECTION  
FND FOUNDATION  
FES FLARED END SECTION  
FF FINISHED FLOOR  
FFE FINISHED FLOOR ELEVATION  
FG FINISHED GRADE  
FH FIRE HYDRANT  
FL FLOWLINE  
FN FENCE  
FOC FACE OF CONCRETE  
FPM FEET PER MINUTE  
FPS FEET PER SECOND  
FT FEET  
FTG FOOTING

G GAS  
GA GAUGE  
GAL GALLON  
GALV GALVANIZED  
GB GRADE BREAK  
GCO GRADE CLEAN OUT  
GIP GALVANIZED IRON PIPE  
GND GROUND  
GPD GALLONS PER DAY  
GPM GALLONS PER MINUTE  
GRGT GRATING  
GRV GRAVEL  
GSP GALVANIZED STEEL PIPE  
GV GATE VALVE

H HIGH  
HB HOSE BIB  
HEC HORIZONTAL ELLIPTICAL CONCRETE PIPE  
HDWL HEADWALL  
HORZ HORIZONTAL  
HNDRL HANDRAIL  
HR HOUR  
HP HIGH POINT  
HVAC HEATING, VENTILATION, AIR CONDITIONING  
HWY HIGHWAY  
HYD HYDRANT

ID INSIDE DIAMETER  
IN INLET  
INCL INCLUDED  
INSUL INSULATION  
INTER INTERSECTION  
INV INVERT  
IRR IRRIGATION  
  
JTS JOINTS  
  
KB KICK BLOCK  
KO KNOCKOUT  
  
L LEFT OR LITER  
LSCP LANDSCAPE  
LF LINEAR FEET  
LP LOW POINT OR LIGHT POLE  
LT LIGHT

MAINT MAINTENANCE  
MAN MANUAL  
MATL MATERIAL  
MAX MAXIMUM  
MECH MECHANICAL  
MFR MANUFACTURER  
MH MANHOLE  
MIN MINIMUM  
MISC MISCELLANEOUS  
MJ MECHANICAL JOINT

N NORTH  
NA NON APPLICABLE  
NB NORTHBOUND  
NIC NOT IN CONTRACT  
NTS NOT TO SCALE

OC ON CENTER  
OD OUTER DIAMETER  
OH OVERHEAD  
OHE OVERHEAD ELECTRIC  
OPP OPPOSITE  
OPT OPTIONAL

PB POND BOTTOM  
PC POINT OF CURVATURE  
PCC POINT OF COMPOUND CURVE  
PCR POINT OF CURVE RETURN  
PCO PRESSURE CLEAN OUT  
PI POINT OF INTERSECTION  
PE POLYETHYLENE  
PIV POST INDICATOR VALVE  
PL PROPERTY LINE  
PREFAB PREFABRICATED  
PRELIM PRELIMINARY  
PREP PREPARATION  
PROP PROPOSED  
PRV PRESSURE REDUCING VALVE  
PSF POUNDS PER SQUARE FOOT  
PSI POUNDS PER SQUARE INCH  
PT POINT OF TANGENCY  
PVC POLY VINYL CHLORIDE  
PVMT PAVEMENT

R RIGHT OR RADIUS  
RCP REINFORCED CONCRETE PIPE  
RD ROOF DRAIN  
RE REFERENCE  
RECT RECTANGULAR  
REINF REINFORCEMENT  
REQD REQUIRED  
ROW RIGHT-OF-WAY

SAN SANITARY SEWER  
SB SOUTHBOUND  
SD STORM DRAIN  
SECT SECTION  
SF SQUARE FEET  
SH SHEET  
SHLR SHOULDER  
SI SQUARE INCH  
SPD STANDARD PROCTOR DENSITY  
SPEC SPECIFICATIONS  
SQ SQUARE  
SS SANITARY SEWER  
SS STAINLESS STEEL  
ST STORM  
STA STATION  
STD STANDARD  
STM STORM SEWER  
SWMP STORM WATER MANAGEMENT PLAN  
SY SQUARE YARD  
SYM SYMMETRICAL

T TEE  
TB THRUST BLOCK  
TBC TOP-BACK OF CURB  
TC TOP OF CURB  
TELE TELEPHONE  
TEMP TEMPORARY  
TOB TOP OF BANK  
TOC TOP OF CONCRETE  
TOT TOTAL  
TRANS TRANSITION  
TW TOP OF WALL  
TYP TYPICAL

UBC UNIFORM BUILDING CODE  
UGE UNDERGROUND ELECTRICAL  
UTIL UTILITY

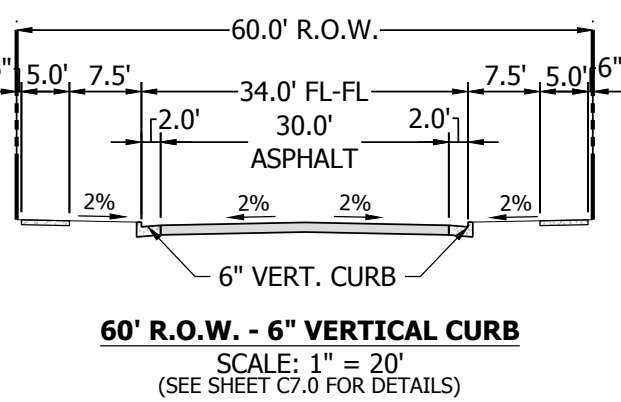
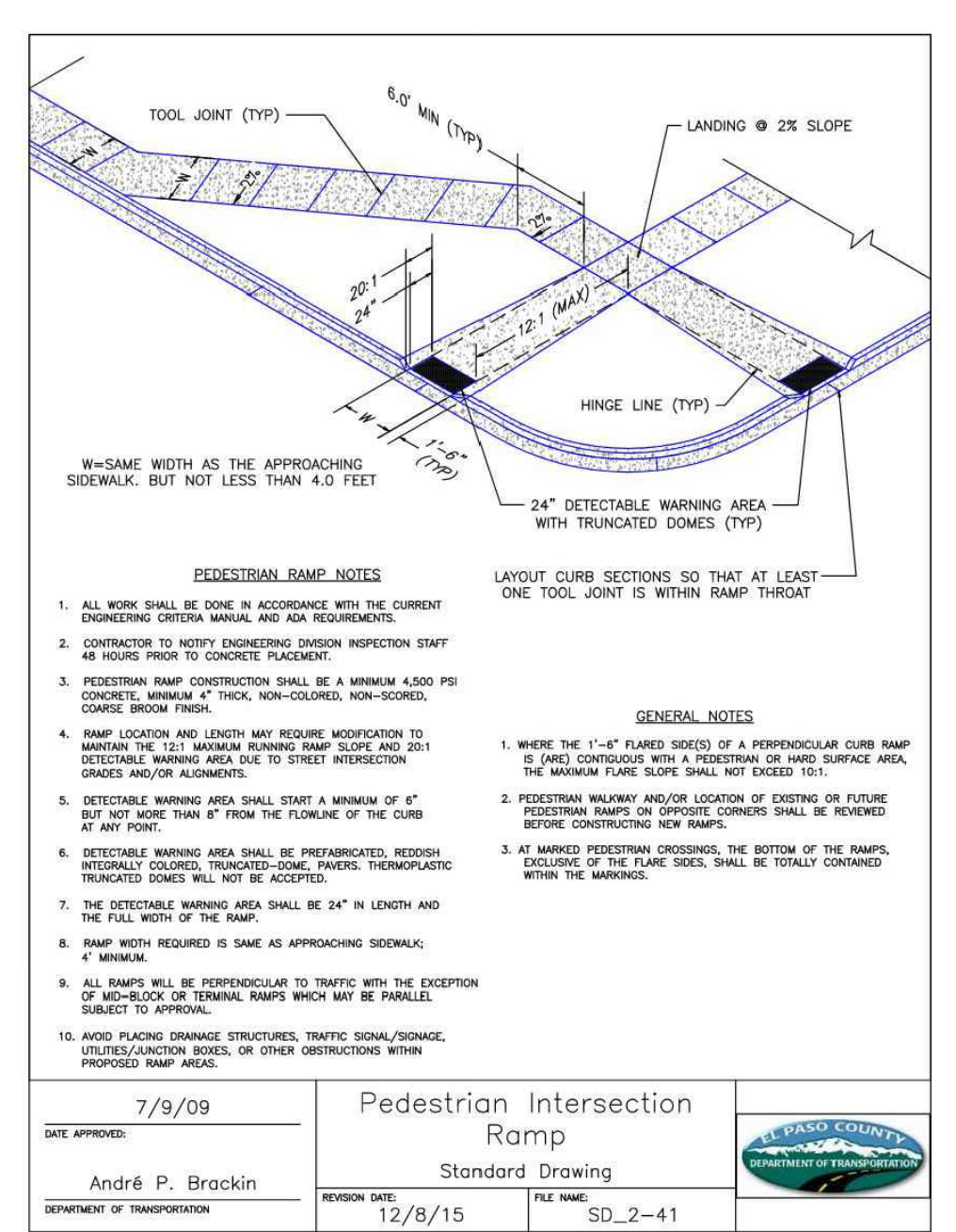
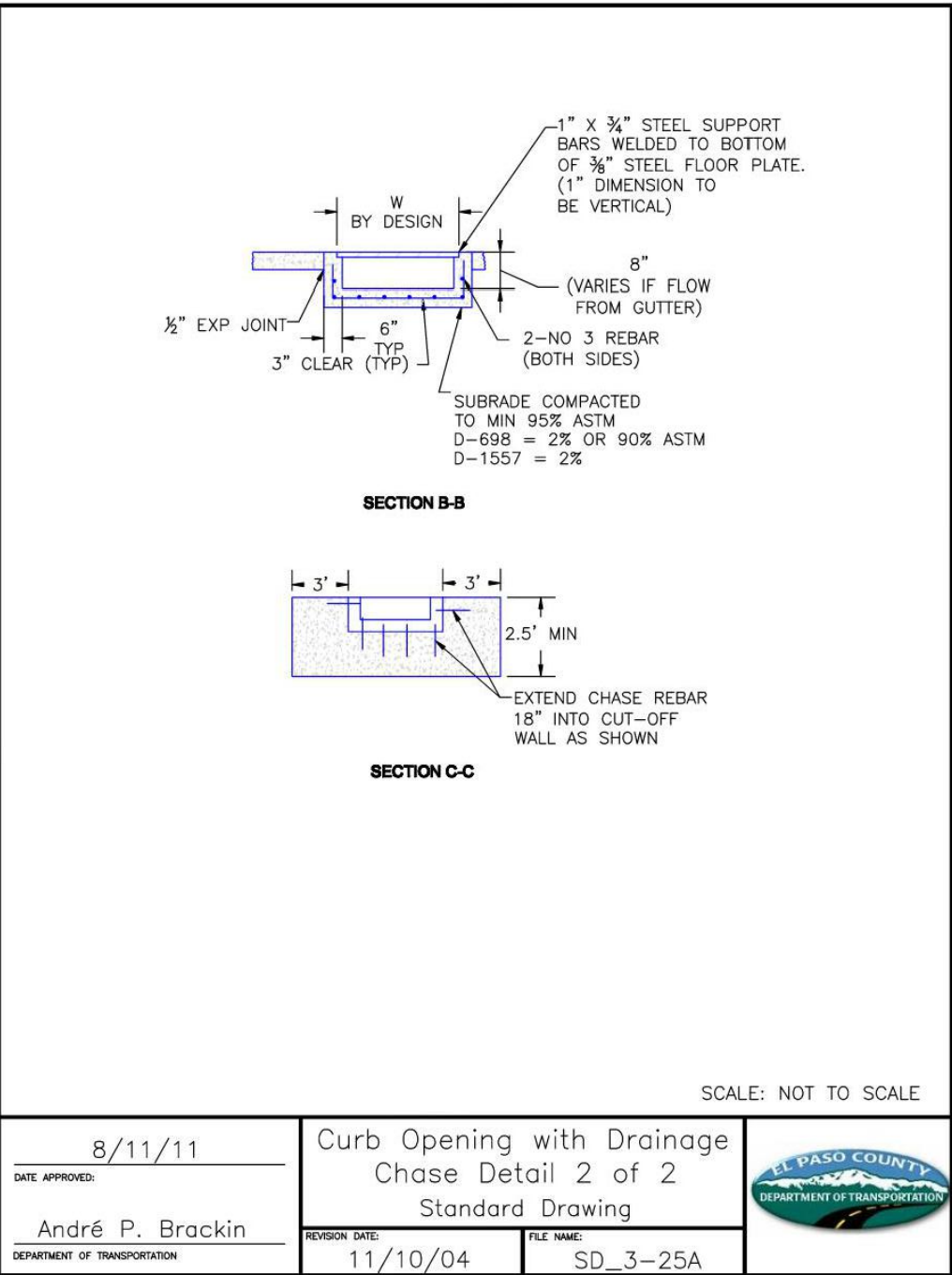
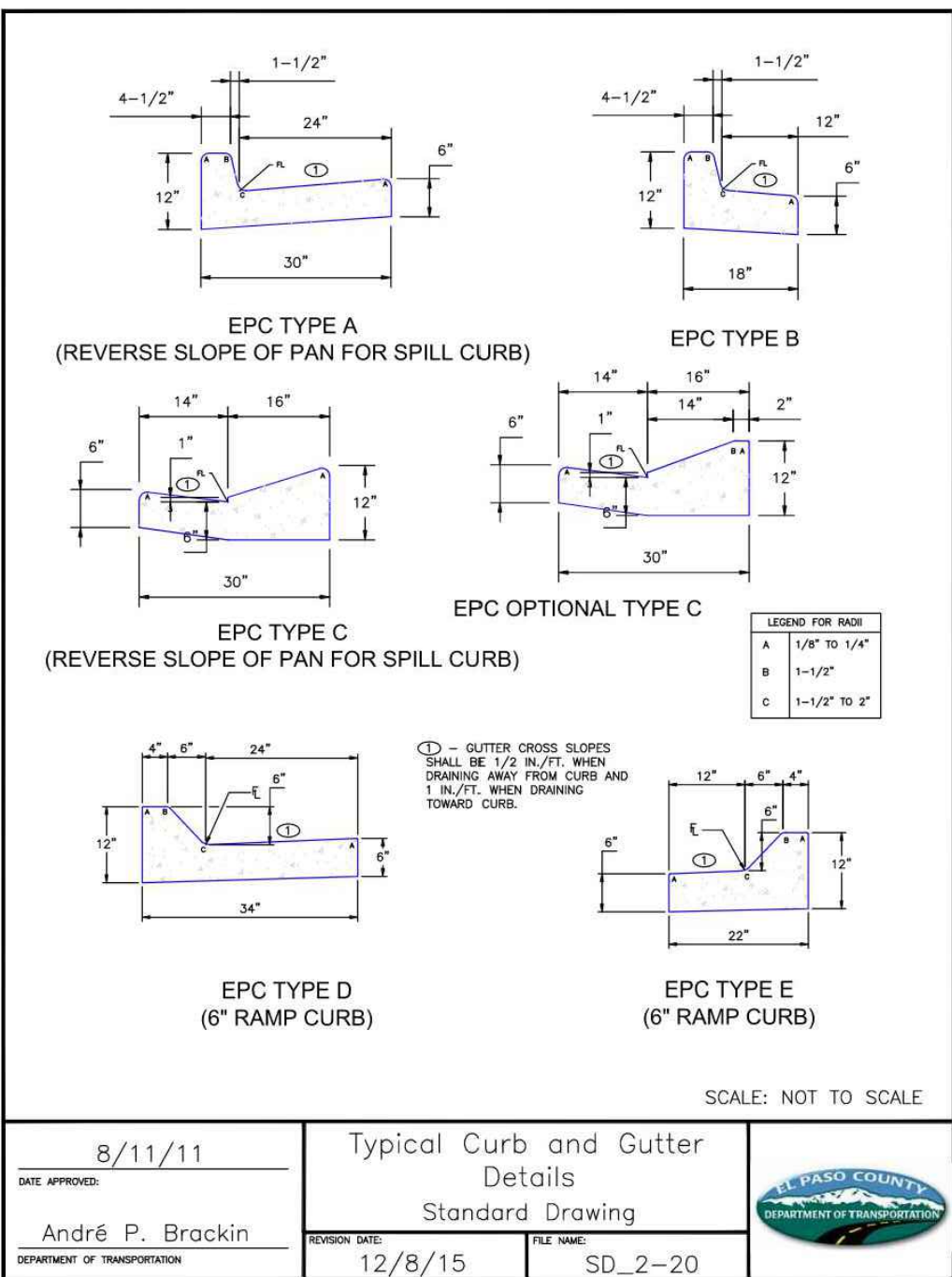
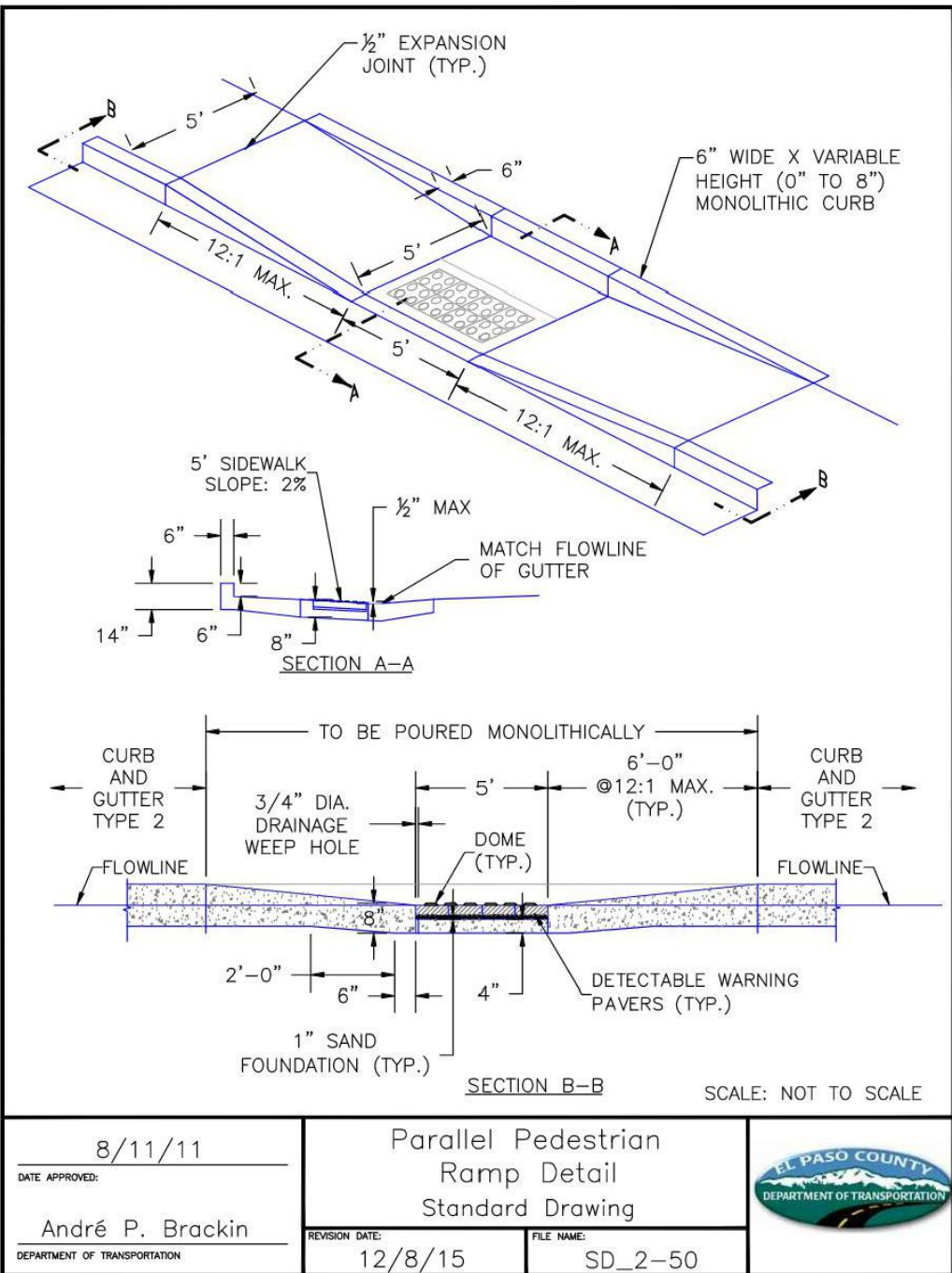
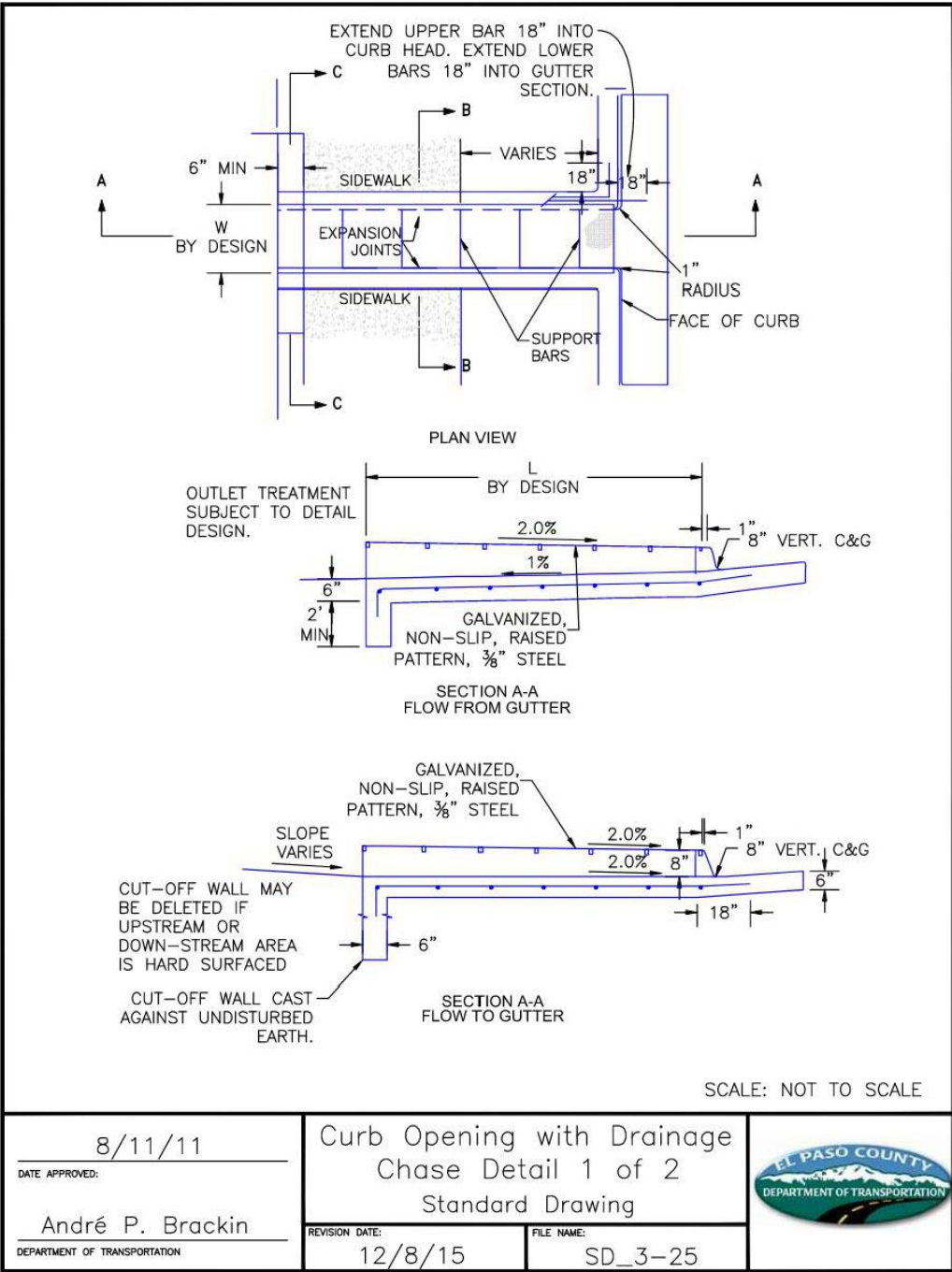
VERT VERTICAL  
VC POINT OF VERTICAL CURVATURE

W WIDE OR WIDTH  
WJ WITH  
W/O WITHOUT  
W, WAT WATER  
WB WESTBOUND  
WSE WATER SURFACE ELEVATION  
WV WATER VALVE

X SECT CROSS SECTION  
XING CROSSING  
YHD YARD HYDRANT

## MASTER LEGEND

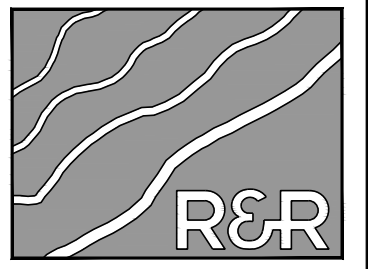
EXISTING	DESCRIPTION	PROPOSED
	PROPERTY LINE	---
	LOT LINE	---
	RIGHT OF WAY	---
	CENTERLINE	---
	FLOOD PLAIN	---
	LIMITS OF DISTURBANCE	--- LOD
	SWALE / STREAM FLOWLINE	---
	OVERFLOW RELIEF PATH	---
X	FENCE LINE	X
	EASEMENT	---
	EDGE OF PAVEMENT	---
	VERTICAL CURB AND GUTTER	---
	MOUNTABLE CURB AND GUTTER	---
	SPILL GUTTER	---
	TRANSITION GUTTER	---
	CONCRETE SIDEWALK	---
	100-YR HGL	---
	5-YR HGL	---
	HANDICAP PARKING	---
	SIGHT TRIANGLE	---
	SIGN(S)	---
	PARKING COUNT INDICATOR	---
	MAJOR CONTOUR	5825
	MINOR CONTOUR	5822
	SPOT ELEVATION	52 22 FG 5236 22 FG
	RIP RAP	---
	WATER LINE	X" W
	WATER METER	---
	WATER VALVE	---
	WATER REDUCER	---
	FIRE HYDRANT	X" SS
	SANITARY LINE	---
	SANITARY MANHOLE	---
	SANITARY CLEANOUT	---
	STORM SEWER PIPE	---
	STORM SEWER MANHOLE	---
	STORM SEWER INLET	---
	STORM SEWER FLARED END SECTION	---
	STORM SEWER HEADWALL	---
	UNDERGROUND ELECTRIC	E
	OVERHEAD ELECTRIC	
	UTILITY POLE	
	STREET LIGHT	
	CABLE TV SERVICE	
	TELECOM SERVICE	
	FIBER OPTIC SERVICE	
	NATURAL GAS SERVICE	
	TREE	
	TREE LINE	



811

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ENGINEERS  
SURVEYORS

R&R ENGINEERS-SURVEYORS, INC.  
1635 WEST 13TH AVENUE, SUITE 310  
DENVER, COLORADO 80204  
PHONE: 303-753-6730

WWW.RRENGINEERS.COM

MAYBERRY PUD PH1 - FILING NO. 2A  
SITE ADDRESS: MAYBERRY, COLORADO SPRINGS  
EL PASO COUNTY  
PREPARED FOR: MAYBERRY COMMUNITIES, LLC  
3296 DEVINE HEIGHTS #208  
COLORADO SPRINGS, CO 80922

CONSTRUCTION DOCUMENTS  
JOB NO. MC22199  
ORG. SUBM. DATE 09/25/2023  
DWN: LO CHKD: TW  
NAME

LEGEND,  
ABBREVIATIONS &  
DETAILS

NO.







P:\P\22199 MAYBERRY PUD PH 1 - FILING NO. 2 (LOTS 2 & 3)\ENGINEERING\DRAWINGS\PLANS\WC2199 SITE & UTILITY PLANS.DWG, PLOT DATE: 1/16/2024, 2:42:12 PM, BY: LHM, C:\GRADY

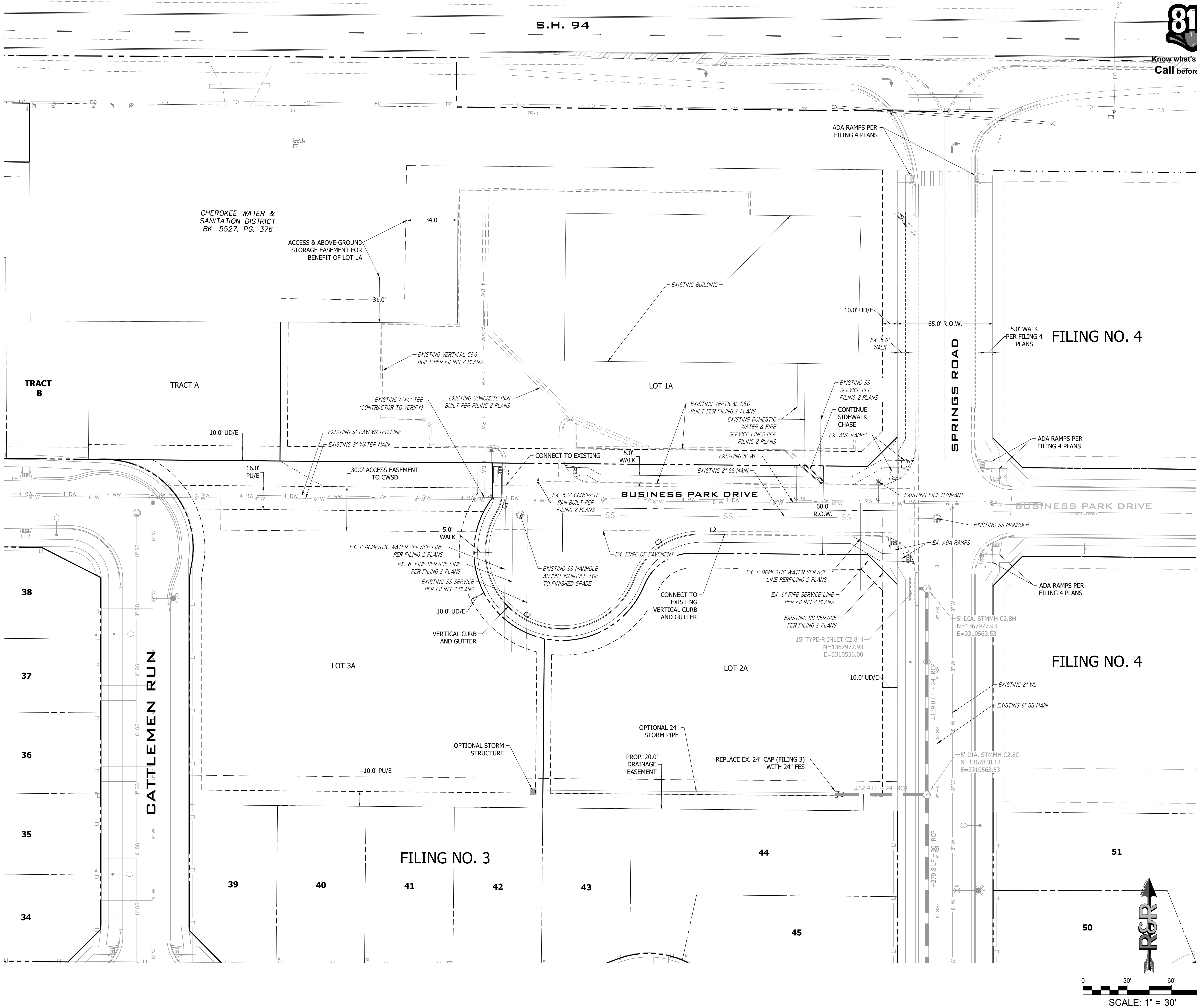
LEGEND

INTERIM STORM SEWER PIPE	
FUTURE STORM SEWER PIPE	
EXISTING STORM SEWER PIPE	
STORM SEWER FLARED END SECTION	
STORM SEWER MANHOLE	
STORM SEWER INLET	
EXISTING WATER LINE	
EXISTING SANITARY	
EXISTING SANITARY MANHOLE	
EXISTING FIBER OPTIC	
EXISTING GAS MAIN	
EX. OVERHEAD ELECTRIC	
EX. UNDERGROUND ELECTRIC	
LOT LINE	
R.O.W. LINE	
CENTER LINE	
EX. MAJOR CONTOUR	
EX. MINOR CONTOUR	
PROP. MAJOR CONTOUR	
PROP. MINOR CONTOUR	
EX. VERT. CURB & GUTTER	
PROP. VERT. CURB & GUTTER	

LINE TABLE @ FL		
CURVE #	BEARING	DISTANCE
L1	S0°12'00"W	18.27'
L2	S89°16'11"E	16.30'

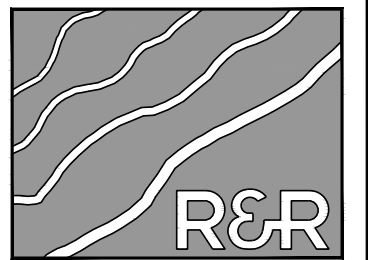
CURVE TABLE @ FL			
CURVE #	LENGTH	RADIUS	DELTA
C1	13.79'	25.50'	30°59'07"
C2	172.60'	52.00'	190°10'52"
C3	58.23'	48.00'	69°30'46"

- NOTE:
- PRIOR TO ANY OTHER CONSTRUCTION, CONTRACTOR SHALL EXPOSE THE ENDS OF ALL WATER, FIRE, AND SEWER SERVICE LINES TO VERIFY CONDITIONS AND PLACE MARKERS ABOVE GRADE.
  - CONTRACTOR SHALL EXPOSE EXISTING 4" RAW WATERLINE CROSSING TO VERIFY CONDITION AND REPORT TO OWNER. IF THE EXISTING 4" RAW WATER LINE RUNNING NORTH/SOUTH IS NOT CONNECTED TO THE EXISTING 4" RAW WATERLINE RUNNING EAST/WEST, CONTRACTOR SHALL INSTALL TEE & GATE VALVE.
  - THE CONFIRMATION OF CONSTRUCTION SHALL BE GIVEN TO OWNER PRIOR TO COMMENCEMENT OF WORK.



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NO.	REVISION	BY	DATE



ENGINEERS  
SURVEYORS

**R&R ENGINEERS-SURVEYORS, INC.**  
1635 WEST 13TH AVENUE, SUITE 310  
DENVER, COLORADO 80204  
PHONE: 303-753-6730

WWW.RRENGINEERS.COM

**MAYBERRY PUD PH 1 - FILING NO. 2A**  
SITE ADDRESS: MAYBERRY, COLORADO SPRINGS  
EL PASO COUNTY  
PREPARED FOR: MAYBERRY COMMUNITIES, LLC  
3296 DEVINE HEIGHTS #208  
COLORADO SPRINGS, CO 80922

CONSTRUCTION DOCUMENTS  
JOB NO. MC22199  
ORG. SUBM. DATE 09/25/2023  
DWN: LO CHKD: TW  
NAME

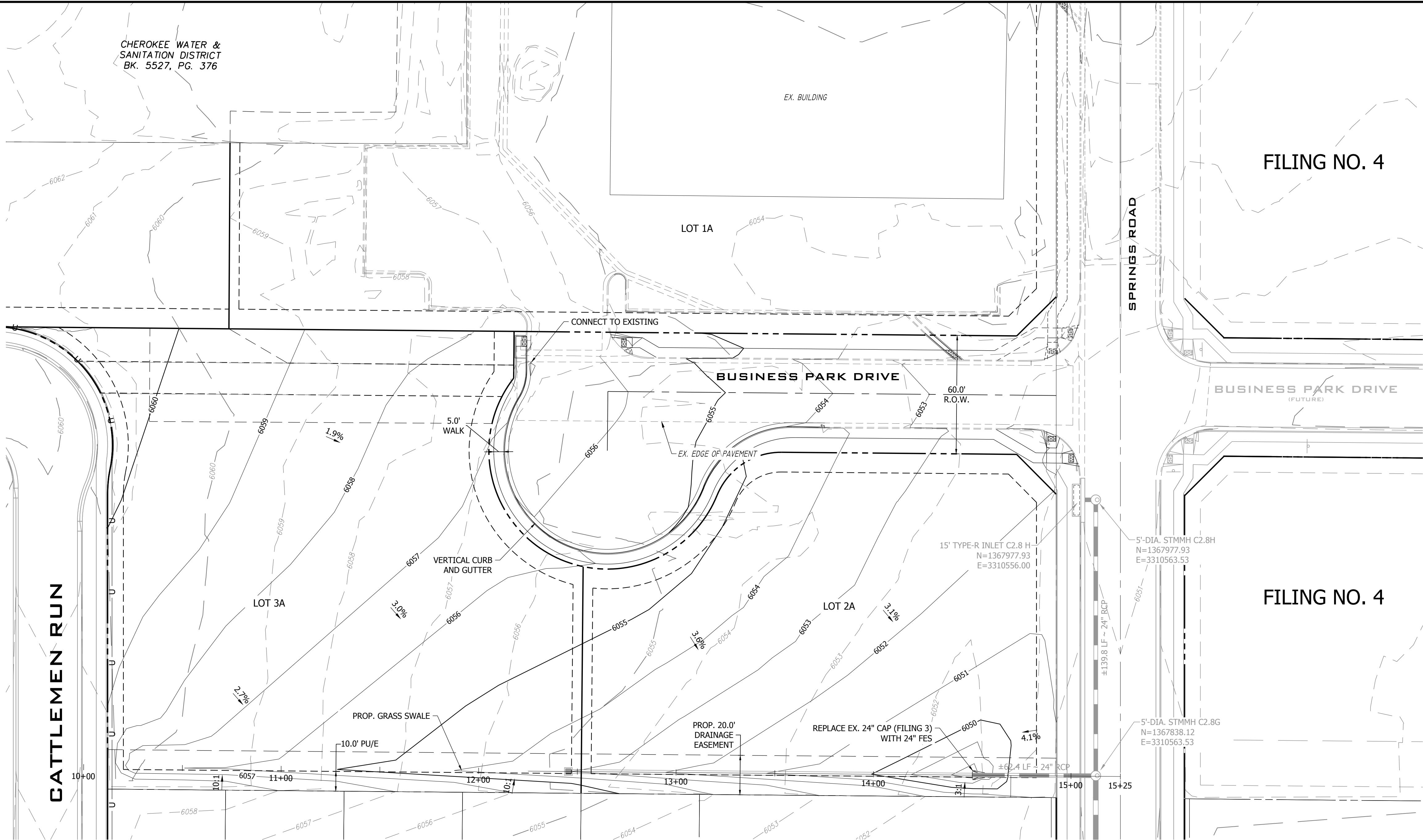
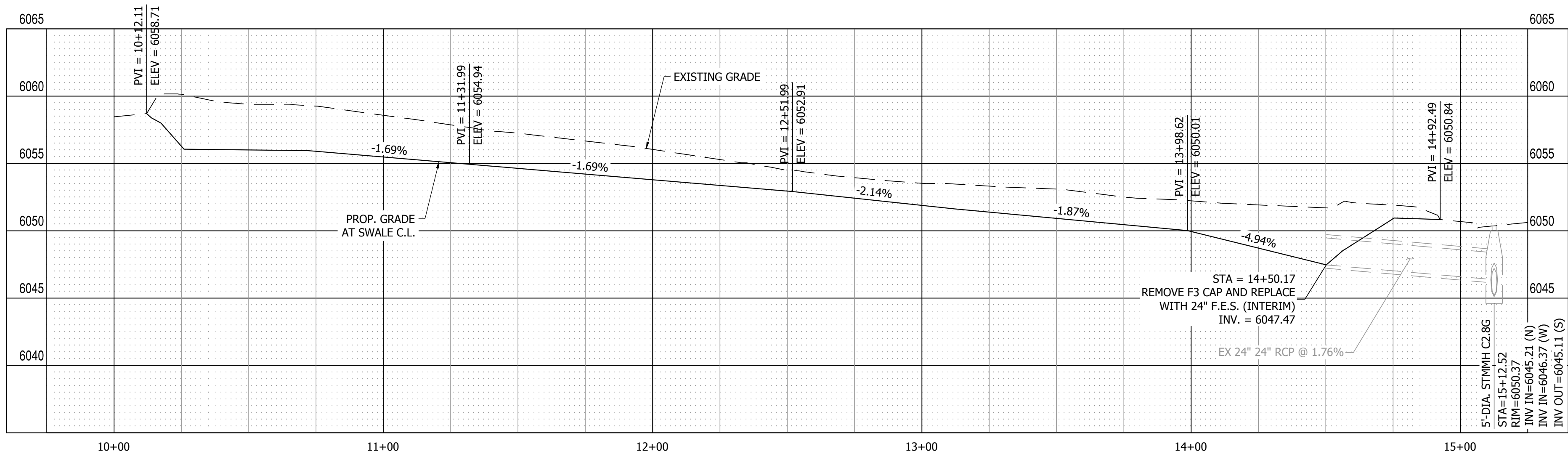
**SITE & UTILITY  
PLAN**

NO. **5**

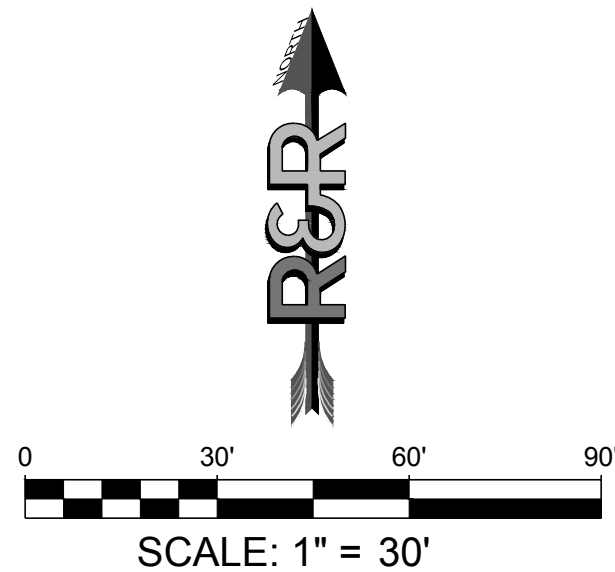
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LEGEND

- INTERIM STORM SEWER PIPE  
FUTURE STORM SEWER PIPE  
EXISTING STORM SEWER PIPE  
STORM SEWER FLARED END SECTION  
STORM SEWER MANHOLE  
STORM SEWER INLET  
LOT LINE  
R.O.W. LINE  
CENTER LINE  
EX. MAJOR CONTOUR  
EX. MINOR CONTOUR  
PROP. MAJOR CONTOUR  
PROP. MINOR CONTOUR  
EX. VERT. CURB & GUTTER  
PROP. VERT. CURB & GUTTER

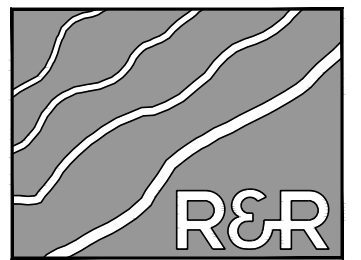


NOTE: STORM STUB CONSTRUCTED WITHIN FILING 3 SHALL BE REMOVED AND REPLACED WITH 24" FLARED END SECTION AND GRASS DRAINAGE SWALE SHALL BE EXCAVATED AND STABILIZED WITHIN FILING 2A.



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DENVER, COLORADO 80204  
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**MAYBERRY PUD PH 1 - FILING NO. 2A**  
SITE ADDRESS: MAYBERRY, COLORADO SPRINGS  
EL PASO COUNTY  
PREPARED FOR: MAYBERRY COMMUNITIES, LLC  
3296 DEVINE HEIGHTS #208  
COLORADO SPRINGS, CO 80922

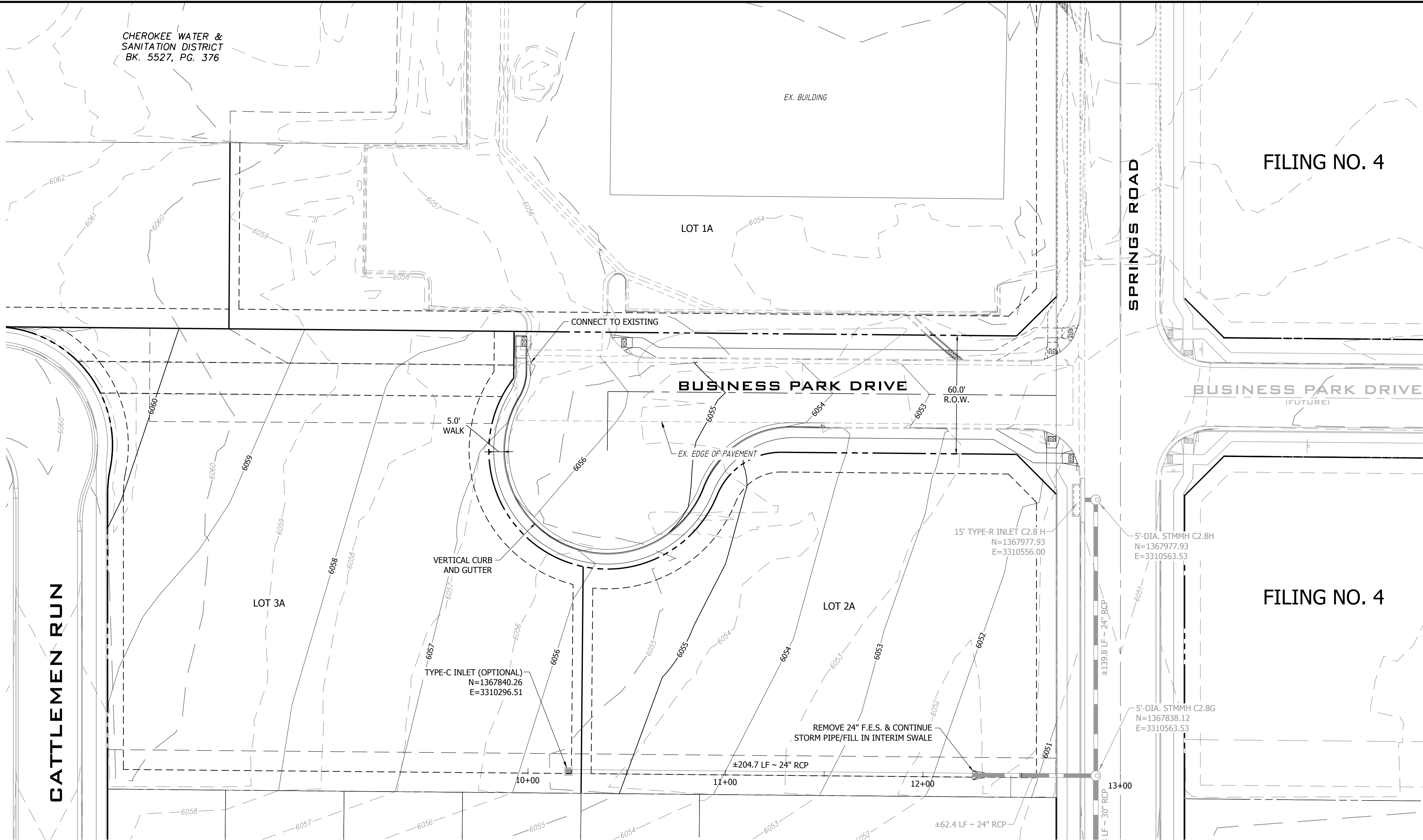
CONSTRUCTION DOCUMENTS  
JOB NO. MC22199  
ORG. SUBM. DATE 09/25/2023  
DWN: LO CHKD: TW  
NAME

GRADING &  
DRAINAGE PLAN

NO. 6



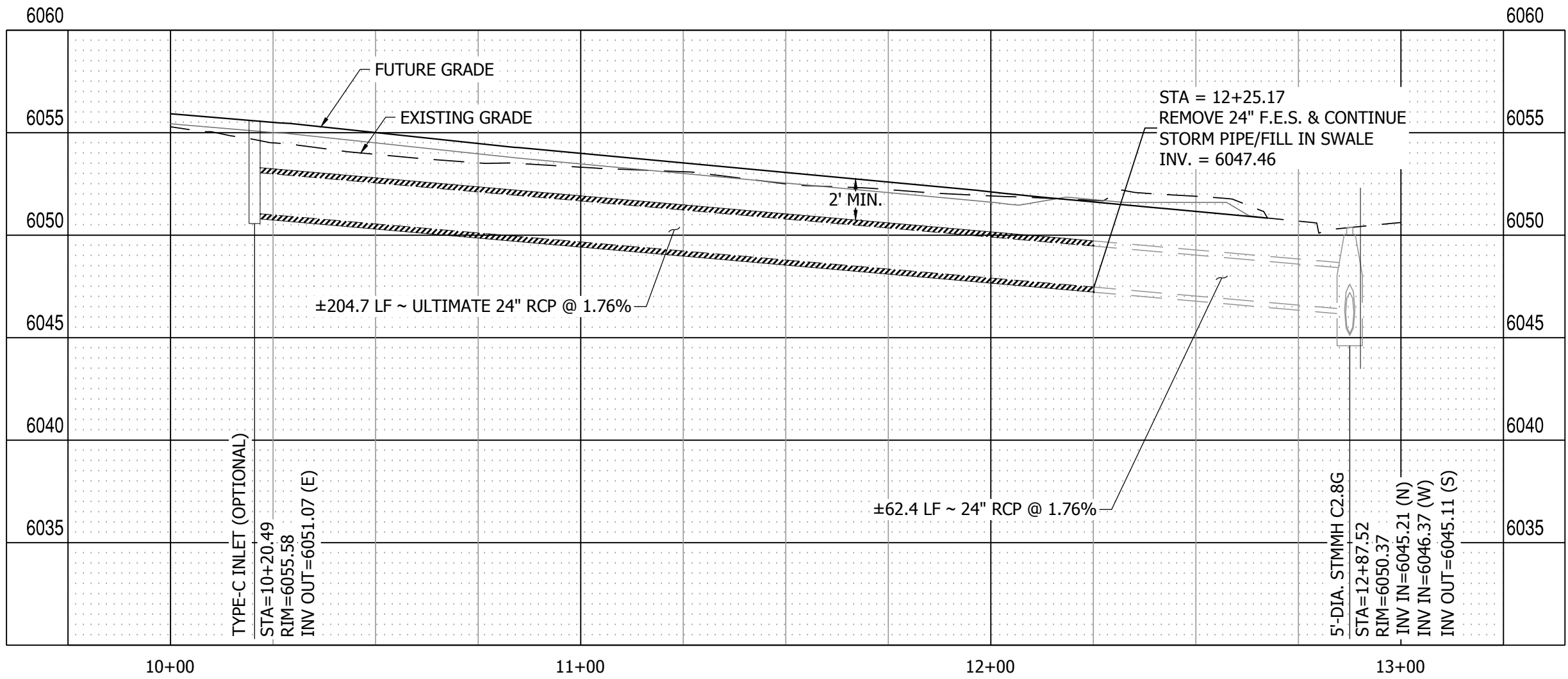
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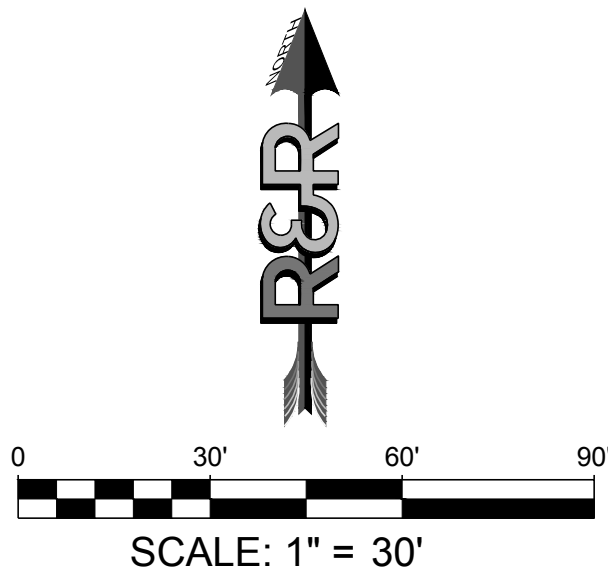
F2 OPTIONAL STORM PIPE & GRADING PLAN VIEW  
SCALE: 1" = 30'

**NOTE:**  
THIS PROPOSED STORM DRAIN IS OPTIONAL FOR LOTS 2 AND 3  
SHOULD THE FUTURE DEVELOPER FIND THE LAYOUT OF THEIR  
COMMERCIAL SITE WOULD BE BETTER SUITED WITH A PIPED STORM  
CONVEYANCE VERSUS AN OPEN DITCH AS SHOWN ON SHEET 6.

LEGEND	
INTERIM STORM SEWER PIPE	
FUTURE STORM SEWER PIPE	
EXISTING STORM SEWER PIPE	
STORM SEWER FLARED END SECTION	
STORM SEWER MANHOLE	
STORM SEWER INLET	
LOT LINE	
R.O.W. LINE	
CENTER LINE	
EX. MAJOR CONTOUR	
EX. MINOR CONTOUR	
PROP. MAJOR CONTOUR	
PROP. MINOR CONTOUR	
EX. VERT. CURB & GUTTER	
PROP. VERT. CURB & GUTTER	

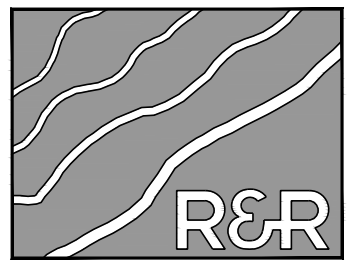


F2 OPTIONAL STORM PIPE PROFILE VIEW  
HORIZONTAL SCALE: 1"=30'  
VERTICAL SCALE: 1"=6'



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MAYBERRY PUD PH 1 - FILING NO. 2A  
SITE ADDRESS: MAYBERRY, COLORADO SPRINGS  
EL PASO COUNTY  
PREPARED FOR: MAYBERRY COMMUNITIES, LLC  
3296 DEVINE HEIGHTS #208  
COLORADO SPRINGS, CO 80922

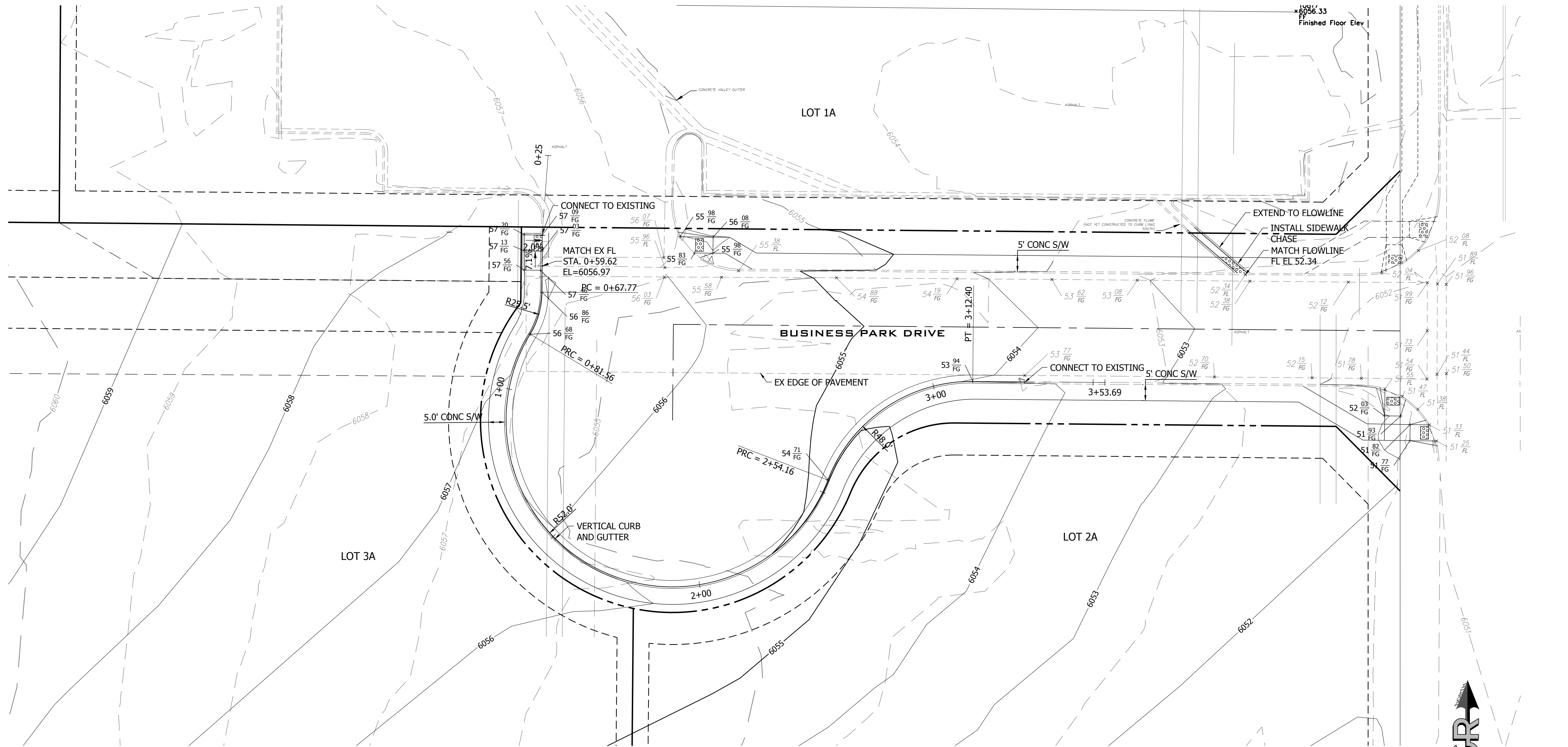
CONSTRUCTION DOCUMENTS  
JOB NO. MC22199  
ORG. SUBM. DATE 09/25/2023  
DWN: LO CHKD: TW  
NAME

OPTIONAL  
GRADING &  
DRAINAGE PLAN

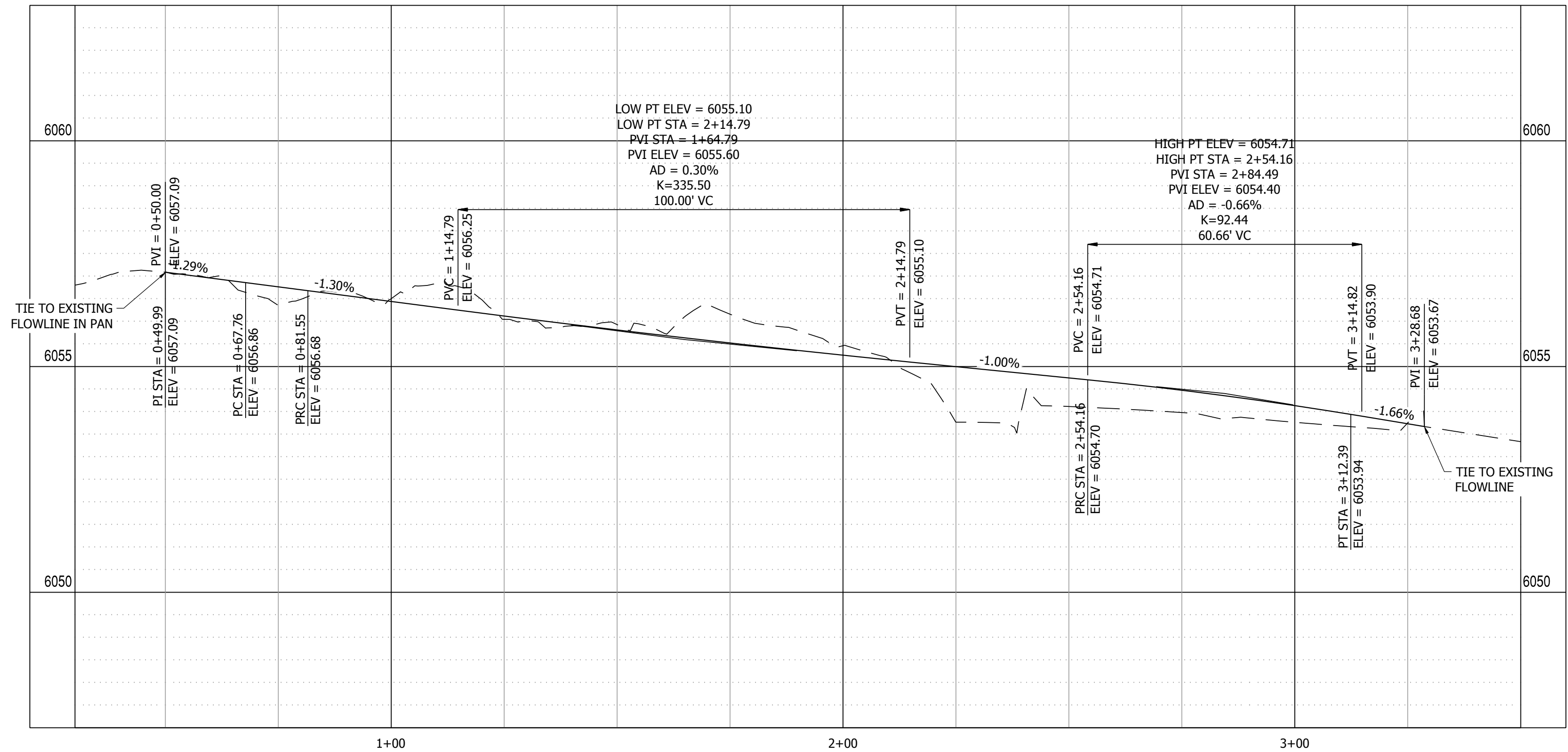
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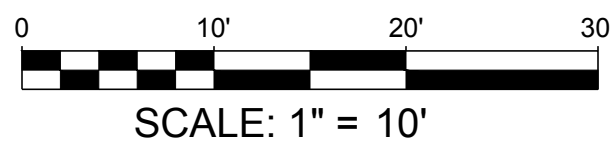
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CUL-DE-SAC PLAN VIEW  
SCALE: 1" = 20'

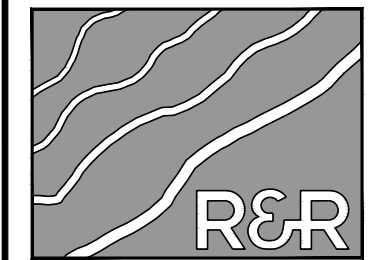


CUL-DE-SAC PROFILE VIEW  
HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



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SITE ADDRESS: MAYBERRY, COLORADO SPRINGS  
EL PASO COUNTY  
PREPARED FOR: MAYBERRY COMMUNITIES, LLC  
3296 DEVINE HEIGHTS #208  
COLORADO SPRINGS, CO 80922

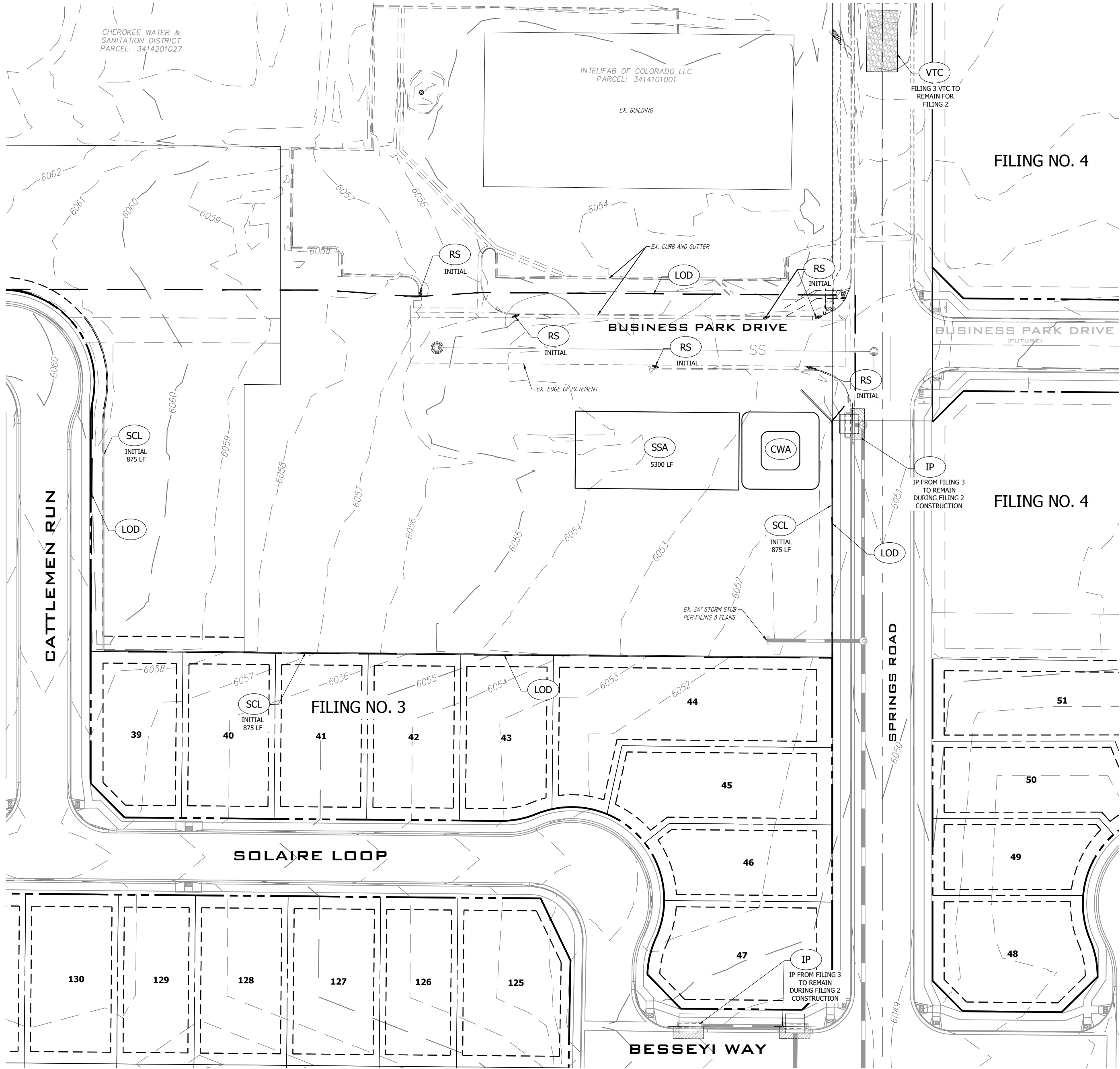
CONSTRUCTION DOCUMENTS  
JOB NO. MC221199  
ORG. SUBM. DATE 09/25/2023  
DWN: LO CHKD: TW  
NAME

FLOW LINE PLAN  
AND PROFILE

NO.  
**8**



PATH: P:\MC22199 MAYBERRY PUD NO. 2 (LOTS 2 & 3)\ENGINEERING\DRAWINGS\PLANS\MC2199 CUL DE SAC EROSION CONTROL MEASURES.dwg PLOT DATE: 1/16/2024 2:43:09 PM BY: JLN: GORDY

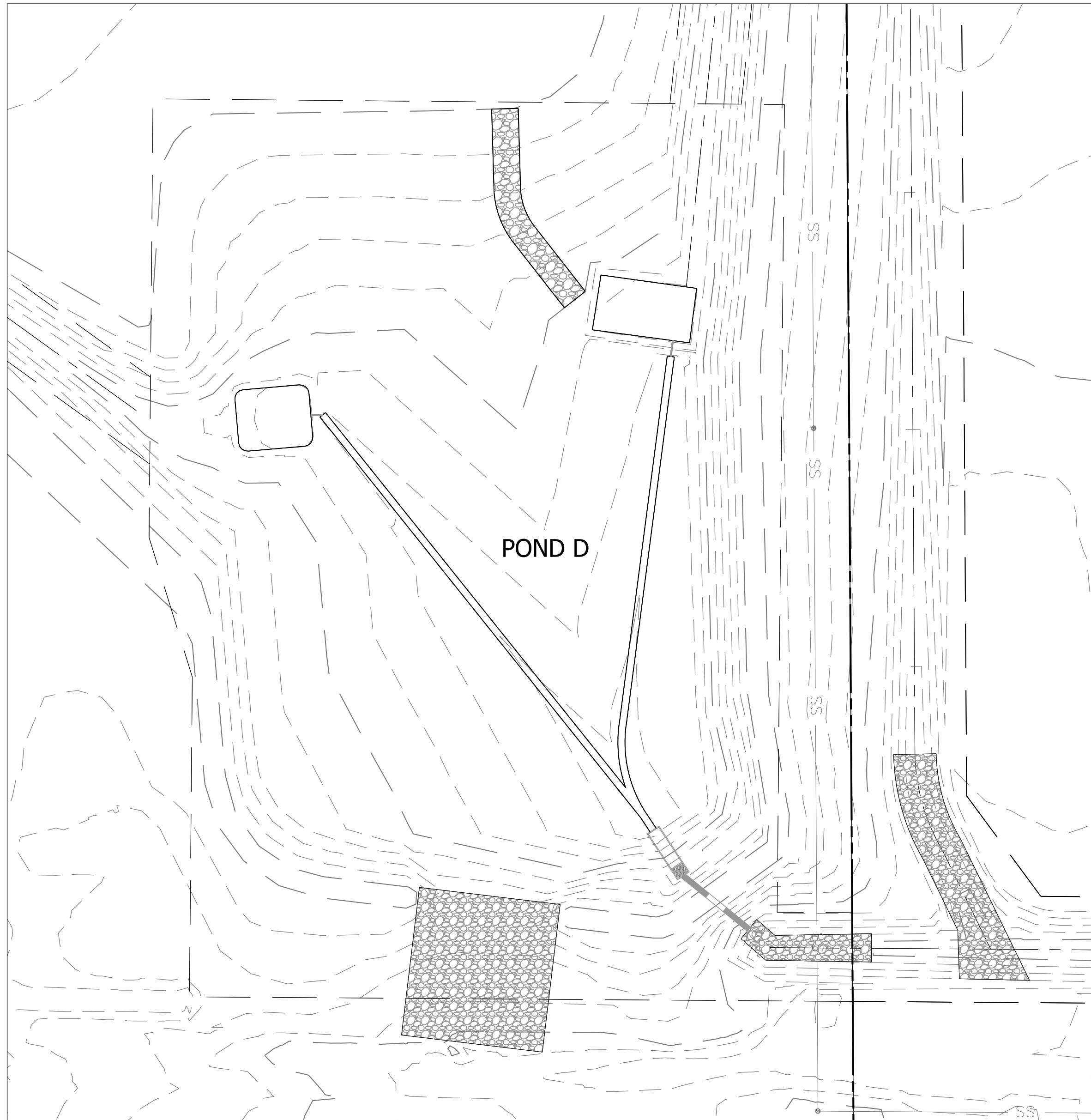
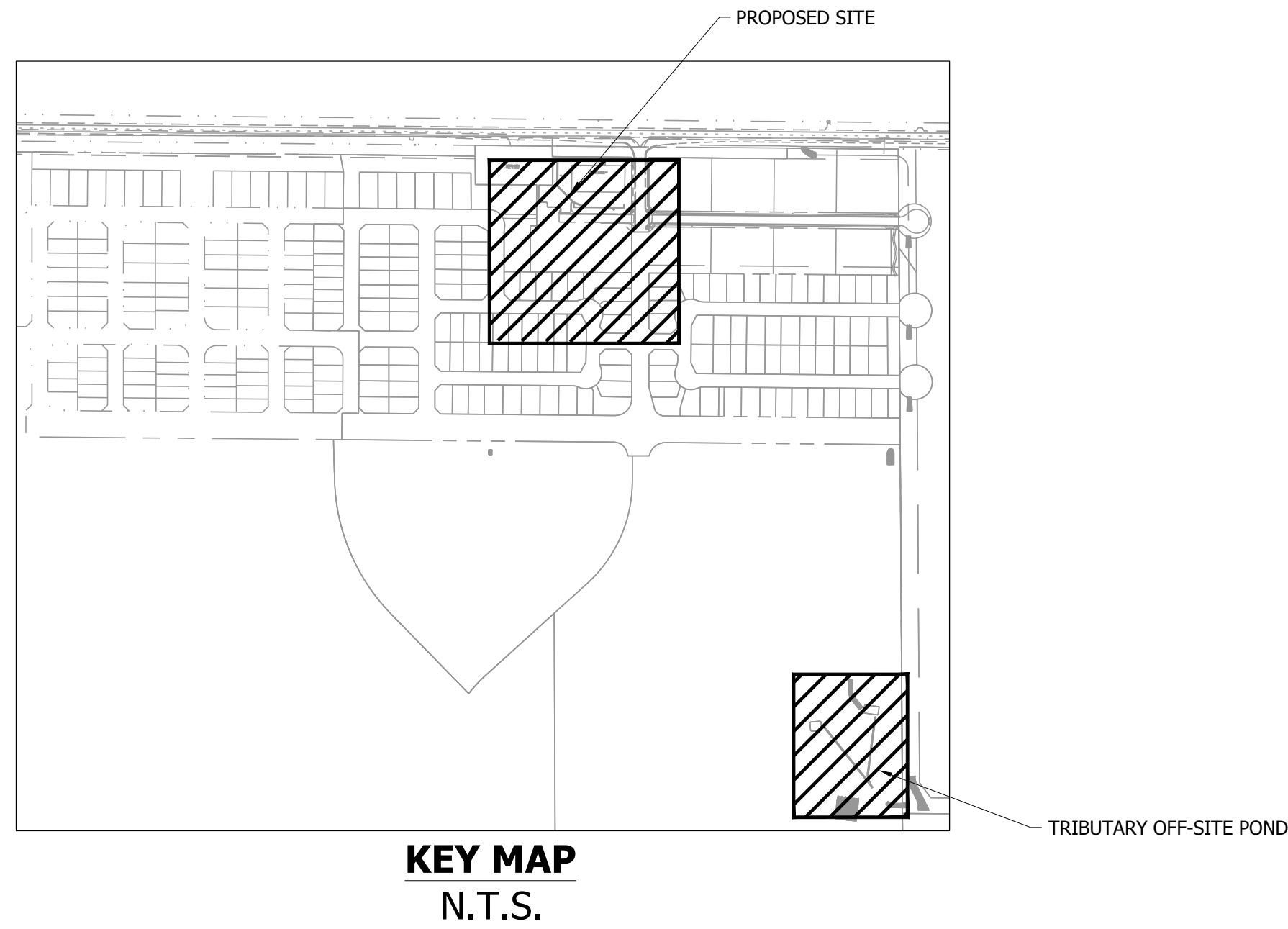
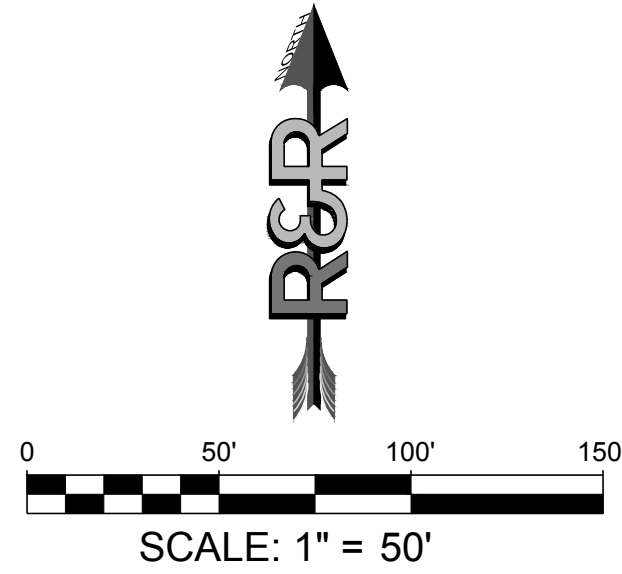


**BMP LEGEND**

- LOD LIMITS OF DISTURBANCE/CONSTRUCTION
- SCL SEDIMENT CONTROL LOG
- RS ROCK SOCK
- IP INLET PROTECTION
- VTC VEHICLE TRACKING CONTROL
- RRC REINFORCED CHECK DAM FOR CULVERT PROTECTION
- CWA CONCRETE WASHOUT AREA
- SSA STABILIZED STAGING AREA
- PROP. CUT/FILL BOUNDARY

**SCHEDULE OF ACTIVITIES/SEQUENCE**

- INITIAL PHASE**
1. INSTALL EROSION CONTROL MEASURES
  2. CLEAR & GRUB, GRADING
- INTERIM PHASE**
1. GRADE AREA FOR NEW PARKING LOT CONFIGURATION.
  2. INSTALL DETENTION VAULT SYSTEM
  3. PAVE PARKING LOT
- FINAL PHASE**
1. LANDSCAPING
  2. SITE CLEAN UP
  3. REMOVE EROSION CONTROL MEASURES

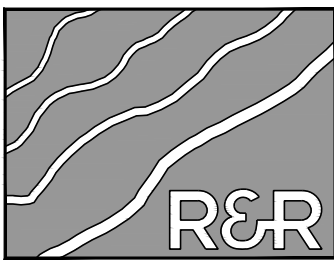


**OFF-SITE POND**  
SCALE: 1" = 50'



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<b>MAYBERRY PUD PH 1 - FILING NO. 2A</b>	
SITE ADDRESS:	MAYBERRY, COLORADO SPRINGS EL PASO COUNTY
PREPARED FOR:	MAYBERRY COMMUNITIES, LLC 3296 DEVINE HEIGHTS #208 COLORADO SPRINGS, CO 80922

JOB NO.	MC22199
ORG. SUBM. DATE	09/25/2023
DWN:	LO
CHKD:	TW

**INITIAL EROSION  
CONTROL  
MEASURES**

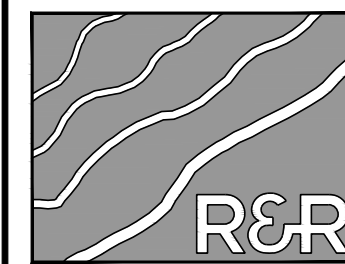
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**9**





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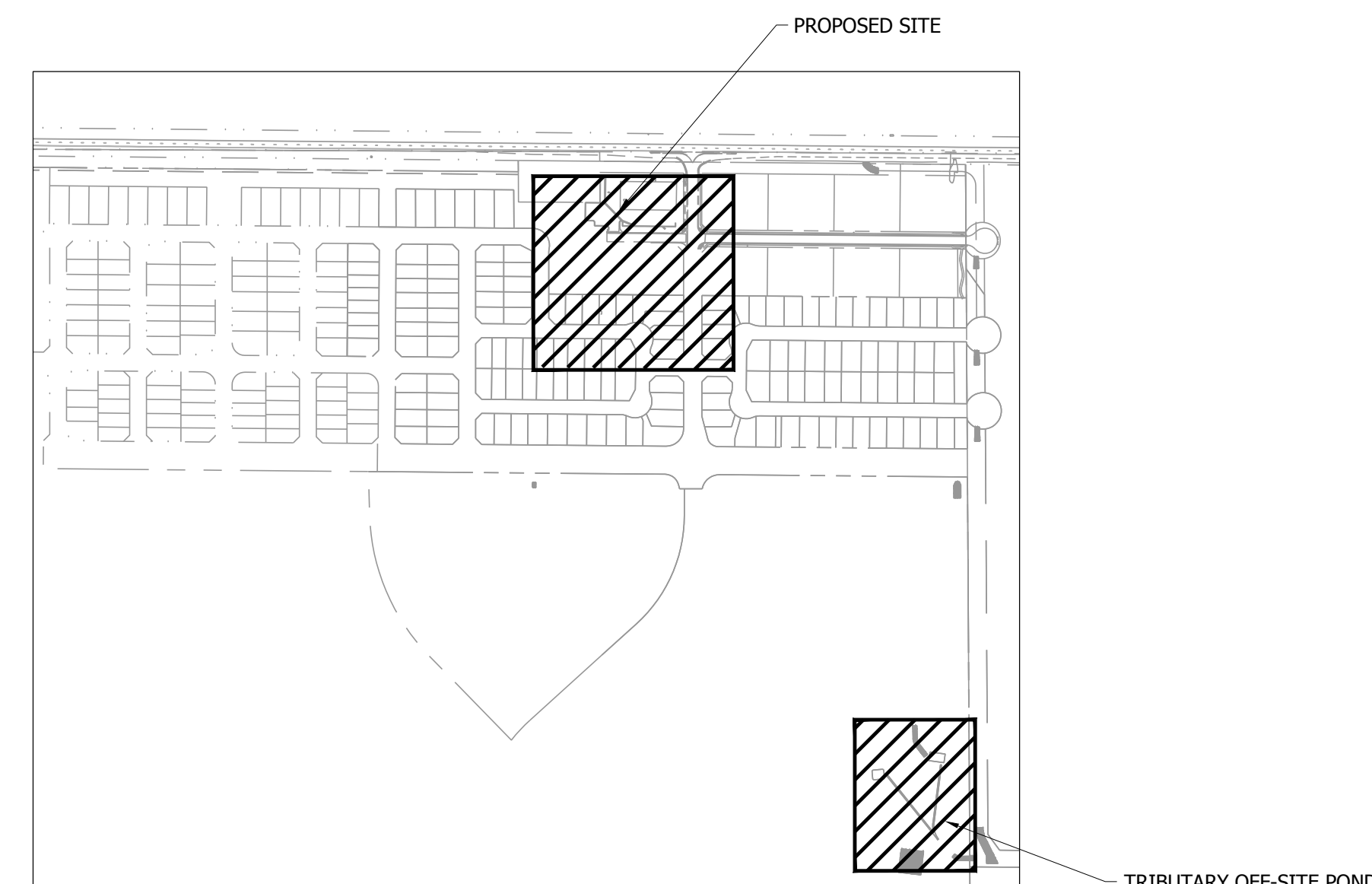
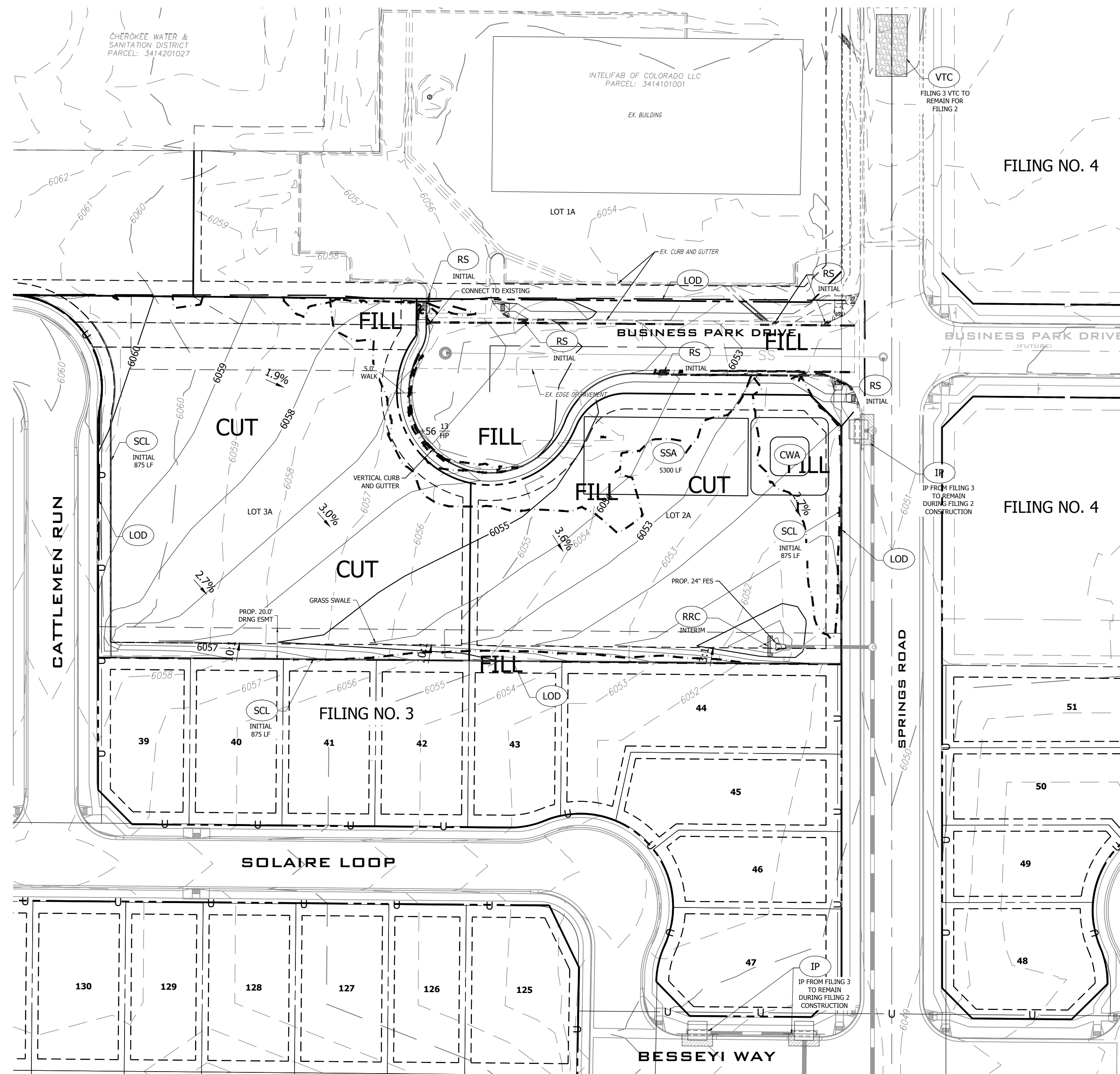
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SITE ADDRESS: MAYBERRY, COLORADO SPRINGS  
EL PASO COUNTY  
PREPARED FOR: MAYBERRY COMMUNITIES, LLC  
3296 DEVINE HEIGHTS #208  
COLORADO SPRINGS, CO 80922

CONSTRUCTION DOCUMENTS  
JOB NO. MC22199  
ORG. SUBM. DATE 09/25/2023  
DWN: LO CHKD: TW  
NAME

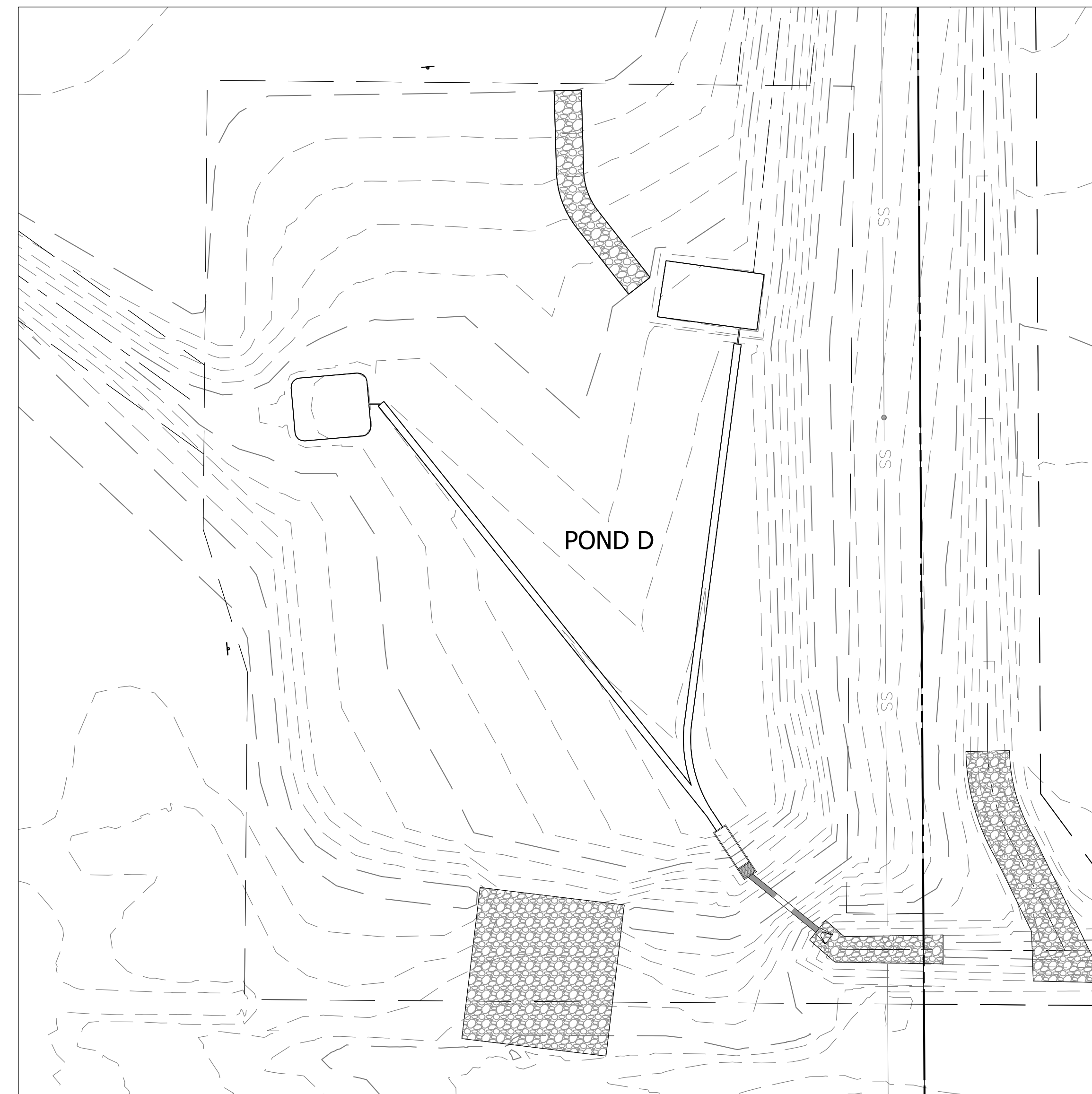
INTERIM EROSION  
CONTROL  
MEASURES

NO.

10



KEY MAP  
N.T.S.



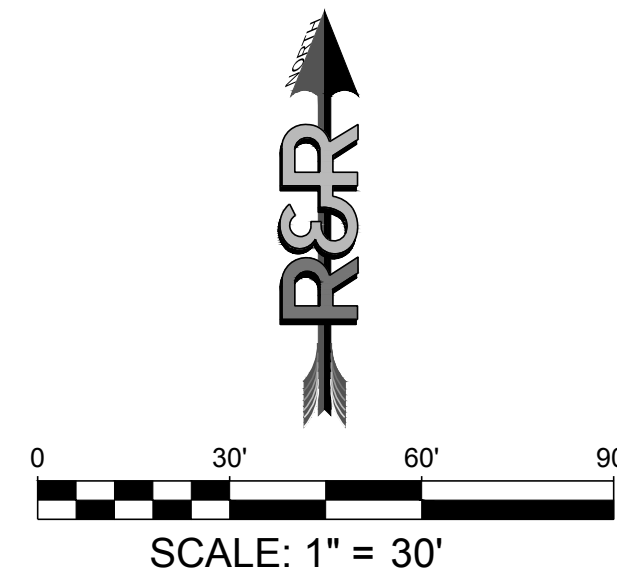
OFF-SITE POND  
SCALE: 1" = 50'

**BMP LEGEND**

- LOD LIMITS OF DISTURBANCE/CONSTRUCTION
- SCL SEDIMENT CONTROL LOG
- RS ROCK SOCK
- IP INLET PROTECTION
- VTC VEHICLE TRACKING CONTROL
- RRC REINFORCED CHECK DAM FOR CULVERT PROTECTION
- CWA CONCRETE WASHOUT AREA
- SSA STABILIZED STAGING AREA
- PROP. CUT/FILL BOUNDARY

**SCHEDULE OF ACTIVITIES/SEQUENCE**

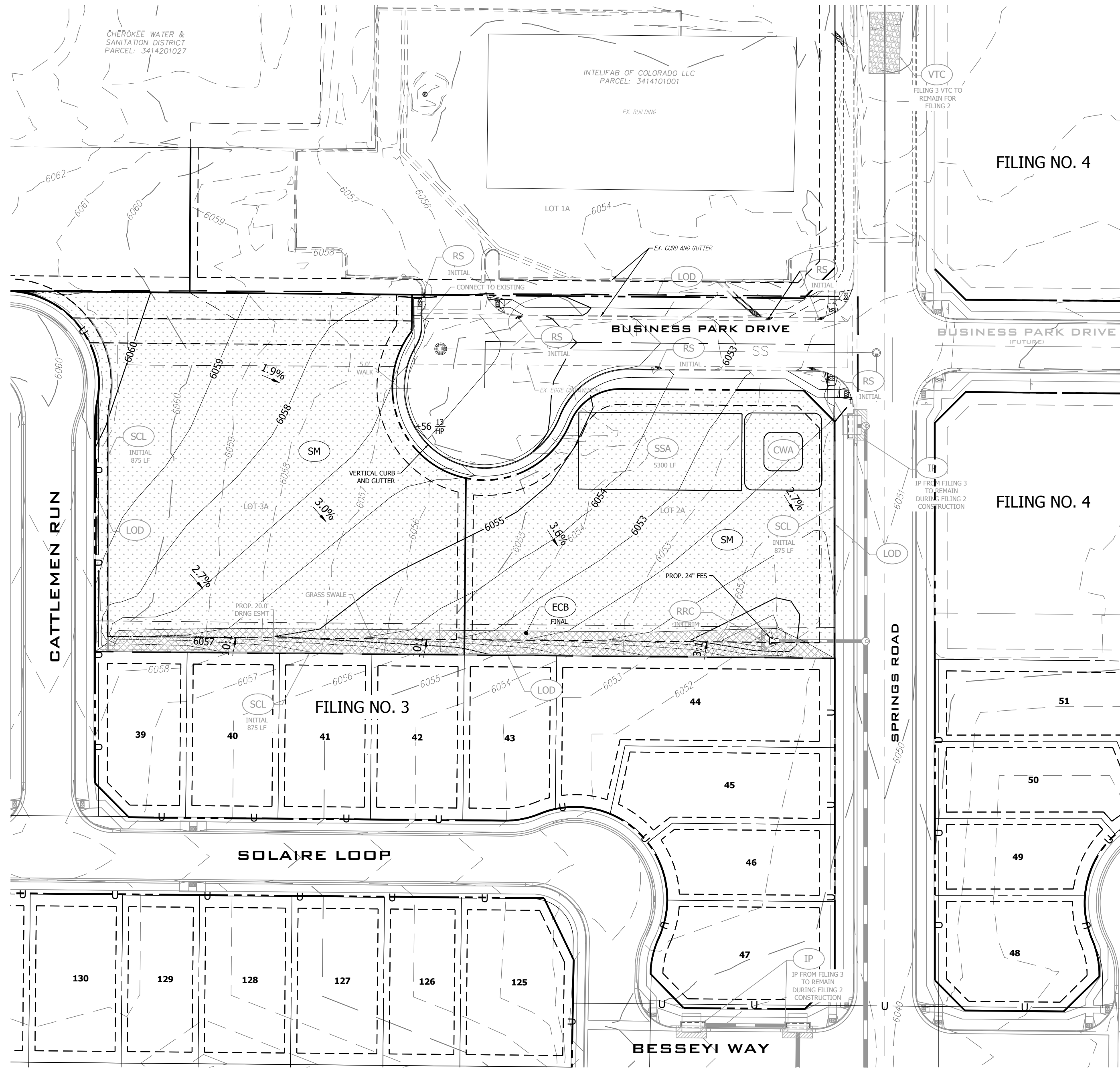
- INITIAL PHASE
1. INSTALL EROSION CONTROL MEASURES
  2. CLEAR & GRUB, GRADING
- INTERIM PHASE
1. GRADE AREA FOR NEW PARKING LOT CONFIGURATION.
  2. INSTALL DETENTION VAULT SYSTEM
  3. PAVE PARKING LOT
- FINAL PHASE
1. LANDSCAPING
  2. SITE CLEAN UP
  3. REMOVE EROSION CONTROL MEASURES



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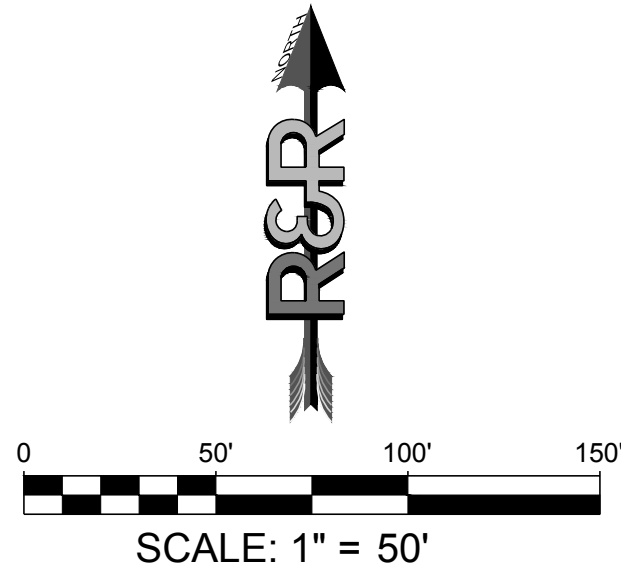


**BMP LEGEND**

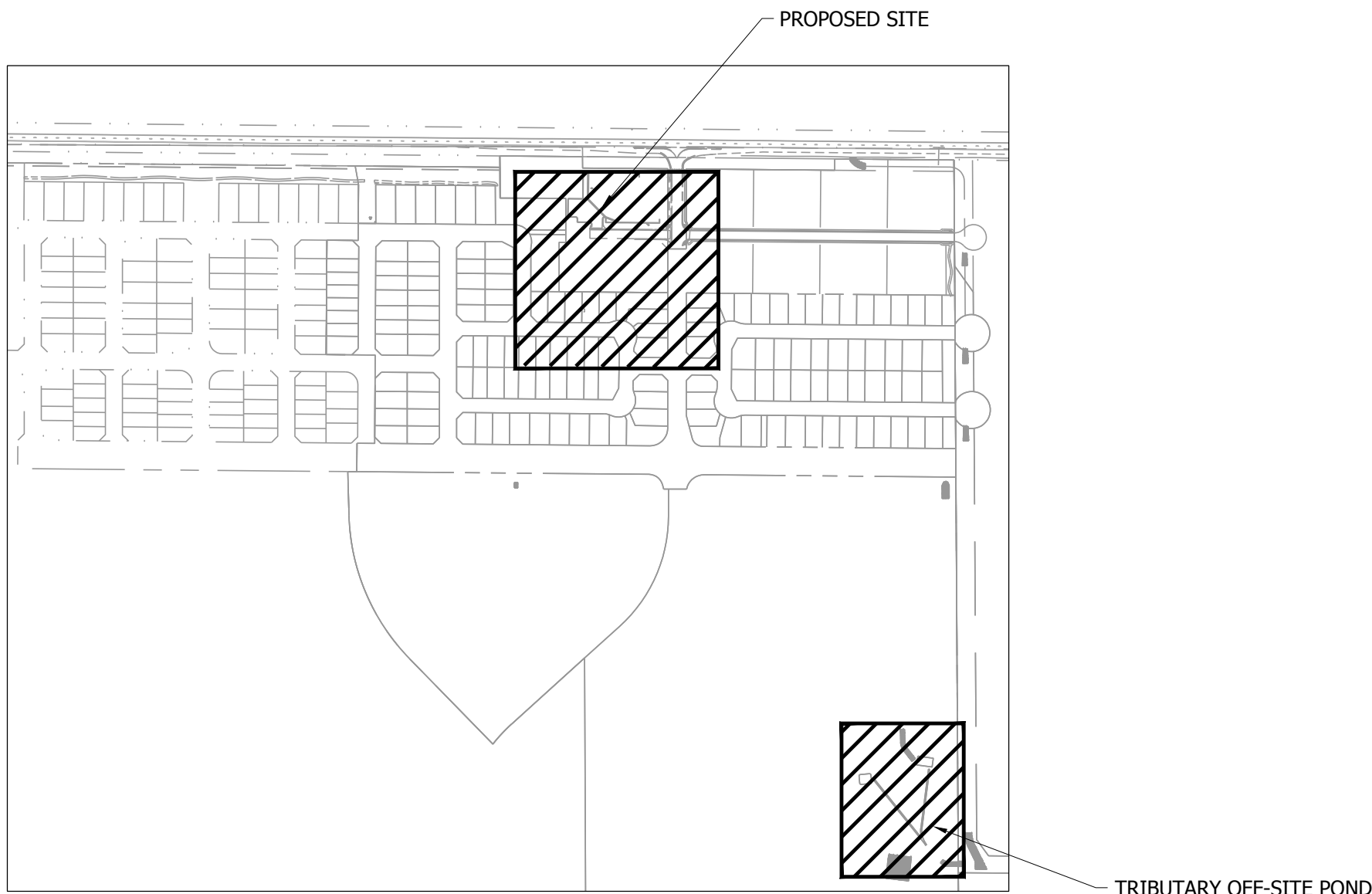
- LOD — LIMITS OF DISTURBANCE/CONSTRUCTION
- SCL — SEDIMENT CONTROL LOG
- RS — ROCK SOCK
- IP — INLET PROTECTION
- VTC — VEHICLE TRACKING CONTROL
- RRC — REINFORCED CHECK DAM FOR CULVERT PROTECTION
- CWA — CONCRETE WASHOUT AREA
- SSA — STABILIZED STAGING AREA
- - - PROP. CUT/FILL BOUNDARY

**SCHEDULE OF ACTIVITIES/SEQUENCE**

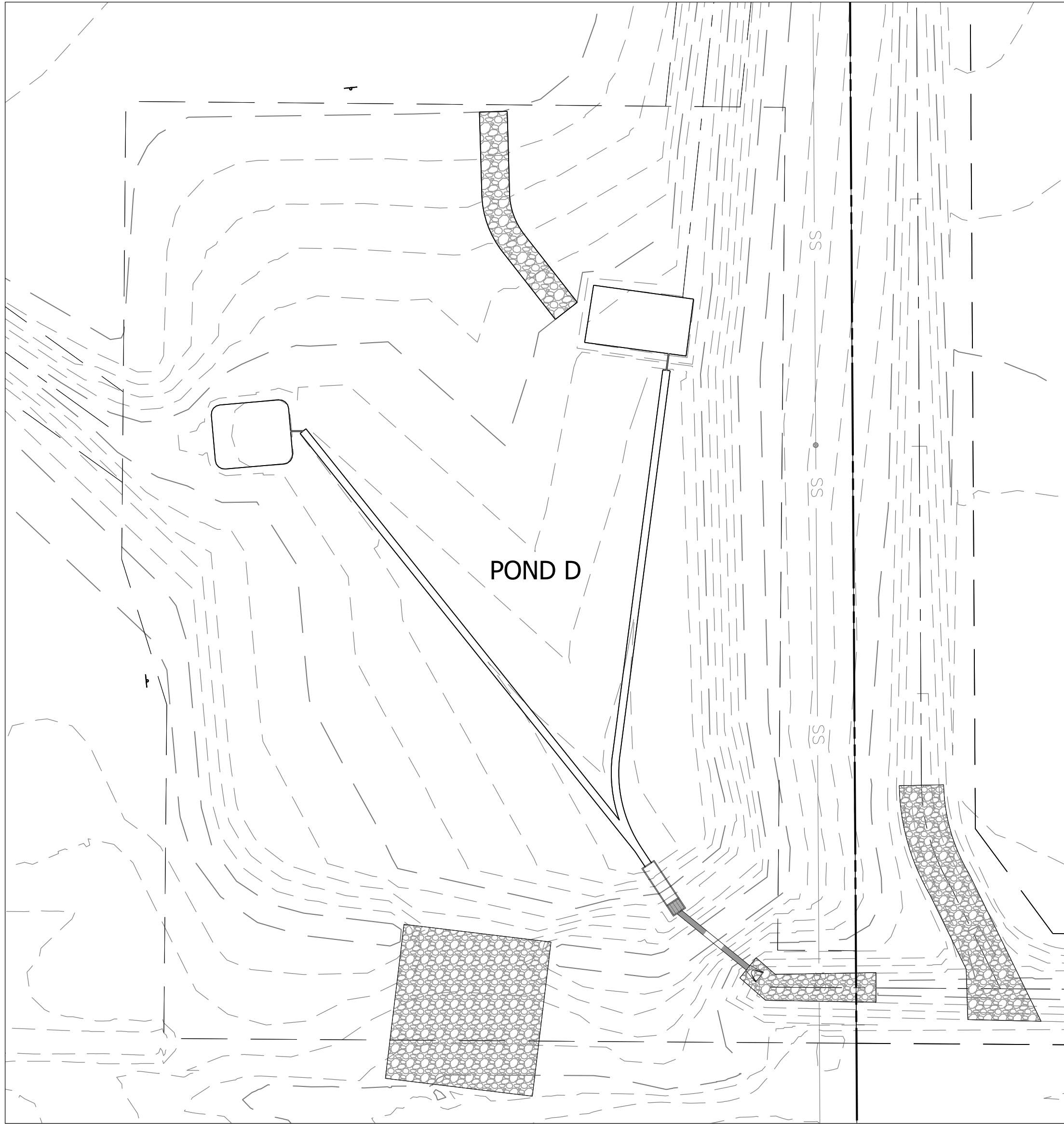
- INITIAL PHASE**
1. INSTALL EROSION CONTROL MEASURES
  2. CLEAR & GRUB, GRADING
- INTERIM PHASE**
1. GRADE AREA FOR NEW PARKING LOT CONFIGURATION.
  2. INSTALL DETENTION VAULT SYSTEM
  3. PAVE PARKING LOT
- FINAL PHASE**
1. LANDSCAPING
  2. SITE CLEAN UP
  3. REMOVE EROSION CONTROL MEASURES



NOTE:  
SSA AND CWA FINAL LOCATION TO  
BE DETERMINED BY CONTRACTOR.



**KEY MAP**  
N.T.S.

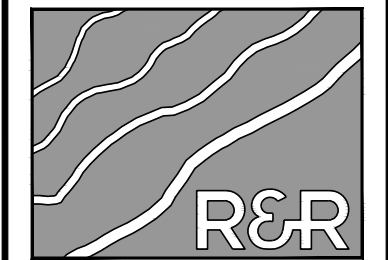


**OFF-SITE POND**  
SCALE: 1" = 50'



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**MAYBERRY PUD PH 1 - FILING NO. 2A**

SITE ADDRESS: MAYBERRY, COLORADO SPRINGS  
EL PASO COUNTY

PREPARED FOR: MAYBERRY COMMUNITIES, LLC  
3296 DEVINE HEIGHTS #208  
COLORADO SPRINGS, CO 80922

CONSTRUCTION DOCUMENTS

JOB NO. MC22199  
ORG. SUBM. DATE 09/25/2023  
DWN: LO CHKD: TW  
NAME

**FINAL EROSION  
CONTROL  
MEASURES**

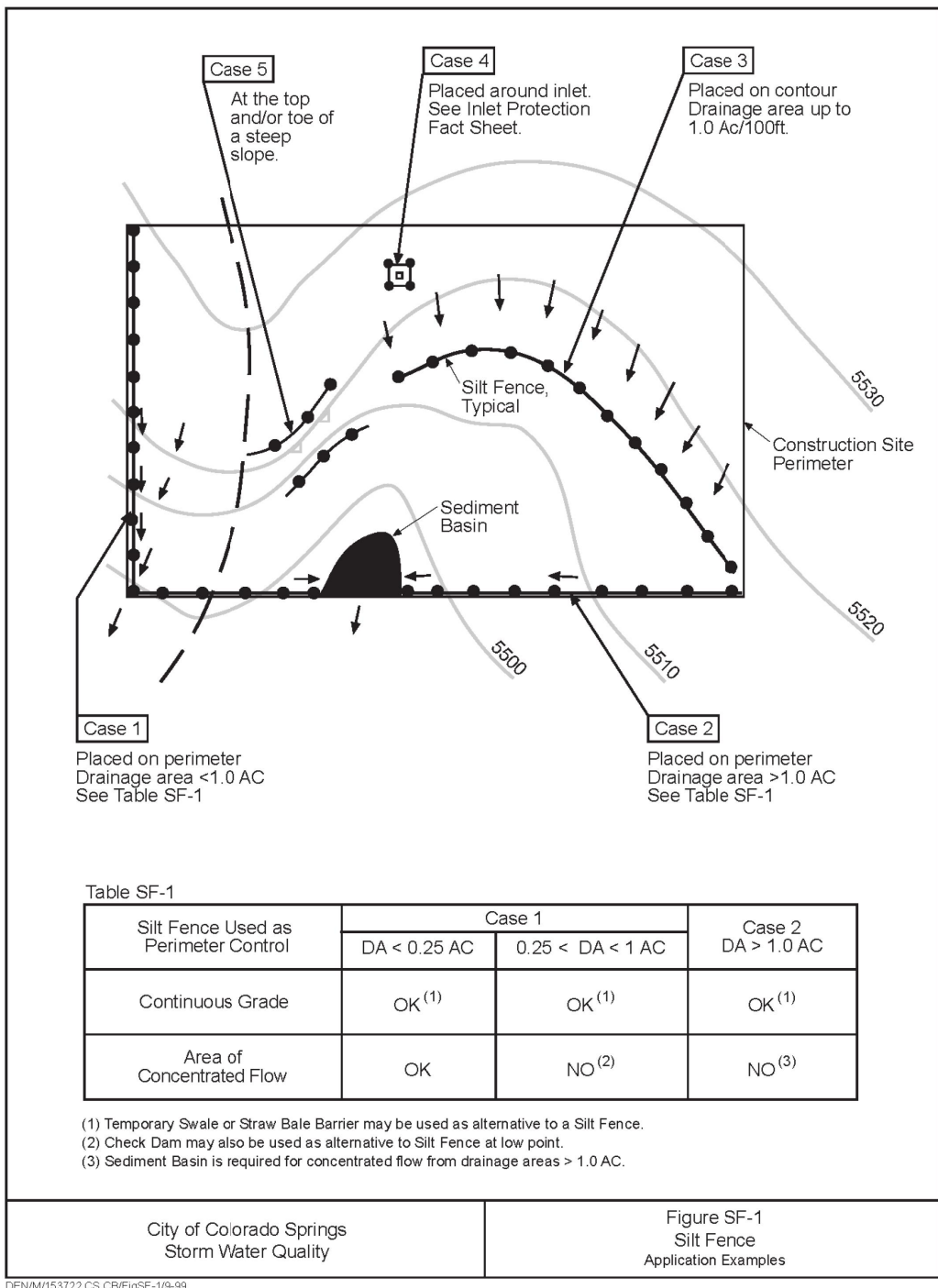
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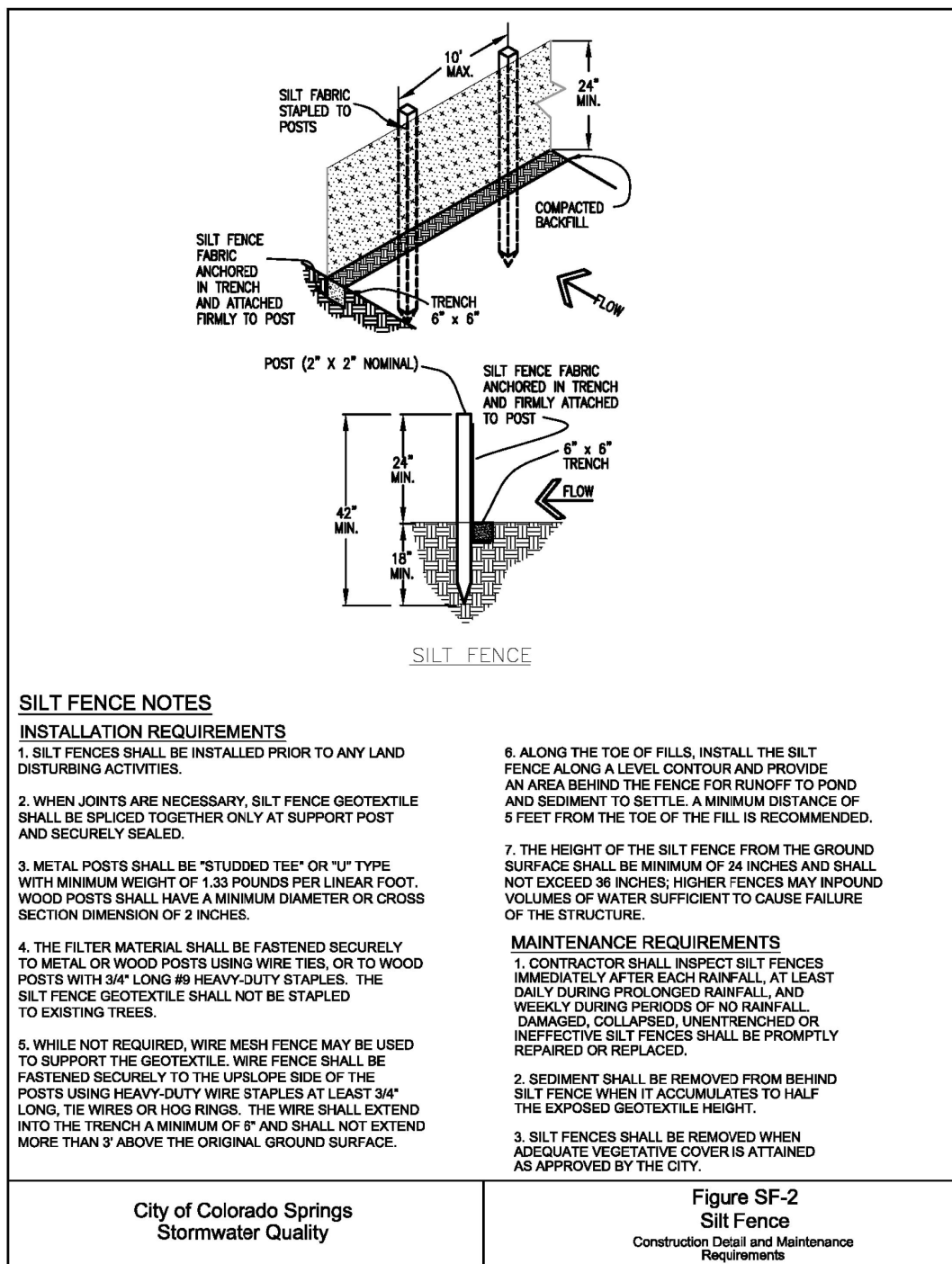


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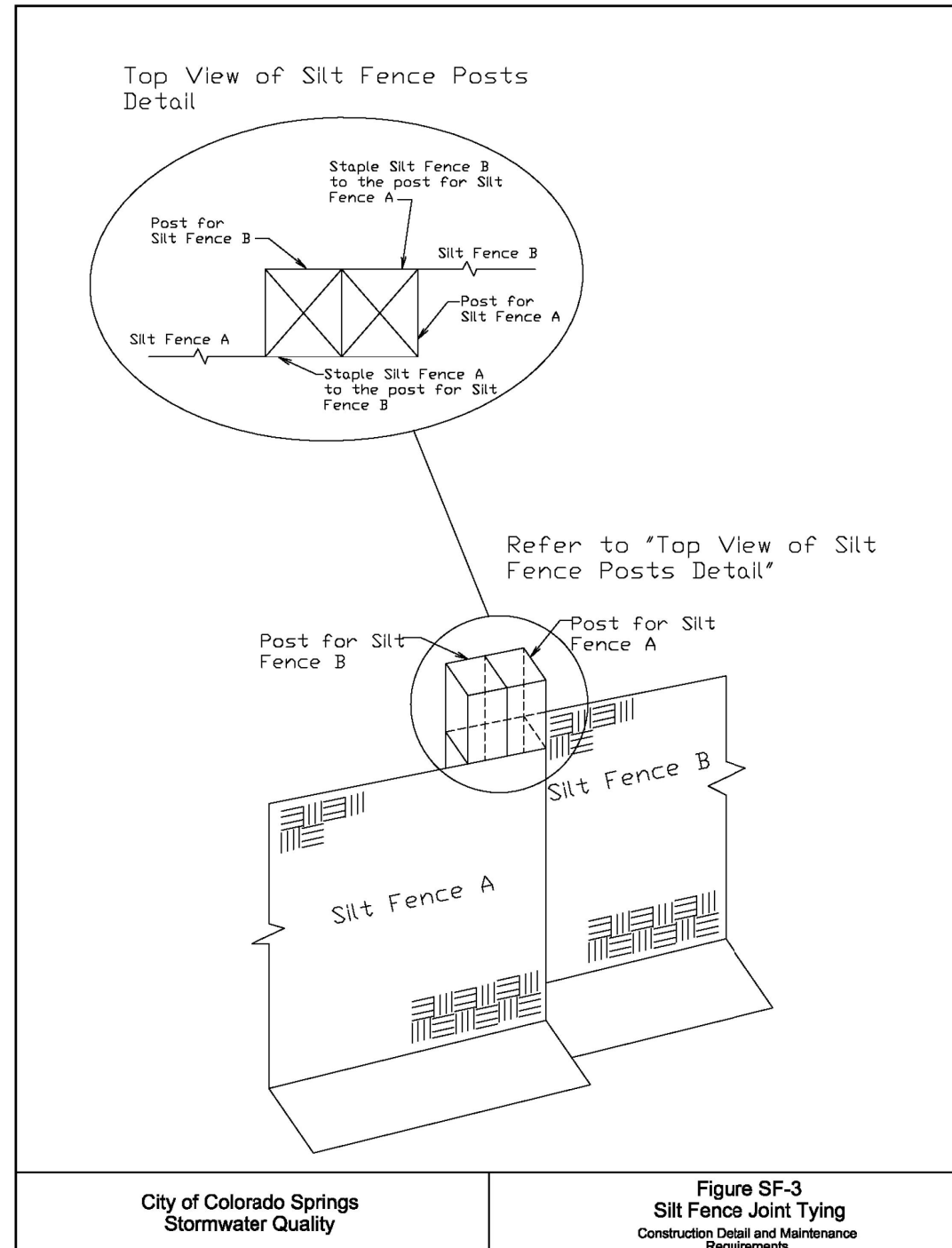


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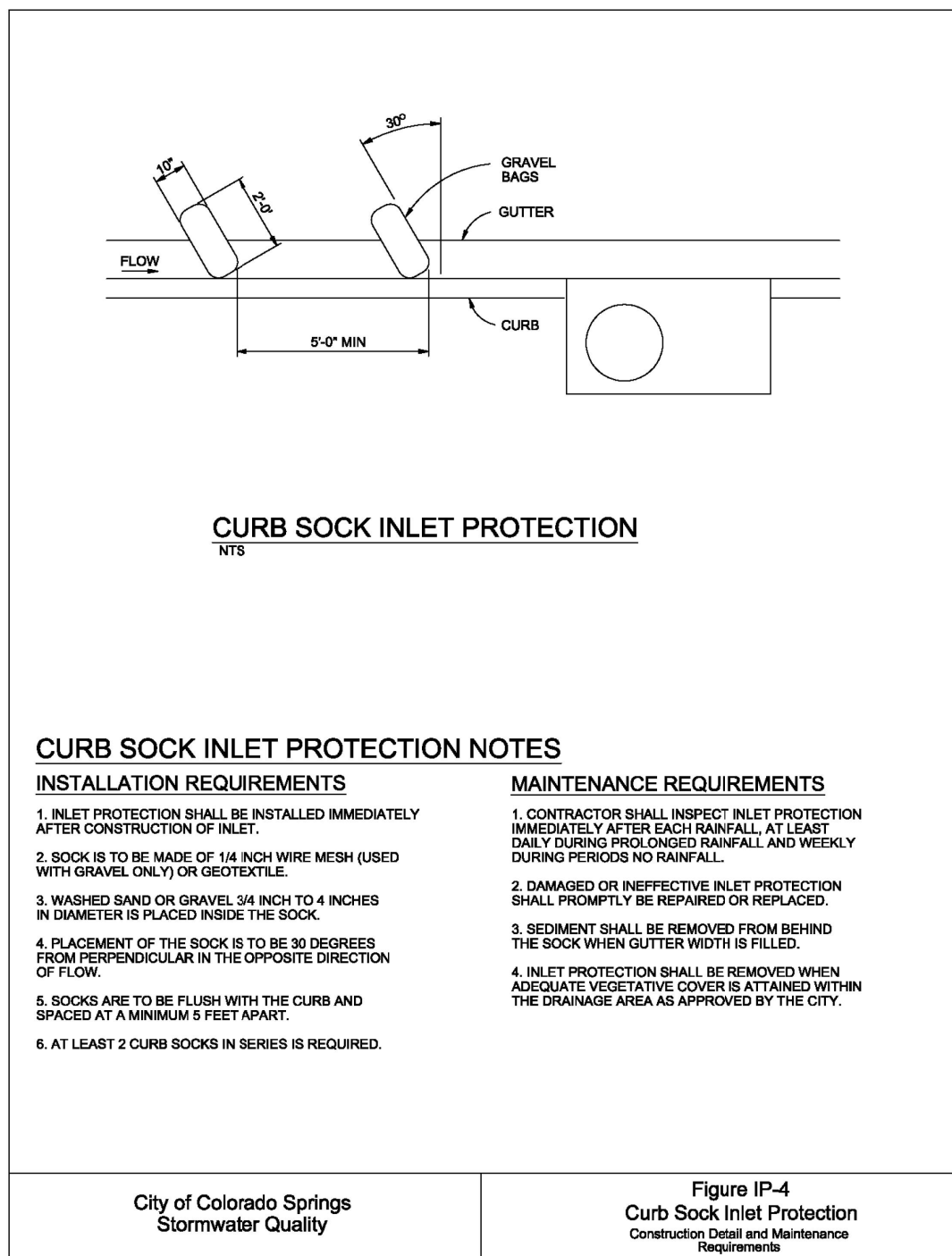


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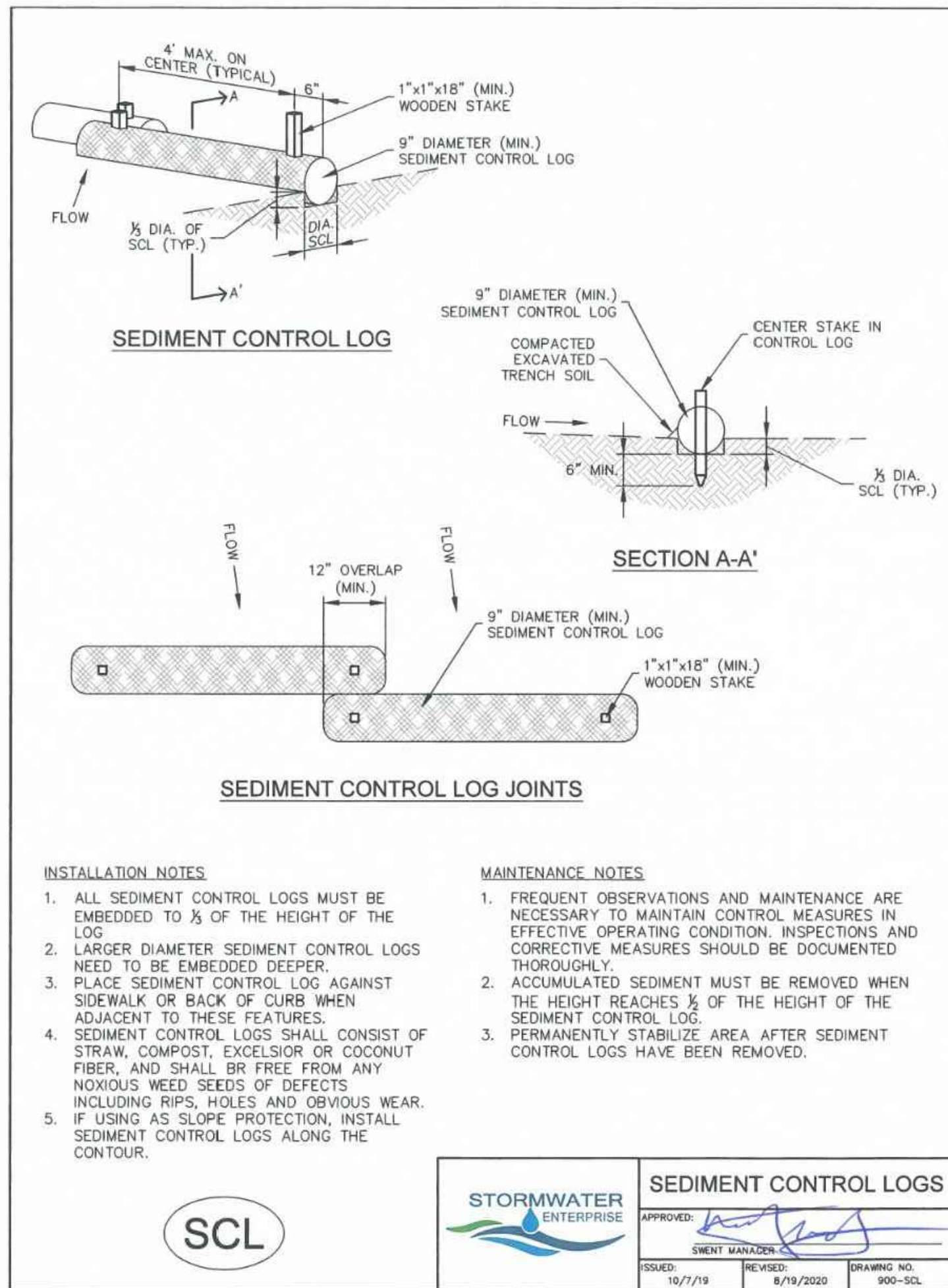
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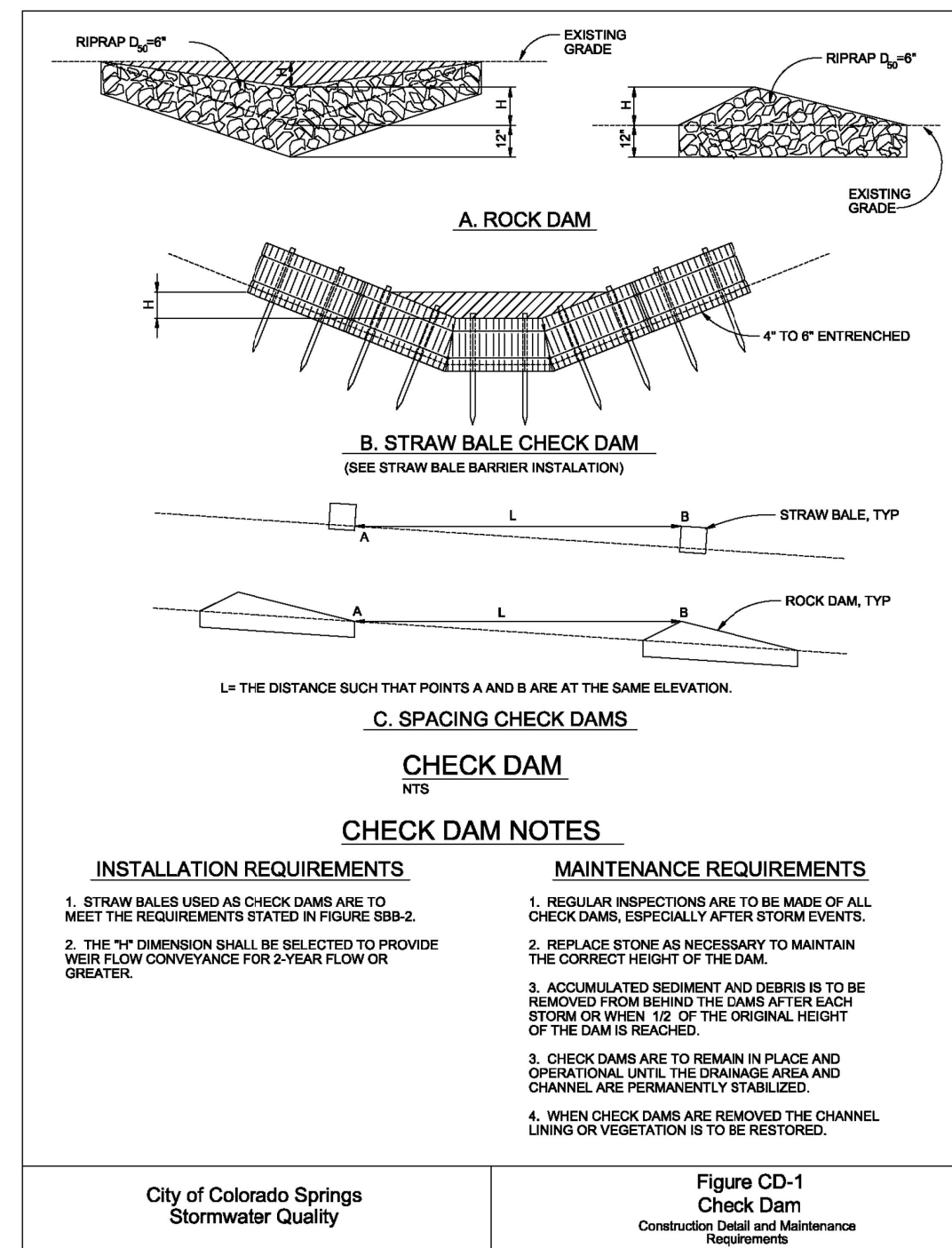
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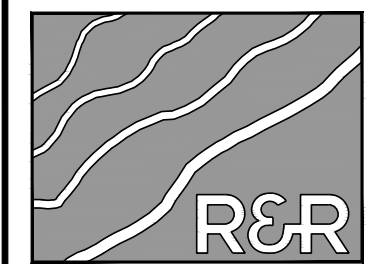
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SITE ADDRESS: MAYBERRY, COLORADO SPRINGS  
EL PASO COUNTY  
PREPARED FOR: MAYBERRY COMMUNITIES, LLC  
3296 DEVINE HEIGHTS #208  
COLORADO SPRINGS, CO 80922

CONSTRUCTION DOCUMENTS

JOB NO. MC22199  
ORG. SUBM. DATE 09/25/2023  
DWN: LO CHKD: TW  
NAME

DETAILS

NO.

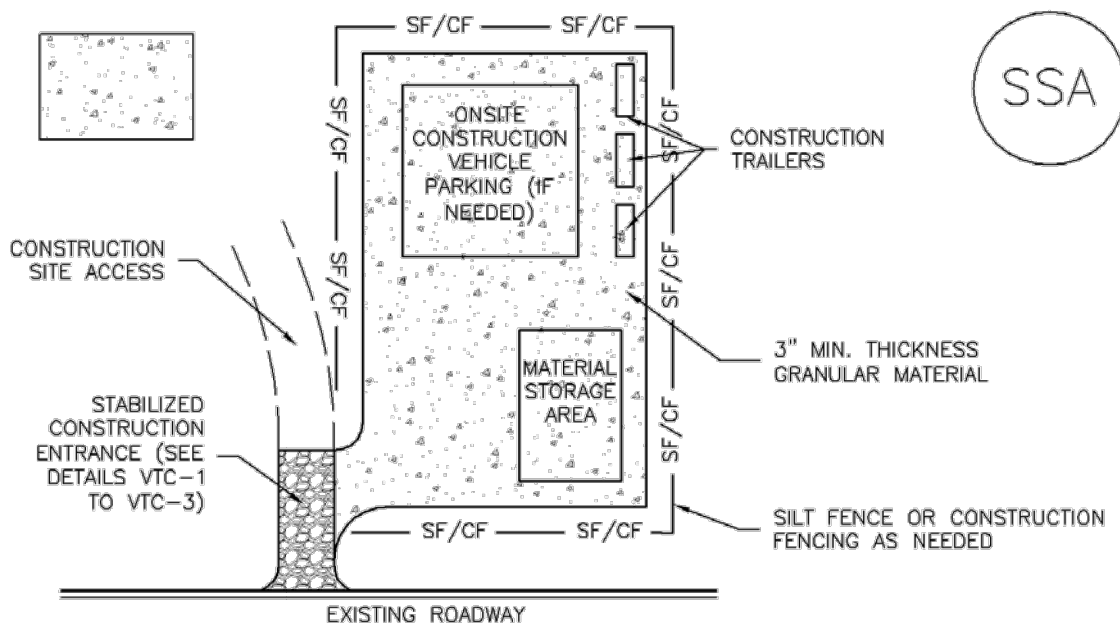
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Stabilized Staging Area (SSA)

SM-6



SSA-1. STABILIZED STAGING AREA

STABILIZED STAGING AREA INSTALLATION NOTES

- SEE PLAN VIEW FOR:  
-LOCATION OF STAGING AREA(S).  
-CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
- STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
- STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
- THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
- ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

STABILIZED STAGING AREA MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

November 2010 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 SSA-3

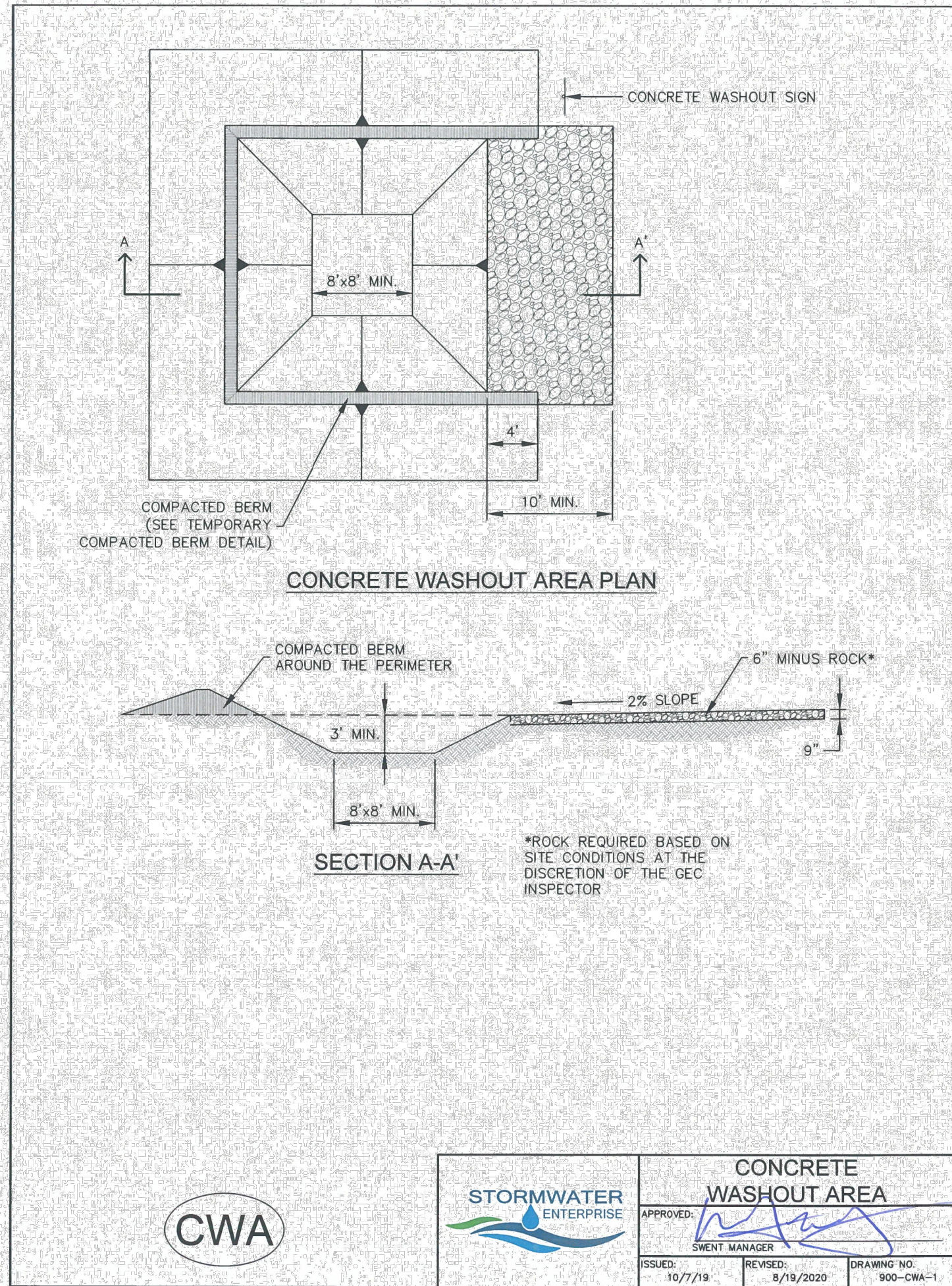
SM-6

Stabilized Staging Area (SSA)

STABILIZED STAGING AREA MAINTENANCE NOTES

- STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.
  - THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.
- NOTE: MANY MUNICIPALITIES PROHIBIT THE USE OF RECYCLED CONCRETE AS GRANULAR MATERIAL FOR STABILIZED STAGING AREAS DUE TO DIFFICULTIES WITH RE-ESTABLISHMENT OF VEGETATION IN AREAS WHERE RECYCLED CONCRETE WAS PLACED.
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.
- (DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD)

SSA-4 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 November 2010



CWA

STORMWATER  
ENTERPRISE

CONCRETE  
WASHOUT AREA

APPROVED: [Signature]  
SWEET MANAGER

ISSUED: 10/7/19 REVISED: 8/7/2020 DRAWING NO. 900-CWA-1

INSTALLATION NOTES

- SEE PLAN VIEW FOR:  
-LOCATION OF CONCRETE WASHOUT AREA
- LOCATE AT LEAST 50' AWAY FROM STATE WATERS MEASURED HORIZONTALLY.
- AN IMPERMEABLE LINER (15 MIL MINIMUM THICKNESS) IS REQUIRED IF CONCRETE WASH AREA IS LOCATED WITHIN 400' OF STATE WATERS OR 1000' OF WELLS OR DRINKING WATER SOURCES.
- DO NOT LOCATE IN AREAS WHERE SHALLOW GROUNDWATER MAY BE PRESENT.
- THE CONCRETE WASH AREA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- CONCRETE WASH AREA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8'.
- BERM SURROUNDING SIDES AND BACK OF CONCRETE WASH AREA SHALL HAVE A MINIMUM HEIGHT OF 2 FEET.
- CONCRETE WASH AREA ENTRANCE SHALL BE SLOPED 2% TOWARDS THE CONCRETE WASH AREA.
- SIGNS SHALL BE PLACED AT THE CONCRETE WASH AREA.
- USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

MAINTENANCE NOTES

- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- THE CONCRETE WASH AREA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS ACCUMULATED IN THE PIT SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 3/4 THE HEIGHT OF THE CONCRETE WASH AREA.
- CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE, AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
- THE CONCRETE WASH AREA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
- PERMANENTLY STABILIZE AREA AFTER CONCRETE WASH AREA IS REMOVED.

CWA

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ISSUED: 10/7/19 REVISED: 8/18/2020 DRAWING NO. 900-CWA-2

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FigVT-1.png (1425x1996)

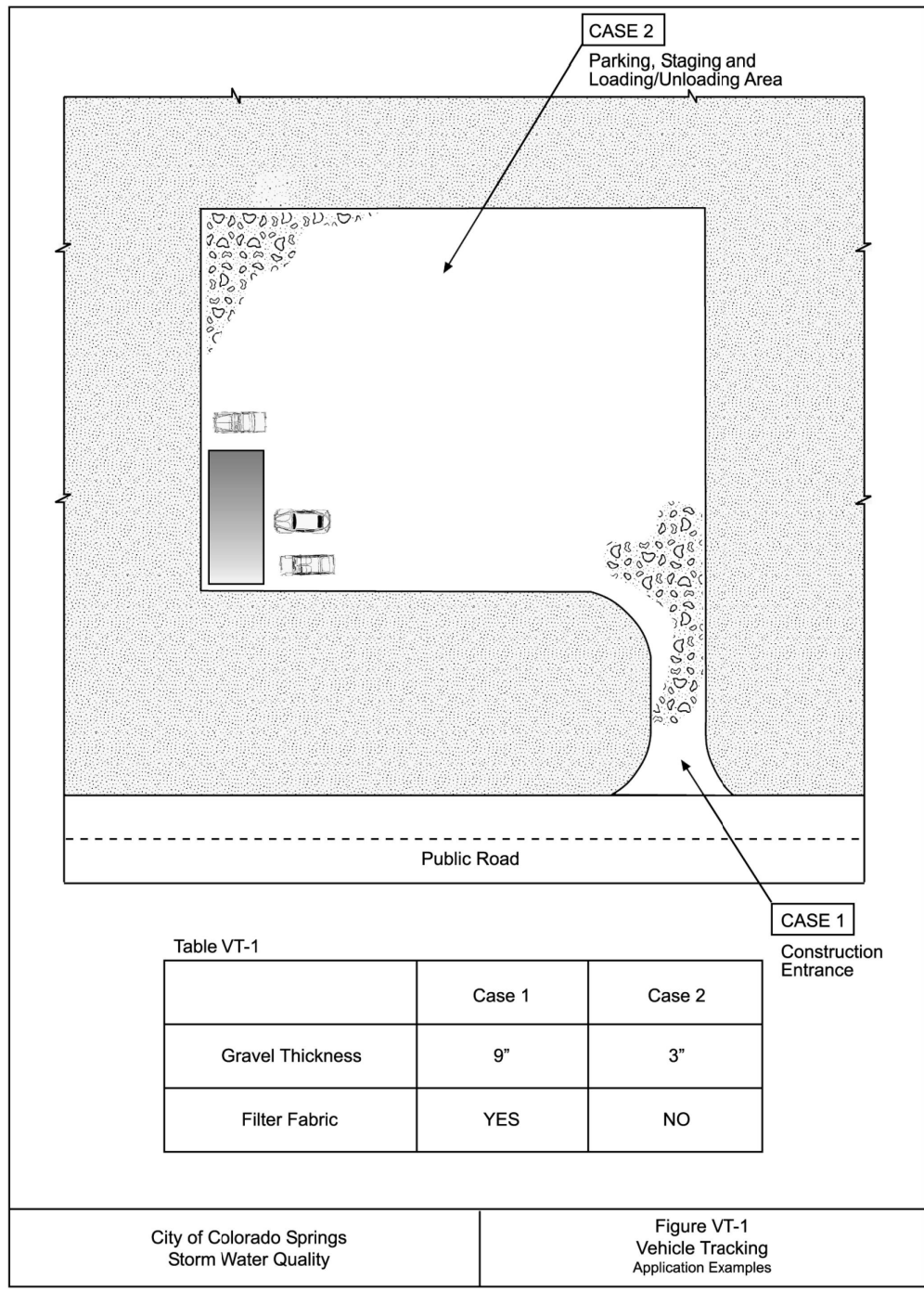


Table VT-1

	Case 1	Case 2
Gravel Thickness	9"	3"
Filter Fabric	YES	NO

City of Colorado Springs  
Storm Water Quality

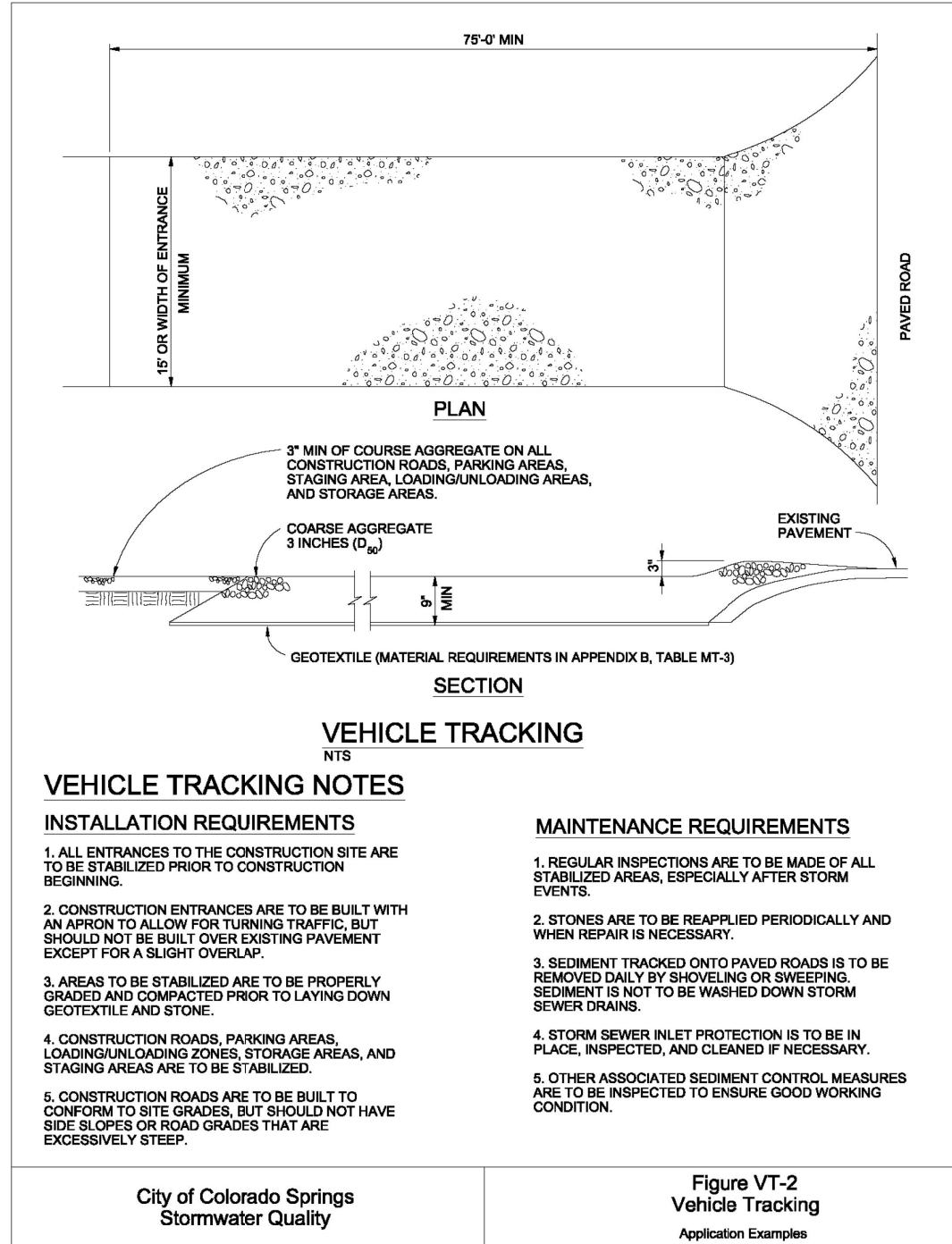
Figure VT-1  
Vehicle Tracking  
Application Examples

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FigVT-2.png (1521x2006)



VEHICLE TRACKING NOTES

INSTALLATION REQUIREMENTS

- ALL ENTRANCES TO THE CONSTRUCTION SITE ARE TO BE STABILIZED PRIOR TO CONSTRUCTION BEGINNING.
- CONSTRUCTION ENTRANCES ARE TO BE BUILT WITH AN APRON TO ALLOW FOR TURNING TRAFFIC, BUT SHOULD NOT BE BUILT OVER EXISTING PAVEMENT EXCEPT FOR A SLIGHT OVERLAP.
- AREAS TO BE STABILIZED ARE TO BE PROPERLY GRADE/FLAT AND COMPACTED PRIOR TO LAYING DOWN GEOTEXTILE AND STONE.
- CONSTRUCTION ROADS, PARKING AREAS, LOADING/UNLOADING ZONES, STORAGE AREAS, AND STAGING AREAS ARE TO BE STABILIZED.
- CONSTRUCTION ROADS ARE TO BE BUILT TO CONFORM TO SITE GRADES, BUT SHOULD NOT HAVE SIDE SLOPES OR ROAD GRADES THAT ARE EXCESSIVELY STEEP.

MAINTENANCE REQUIREMENTS

- REGULAR INSPECTIONS ARE TO BE MADE OF ALL STABILIZED AREAS, ESPECIALLY AFTER STORM EVENTS.
- STONES ARE TO BE REAPPLIED PERIODICALLY AND WHEN REPAIR IS NECESSARY.
- SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED ONLY BY SHOULDER OR SWEEPING. SEDIMENT IS NOT TO BE WASHED DOWN STORM SEWER DRAIN.
- STORM SEWER INLET PROTECTION IS TO BE IN PLACE, INSPECTED, AND CLEANED IF NECESSARY.
- OTHER ASSOCIATED SEDIMENT CONTROL MEASURES ARE TO BE INSPECTED TO ENSURE GOOD WORKING CONDITION.

City of Colorado Springs  
Stormwater Quality

Figure VT-2  
Vehicle Tracking  
Application Examples

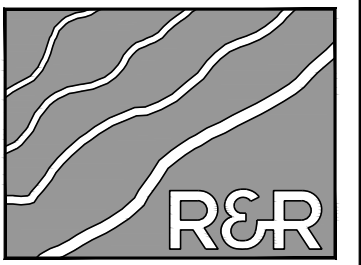
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EL PASO COUNTY  
PREPARED FOR: MAYBERRY COMMUNITIES, LLC  
3296 DEVINE HEIGHTS #208  
COLORADO SPRINGS, CO 80922

CONSTRUCTION DOCUMENTS

JOB NO. MC221199  
ORG. SUBM. DATE 09/25/2023  
DWN: LO CHKD: TW  
NAME

DETAILS

NO.  
13

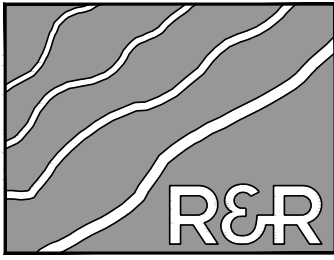


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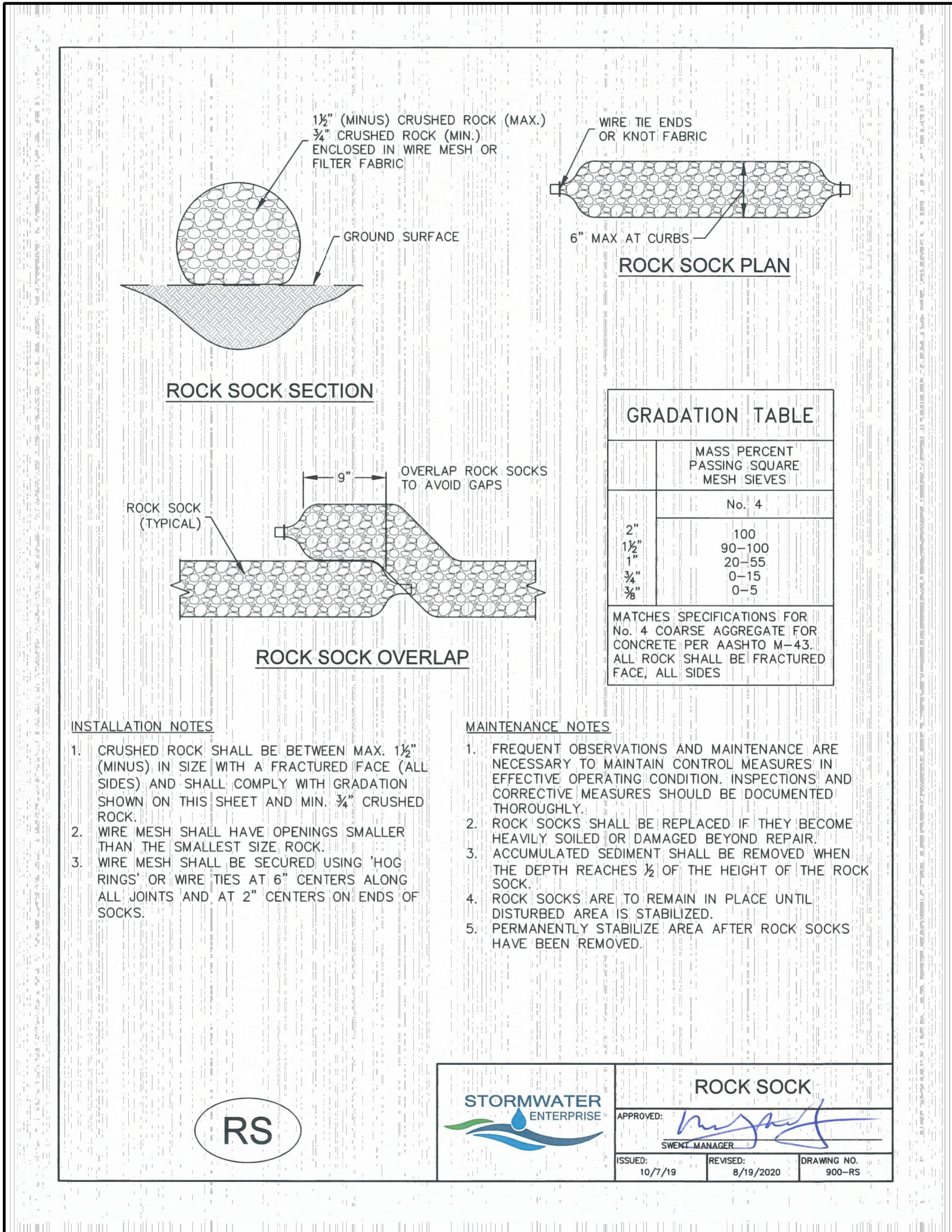
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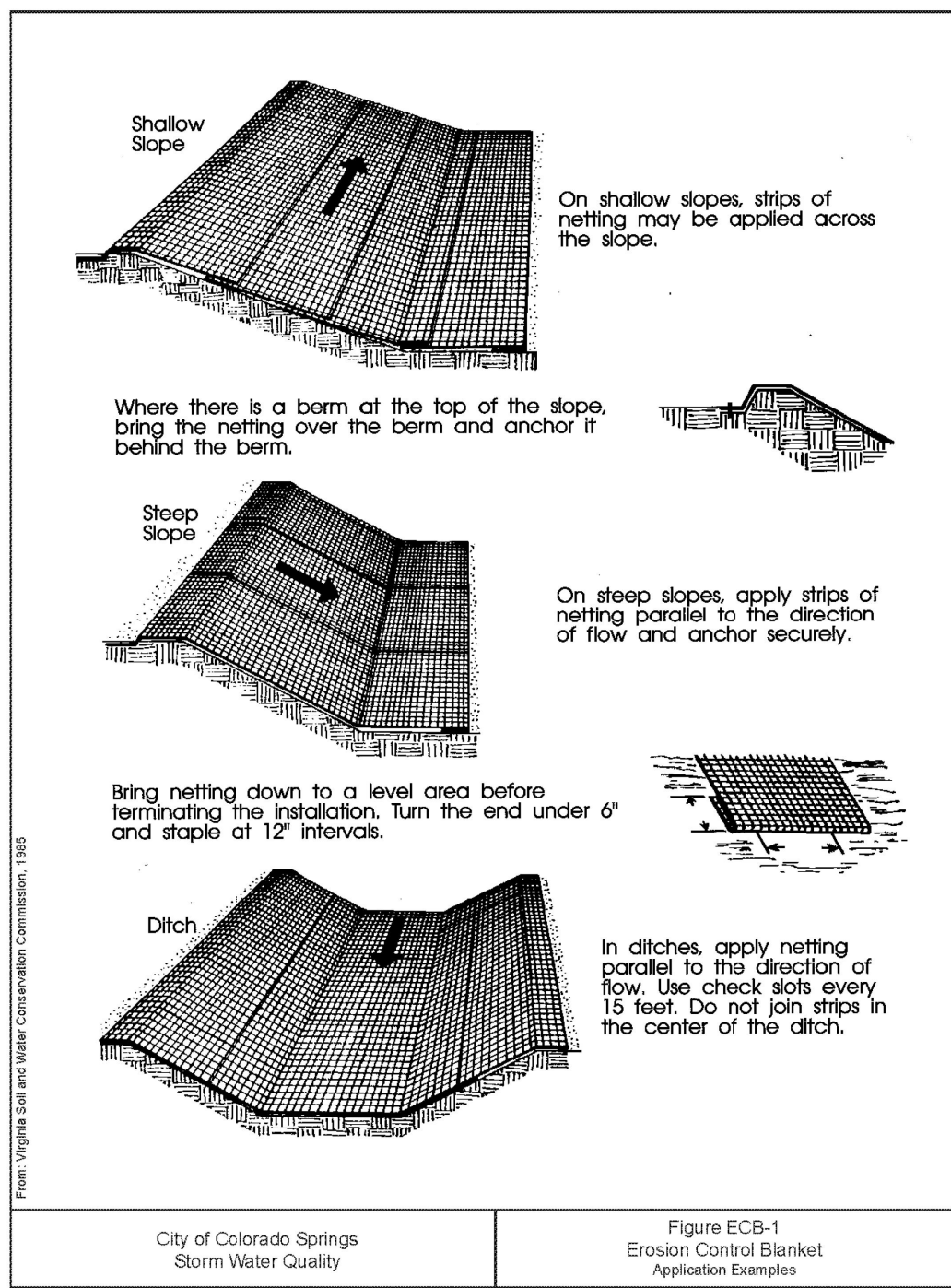
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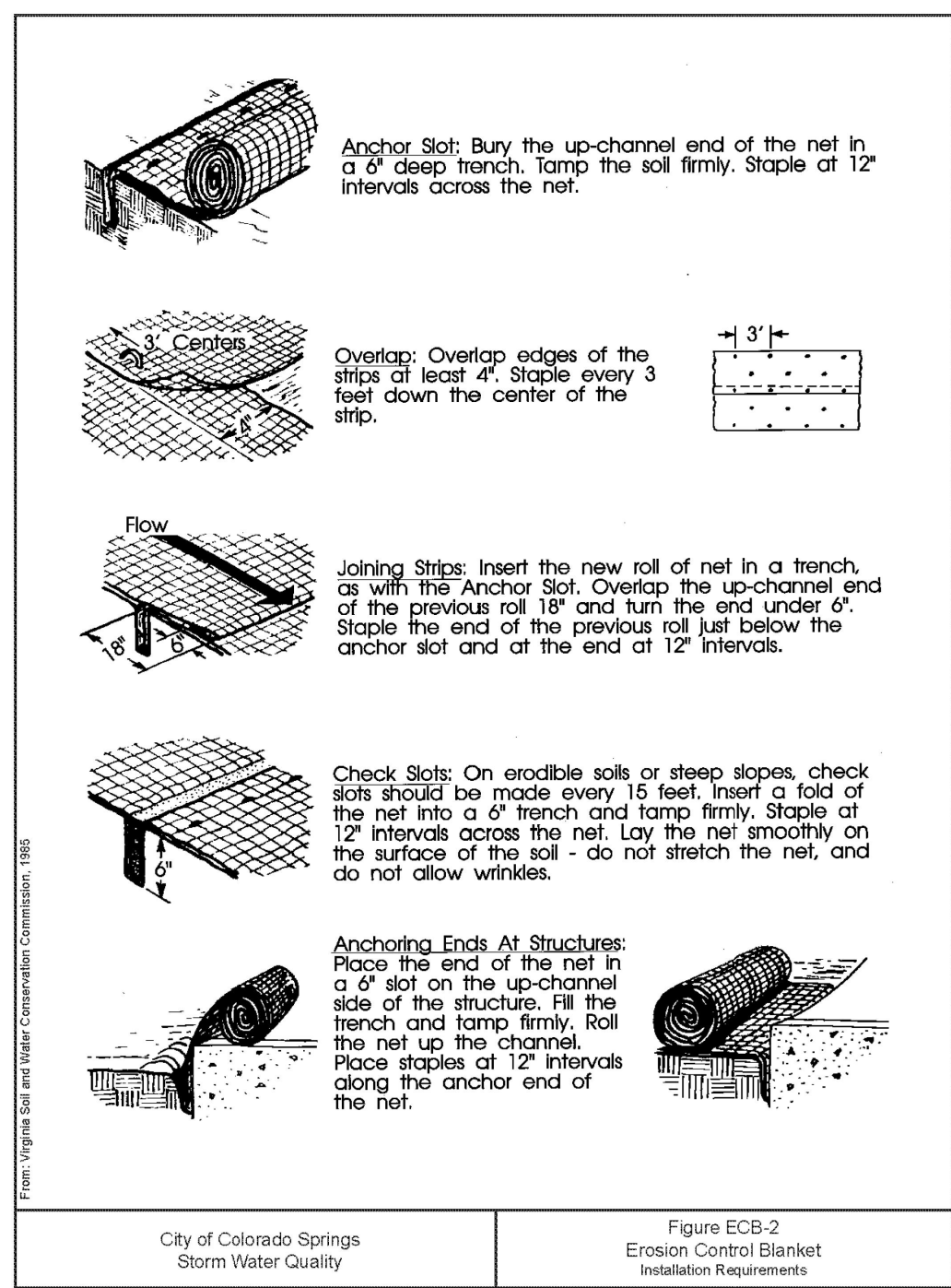


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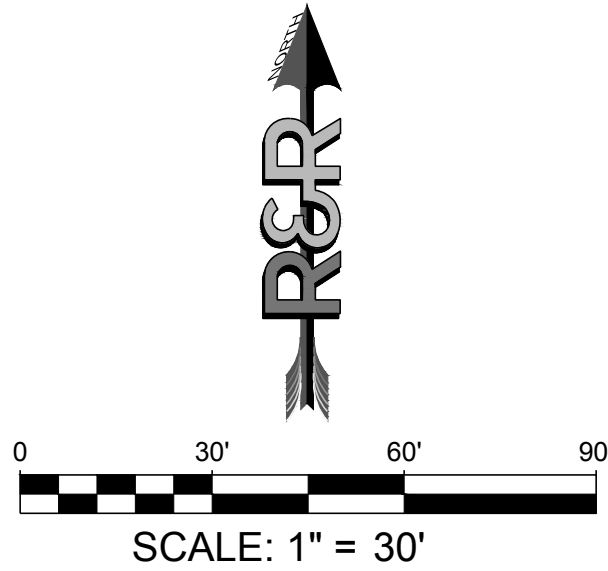
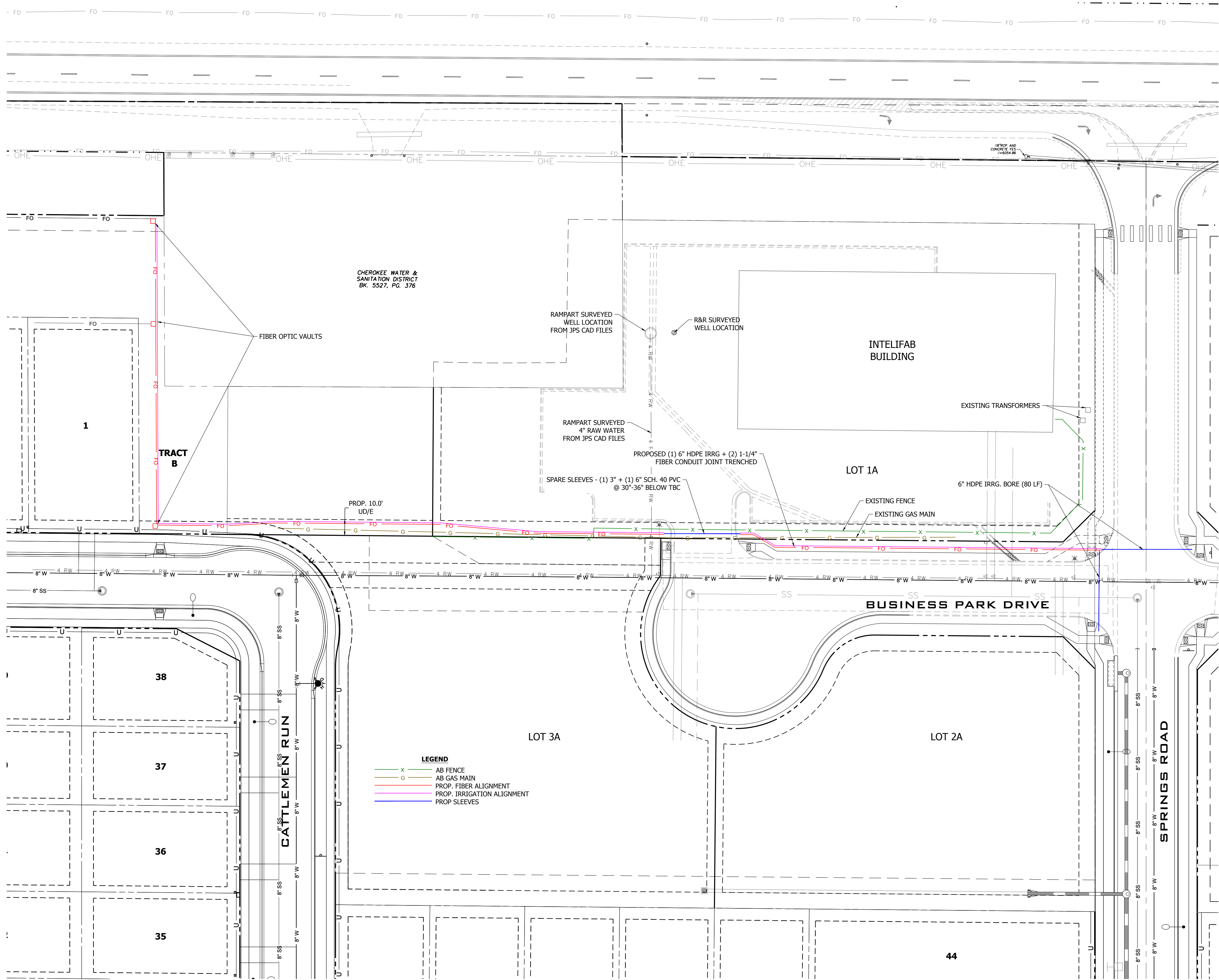


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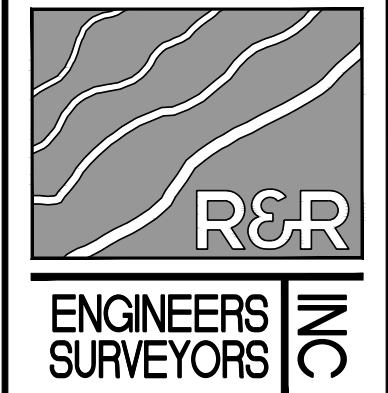


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