

# CONSTRUCTION DRAWINGS FOR BRC COLORADO SPRINGS

5560 BARNES ROAD  
COLORADO SPRINGS, EL PASO COUNTY, CO  
TAX PARCELS: 6325106040

## LEGAL DESCRIPTION

A REMAINDER OF TRACT 5 SADDLEBACK ESTATES, IN THE CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO EXCEPTING THEREFROM ALL THAT PORTION OF SAID TRACT 5 WHICH IS INCLUDED WITHIN THE PLAT OF CHAPARRAL RIDGE FILING NO. 1, RECORDED IN PLAT BOOK C-4 AT PAGE 32; AND FURTHER EXCEPTING THEREFROM THAT PORTION AS CONVEYED IN GENERAL WARRANTY DEED RECORDED APRIL 9, 2021 UNDER RECEPTION NO. 221071424.

MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ALONG NORTHERLY RIGHT-OF-WAY OF BARNES ROAD AND THE WESTERLY RIGHT-OF-WAY OF CHAPARRAL ROAD; THENCE N80°34'12"E, 32.02 FEET TO A POINT,

THENCE S74°00'33"E, 6.80 FEET TO A POINT,

THENCE N15°47'20"E, 86.55 FEET TO A POINT OF CURVATURE,

THENCE ALONG THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 170.00 FEET, A CENTRAL ANGLE OF 48°27'30", THE CHORD OF WHICH BEARS N8°26'26"W FOR A DISTANCE OF 139.54; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 143.79 FEET TO A POINT,

THENCE N32°07'40"W, 344.73 FEET TO A POINT ALONG THE EASTERLY RIGHT-OF-WAY OF JEFFREY ROAD THE FOLLOWING 6 COURSES;

THENCE ALONG THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 17°43'32", THE CHORD OF WHICH BEARS S55°25'17"W FOR A DISTANCE OF 7.70 FEET; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 7.73 FEET TO A POINT,

THENCE S46°26'33"W, 72.83 FEET TO A POINT OF CURVATURE,

THENCE ALONG THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 570.00 FEET, A CENTRAL ANGLE OF 30°39'47", THE CHORD OF WHICH BEARS S31°07'29"W FOR A DISTANCE OF 301.42 FEET; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 305.05 FEET TO A POINT,

THENCE S15°42'23"W, 63.88 FEET TO A POINT OF CURVATURE,

THENCE ALONG THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°11'54", THE CHORD OF WHICH BEARS S29°26'21"E FOR A DISTANCE OF 35.42 FEET; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 39.36 FEET TO A POINT,

THENCE S18°35'42"W, 10.42 FEET TO A POINT ALONG THE NORTHERLY RIGHT-OF-WAY OF BARNES ROAD,

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY OF BARNES ROAD S74°12'57"E, 374.40 FEET TO THE POINT OF BEGINNING.

## BENCHMARK

ELEVATIONS ARE BASED UPON COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM MONUMENT AB3.

ELEVATION: 6429.20 (US FEET)

BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

## BASIS OF BEARING

BEARINGS ARE BASED UPON THE WESTERLY LINE OF CHAPARRAL ROAD, MONUMENTED AT BOTH ENDS WITH A #5 REBAR AND 1.5" ALUMINUM CAP STAMPED "WJC PLS 38954", AND IS ASSUMED TO BEAR N 32°07'40" W, A DISTANCE OF 344.73 FEET.

## DEVELOPMENT TEAM

### OWNER

DBN DURBAN MANAGEMENT, LLC  
106 FOSTER AVENUE  
CHARLOTTE, NC 28203  
PHONE: (704) 319-8330  
CONTACT: C. COLLIN RICKS

### CIVIL ENGINEER

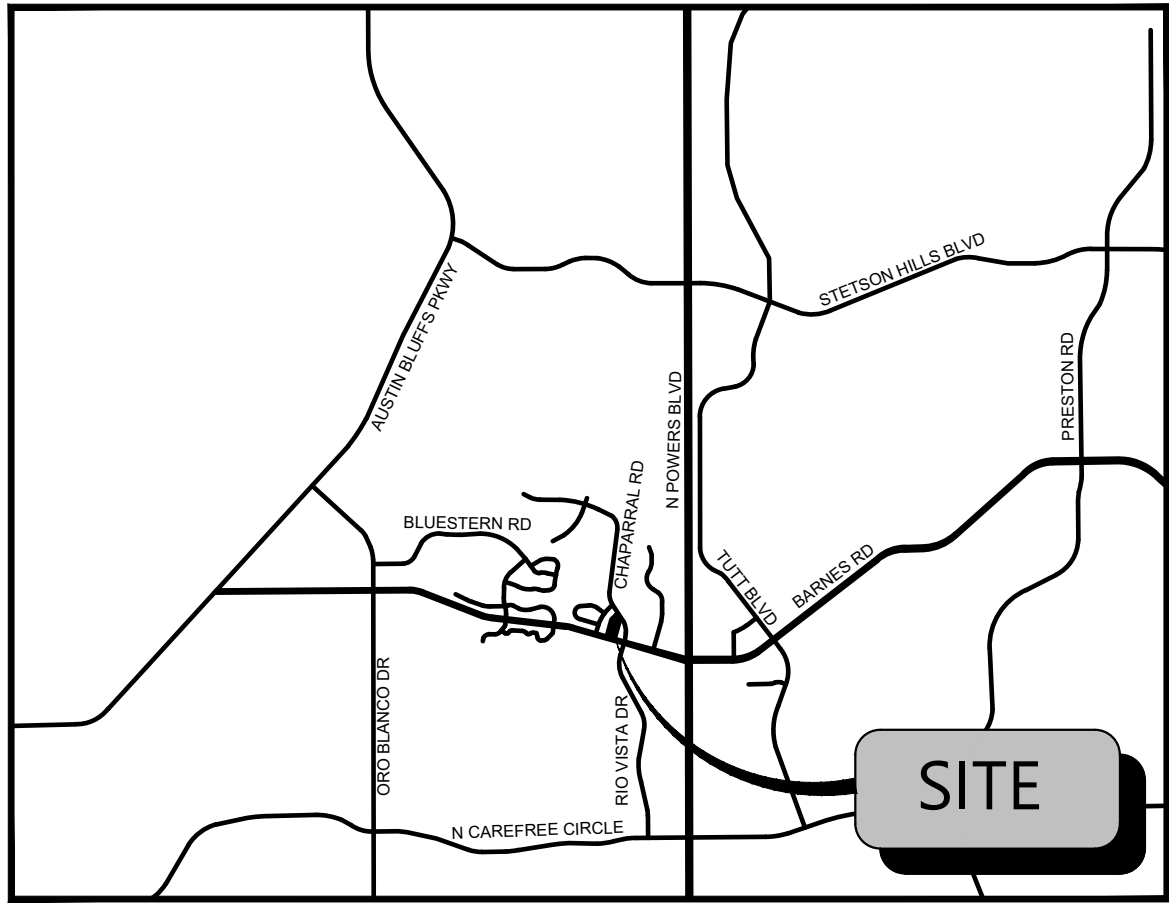
ATWELL, LLC  
9001 AIRPORT FREEWAY, SUITE 660  
NORTH RICHLAND HILLS, TX 76180  
PHONE: (972) 638-8860  
CONTACT: NICHOLAS SALAZAR  
EMAIL: NSALAZAR@ATWELL.COM

### DEVELOPER

BLACK ROCK DEVELOPMENT COMPANY, LLC  
9170 E BAHIA DR  
SCOTTSDALE, AZ 85260  
CONTACT: TONY PALLOTTA  
PHONE: (514) 531-2149  
EMAIL: TONY@BR.COFFEE

### SURVEYOR

BARRON LAND, LLC  
2790 N ACADEMY RD, SUITE 311  
COLORADO SPRINGS, CO 80917  
PHONE: (719) 360-6827  
FAX: (719) 466-6527

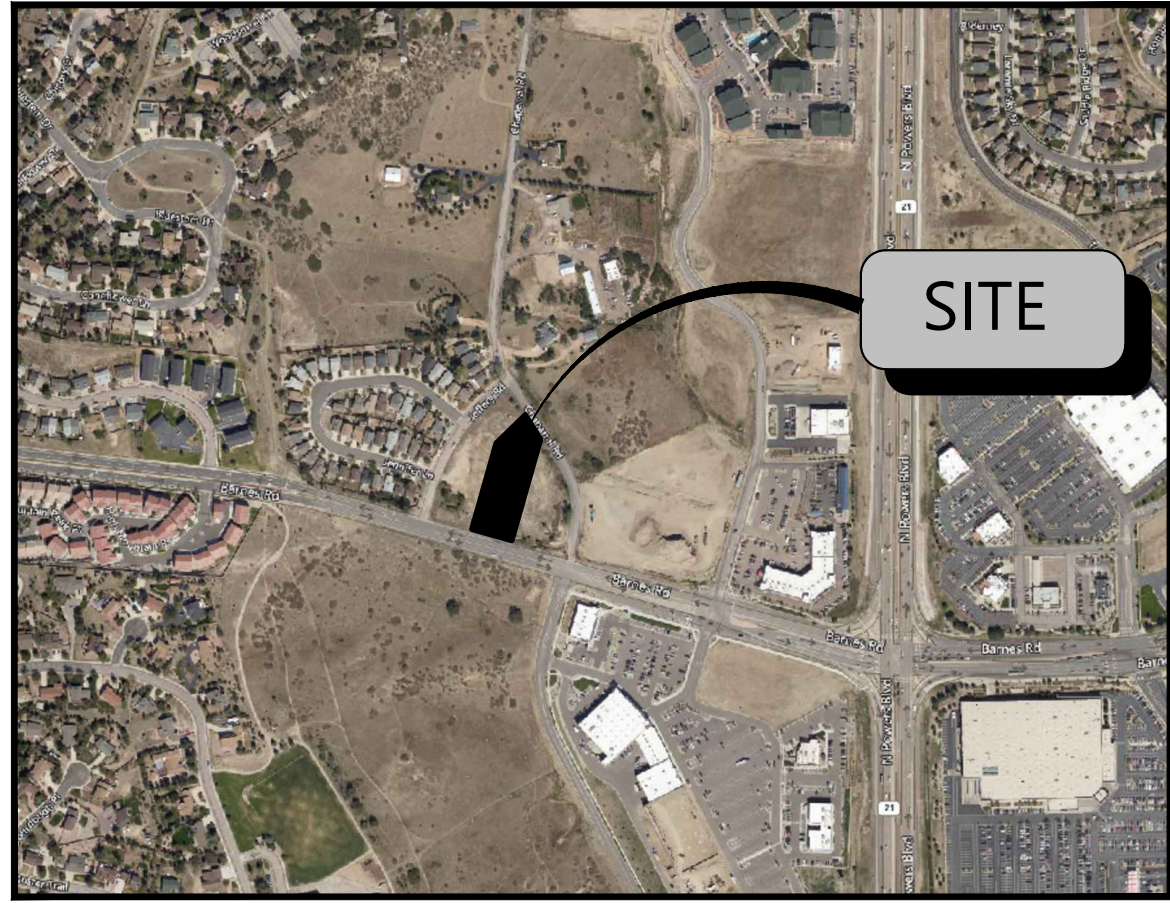


VICINITY MAP  
N.T.S.



FEMA MAP  
N.T.S.

NOTE: BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT LIE IN A FEMA/F.I.R.M. SPECIAL FLOOD HAZARD AREA PER COMMUNITY PANEL NO. 08041C0538G DATED 12-07-2016.



AERIAL MAP  
N.T.S.

Sheet List Table	
Sheet Number	Sheet Title
1 OF 11	COVER
2 OF 11	NOTES
3 OF 11	DEMOLITION PLAN
4 OF 11	SITE PLAN
5 OF 11	GRADING PLAN
6 OF 11	INTERIM DAM
7 OF 11	POST-DEV DAM
8 OF 11	UTILITY PLAN
9 OF 11	EROSION CONTROL PLAN
10 OF 11	DETAILS
11 OF 11	EROSION DETAILS

SITE DATA	
TOTAL PROPERTY AREA:	0.91 AC± (39,857± S.F.)
LOT COVERAGE:	1.62%
LAND USE:	MIXED USE LARGE SCALE (MX-L)
BUILDING SIZE:	645 S.F.
MAXIMUM BUILDING HEIGHT:	65'
ZONING:	MX-L/CR AO
FRONT SETBACK:	NONE
SIDE SETBACK:	NONE
REAR SETBACK:	NONE
PARKING SUMMARY	
PARKING REQUIREMENTS	1 SPACE/300 GFA OF BUILDING 1 SPACE/250 SF OF OUTDOOR SEATING TOTAL PARKING REQUIRED 4 SPACES
PARKING PROVIDED	12 SPACES, 1 ADA SPACE

SUBMITTAL DATE

SUBMITTAL - 2024-11-25

## ATWELL NOTES

- THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE ENGINEER. ALL QUESTIONS REGARDING THESE PLANS SHALL BE PRESENTED TO THE ENGINEER. ANYONE WHO TAKES UPON HIMSELF THE INTERPRETATION OF THE DRAWINGS OR MAKES REVISIONS TO SAME WITHOUT CONFERRING WITH THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE CONSEQUENCES THEREOF.
- THE ENGINEER MAKES NO GUARANTEE REGARDING THE LOCATION OR ELEVATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THESE PLANS. THE CONTRACTOR SHALL CALL BARRON LAND, LLC. FOR LOCATION OF ALL UTILITIES.
- THE CONTRACTOR SHALL MAKE HIS OWN ESTIMATE OF EARTHWORK QUANTITIES REQUIRED TO COMPLETE ALL WORK AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMPORT FILL OR EXPORT SOIL AS REQUIRED TO PROVIDE AN EARTHWORK BALANCE AT NO EXTRA COST TO THE PROJECT.
- THE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS SPECIFIED IN THE GEOTECHNICAL INVESTIGATION.
- THE DEVELOPER/CONTRACTOR ASSUMES ALL RESPONSIBILITY AND COSTS INCURRED IF HE ELECTS TO LANDSCAPE RETENTION BASINS BEFORE THE REQUIRED RETENTION VOLUME HAS BEEN CERTIFIED BY THE ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING STORM DRAIN PIPES DURING THE CONSTRUCTION STAGE. THE COVER ON THE DRAINAGE PIPE IS DESIGNED FOR FINAL GRADE; THEREFORE, EXTRA CARE MUST BE EXERCISED DURING THE CONSTRUCTION PHASE TO MAINTAIN COVER OVER PIPES TO PREVENT DAMAGE.
- CONTRACTOR IS TO LOCATE ALL EXISTING PROPERTY MONUMENTS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL MAKE NO CLAIM AGAINST THE OWNER OR THE SURVEYOR REGARDING ALLEGED INACCURACY OF CONSTRUCTION STAKES SET BY THE ENGINEER UNLESS ALL SURVEY STAKES SET BY THE SURVEYOR ARE MAINTAINED INTACT AND CAN BE VERIFIED AS TO THEIR ORIGIN. IF IN THE OPINION OF THE SURVEYOR, THE STAKES ARE NOT MAINTAINED INTACT AND CANNOT BE VERIFIED AS TO THEIR ORIGIN, ANY REMEDIAL WORK REQUIRED TO CORRECT ANY ITEM OR IMPROPER CONSTRUCTION WORK IN THIS DEVELOPMENT SHALL BE PERFORMED AT THE SOLE EXPENSE OF THE RESPONSIBLE CONTRACTOR OR SUBCONTRACTOR.
- STORM WATER POLLUTION PREVENTION PLAN DEPICTS TYPICAL EROSION CONTROL MEASURES TO BE EMPLOYED ON THIS SITE. IT IS UNDERSTOOD THAT THE STORM WATER POLLUTION PREVENTION PLAN IS A DYNAMIC DOCUMENT AND IT IS TO BE UPDATED AS NEEDED TO REFLECT CURRENT CONDITIONS AND ADDRESS UNFORESEEN CONDITIONS.
- PER THE CITY OF COLORADO SPRINGS NO VARIANCES SHALL BE PERMITTED FOR NEW DEVELOPMENT.

FOR CITY USE:

REVISIONS

DRAWN BY: A.M. & R.S.
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24005174
FILE CODE: ##
SHEET NO. 1 OF 11



Know what's below.  
Call before you dig.  
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE  
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OR PERSONS ENGAGED IN THE WORK, OR ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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24 HOUR  
EMERGENCY CONTACT

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ATWELL  
866.850.4200 www.atwell-group.com  
9001 AIRPORT FREEWAY, SUITE 660  
NORTH RICHLAND HILLS, TX 76180  
972.636.8860



S25-TT13S-R66W  
5560 BARNES ROAD  
COLORADO SPRINGS  
EL PASO COUNTY, CO

BRC COLORADO SPRINGS  
BLACK ROCK DEVELOPMENT COMPANY, LLC  
CONSTRUCTION DRAWINGS  
COVER

DATE 2024-11-25

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NOT-ISSUED-FOR-CONSTRUCTION CAD FILE: 0000 COVER

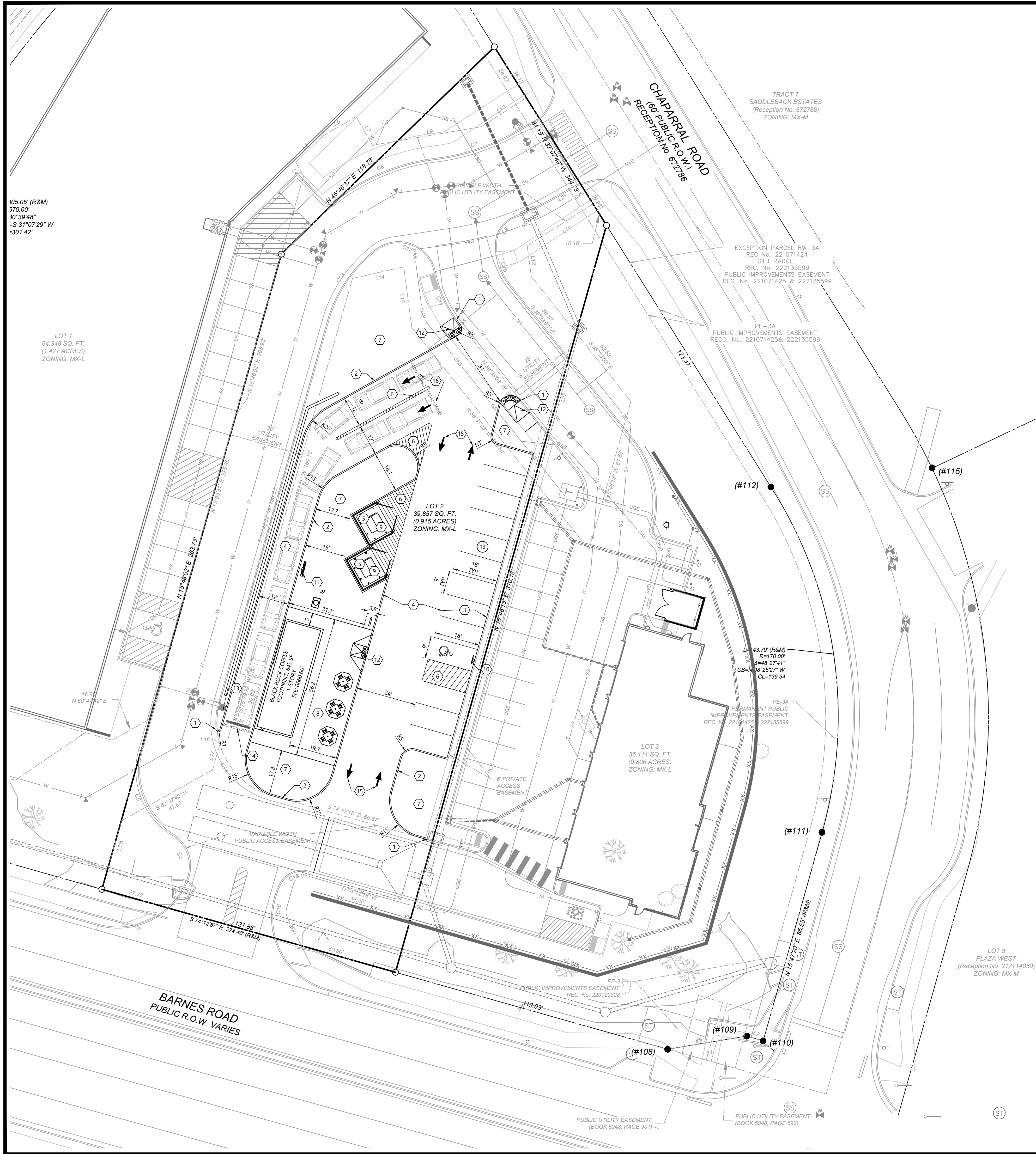


















<b>SITE AREA</b>	
TOTAL PROPERTY AREA:	0.91 AC± AC (39,857± S.F.)
<b>ZONING CLASSIFICATION</b>	
JURISDICTION:	CITY OF COLORADO SPRINGS
ZONING:	MX-1, MIXED USE LARGE SCALE
ADJACENT ZONING:	MX-M (NORTH, EAST, SOUTH), PDZ (WEST)
<b>BUILDING SETBACKS</b>	
FRONT	NONE
SIDE	NONE
REAR	NONE
<b>BUILDING SUMMARY</b>	
PROPOSED BUILDING AREA:	645 SF
BUILDING HEIGHT LIMIT:	65'
<b>PARKING SUMMARY</b>	
PARKING REQUIREMENTS	1 SPACE/300 GFA OF BUILDING 1 SPACE/350 SF OF OUTDOOR SEATING
PARKING PROVIDED	TOTAL PARKING REQUIRED 4 SPACES 12 SPACES, 1 ADA SPACE

## SITE LEGEND

	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	TRAFFIC FLOW ARROW (PAVEMENT MARKING)
	HANDICAP STALL
	PARKING SPACE COUNT
	STOP BAR (PAVEMENT MARKING)

NOTE NUMBER		CORRESPONDING DETAIL NUMBER (SEE DETAIL SHEETS)
①	TIE IN CURB/DRIVE TO MATCH EXISTING CURB/STREET	-
②	NEW CONCRETE CURB - SEE DETAILS	C700
③	PROPOSED LIGHT DUTY ASPHALT PAVEMENT	C700
④	PROPOSED HEAVY DUTY ASPHALT PAVEMENT	C700
⑤	PROPOSED HEAVY DUTY CONCRETE PAVEMENT	C700
⑥	4" WIDE PAINTED STRIPING @ 2" O.C. AND 45°	-
⑦	LANDSCAPE AREA	SEE LANDSCAPE PLAN(S)
⑧	CONCRETE SIDEWALK ( SEE WIDTH THIS SHEET)	C701
⑨	DUMPSTER ENCLOSURE	SEE ARCHITECTURAL PLANS
⑩	H/C PARKING SIGNAGE	SEE ARCHITECTURAL PLANS
⑪	PROPOSED MENU BOARD & ORDER/SPEAKER BOX	SEE ARCHITECTURAL PLANS
⑫	PROPOSED ADA CURB RAMP	-
⑬	EXISTING FIRE HYDRANT	-
⑭	DO NOT ENTER / STOP STRIPING	C700
⑮	TRAFFIC FLOW ARROW STRIPING	-
⑯	DRIVE-THRU STRIPING	C700

**SITE GENERAL NOTES:**

1. DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS OTHERWISE INDICATED.
2. USE 3" RADII, UNLESS SHOWN OTHERWISE.
3. THE INFORMATION PERTAINING TO EXISTING CONDITIONS WAS TAKEN FROM A SURVEY PROVIDED BY: BARRON LAND, LLC. THE LOCATION OF ALL EXISTING UTILITIES WERE OBTAINED FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND DEPTH OF UTILITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
4. ALL ACCESSIBLE PARKING SPACES AND TRAVEL ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH A.D.A. AND/OR STATE REQUIREMENTS.
5. ANY DISCREPANCIES IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO THE START OF CONSTRUCTION.
6. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION SHALL BEGIN UNTIL ALL PERMITS HAVE BEEN RECEIVED.
7. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKERS AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE. CONTRACTOR SHALL REPAIR ANY DAMAGE DONE TO PRIVATE OR PUBLIC PROPERTY.
8. ACCESS TO UTILITIES, FIRE HYDRANTS, ETC. SHALL REMAIN UNDISTURBED AT ALL TIMES, UNLESS COORDINATED OTHERWISE.
9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL DEBRIS FROM THE SITE UPON AND AFTER THE PROJECT.
10. ALL SUBGRADE PREPARATION, PAVING, AND UTILITY TRENCHING MUST BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION. IF THERE IS A CONFLICT BETWEEN THE SOILS REPORT AND THE PLANS, THE MORE PROHIBITIVE OF THE TWO SHALL TAKE PRECEDENCE.
11. CONTRACTOR TO ENSURE COMPLIANCE WITH ANY AND ALL LAND DISTURBANCE NOTIFICATIONS REQUIREMENTS, AND THAT ALL REQUIRED EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
12. FOR WORK IN, OR ADJACENT TO, STREET RIGHT OF WAY, CONTRACTOR SHALL ENSURE APPROPRIATE PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION.
13. CONTRACTOR TO ERECT AND MAINTAIN TRAFFIC CONTROL SIGNS AND DEVICES IN CONFORMANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
14. ALL PARKING LOT LIGHTING MUST BE INSTALLED AND OPERATE SO AS NOT TO PRODUCE GLARE OR CAST DIRECT ILLUMINATION ACROSS THE BOUNDING PROPERTY LINE. LOW PRESSURE SODIUM LIGHTING IS PROHIBITED. ALL LIGHTING FIXTURES MUST BE RESTRICTED TO DOWN-LIGHT OR CUT-OFF TYPES.

FOR CITY USE:



FILE NAME: K:\24005174 - BRC - Barnes & Jeffrey - Colorado Springs CO\_LIN\4 PRODUCTION\CS30 GRADING PLAN.dwg LAST SAVED BY: mardowall 12/10/2024 10:01 AM PLOTTED BY: mardowall 12/10/2024 14:45:45. AECN FULL BLEED 0 (24.00 X 36.00 INCHES) DEVICE: \_AUTOCAD\_PDF (GENERAL DOCUMENT)PCS PLOT STYLE: ATWELL.CTB



GRADING NOTES:

- GRADES SHOWN ARE PROPOSED FINISHED GRADES.
- ALL PROPOSED GRADES AND SPOT ELEVATIONS INDICATE TOP OF PAVEMENT OR FACE/FLOWLINE OF CURB UNLESS OTHERWISE NOTED.
- THE INFORMATION PERTAINING TO EXISTING CONDITIONS WAS TAKEN FROM A SURVEY PROVIDED BY BARRON LAND, LLC.
- THE LOCATION OF ALL EXISTING UTILITIES WERE OBTAINED FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND DEPTH OF UTILITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- ANY DISCREPANCIES IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION SHALL BEGIN UNTIL ALL PERMITS HAVE BEEN RECEIVED.
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- ACCESS TO UTILITIES, FIRE HYDRANTS, ETC. SHALL REMAIN UNDISTURBED AT ALL TIMES, UNLESS COORDINATED OTHERWISE.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
- ALL SUBGRADE PREPARATION, PAVING, AND UTILITY TRENCHING MUST BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION. IF THERE IS A CONFLICT BETWEEN THE SOILS REPORT AND THE PLANS, THE MORE PROHIBITIVE OF THE TWO SHALL TAKE PRECEDENCE.
- CONTRACTOR TO ENSURE COMPLIANCE WITH ANY AND ALL LAND DISTURBANCE NOTIFICATIONS REQUIREMENTS, AND THAT ALL REQUIRED EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE STATE, LOCAL, OR FEDERAL REQUIREMENTS.
- REMOVE EXISTING TOPSOIL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, PRIOR TO PLACEMENT OF ANY FILL MATERIAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, COLORADO STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION IN EXCESS OF FIVE FEET IN DEPTH.
- DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.

GRADING LEGEND

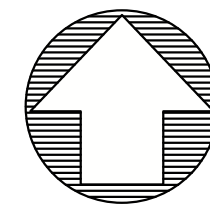
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING MINOR CONTOURS
- EXISTING MAJOR CONTOURS
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- EXISTING STORM LINE

- PROPOSED SPOT ELEV
- SLOPE ARROW
- PROPOSED (PR) SPOT ELEV
- PR. SPOT ELEV - MATCH EX. GRADE
- PR. SPOT ELEV - TOP OF CURB GUTTER/BOTTOM OF CURB + TC - 0.5'
- PR. SPOT ELEV - SIDEWALK
- FINISHED FLOOR ELEVATION
- EXISTING SLOPE ARROW
- PROPOSED SLOPE ARROW

ABBREVIATION LIST

- EG EXISTING GRADE
- TC TOP OF CURB
- TW TOP OF WALL
- BW BOTTOM OF WALL
- ME MATCH EXISTING
- SW SIDEWALK
- GRATE INLET
- STORM MANHOLE

FOR CITY USE:



**811**  
Know what's below.  
Call before you dig.  
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE CONTRACTOR WHICH SHALL BE LOCATED AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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**24 HOUR EMERGENCY CONTACT**  
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NORTH RICHLAND HILLS, TX 76180  
972.355.5860

BRC COLORADO SPRINGS	S25-TT3S-R66W
	5560 BARNES ROAD
	COLORADO SPRINGS
BLACK ROCK DEVELOPMENT COMPANY, LLC	CONSTRUCTION DRAWINGS
	GRADING PLAN

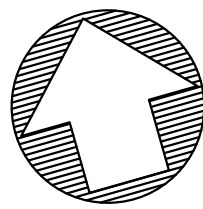
DATE 2024-11-25

REVISIONS

0 10' 20'  
SCALE: 1"=20'

DRAWN BY: A.M. & R.S.  
CHECKED BY: N. SALAZAR  
PROJECT MANAGER: N. SALAZAR  
JOB #: 24005174  
FILE CODE: ##  
SHEET NO. 5 OF 11





**811**  
Know what's below.  
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NORTH RICHLAND HILLS, TX 76180  
972.555.5860



S25-TT3S-R66W  
5560 BARNES ROAD  
COLORADO SPRINGS  
EL PASO COUNTY, CO

**BRC COLORADO SPRINGS**  
BLACK ROCK DEVELOPMENT COMPANY, LLC  
CONSTRUCTION DRAWINGS  
INTERIM DAM

DATE 2024-11-25

REVISIONS

0 10' 20'  
SCALE: 1"=20'

DRAWN BY: A.M. & R.S.  
CHECKED BY: N. SALAZAR  
PROJECT MANAGER: N. SALAZAR  
JOB #: 24005174  
FILE CODE: ##  
SHEET NO. 6 OF 11

**DRAINAGE LEGEND:**

- H  
0.79  
6.22
- SUBAREA  
AREA — ACRES  
FLOW — Q 100 (CFS)
- ---  
---  
DRAINAGE AREA LINE

**DRAINAGE NOTES:**


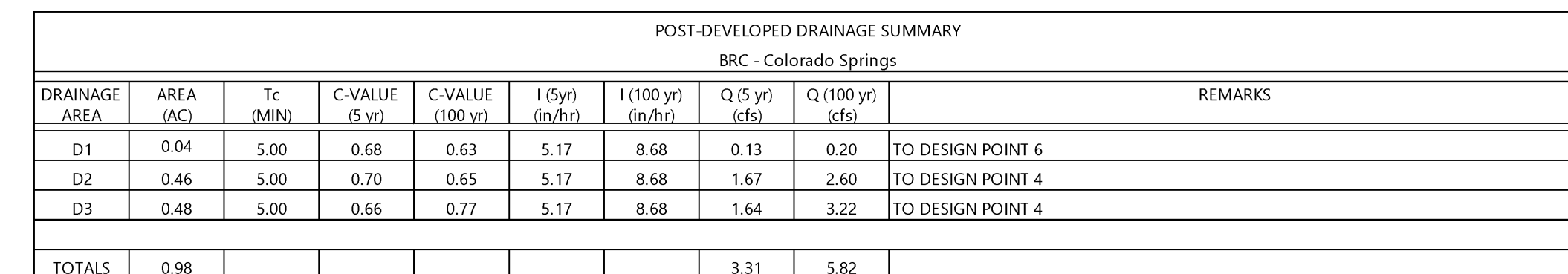
- THE DEVELOPER, THROUGH HIS ENGINEER OR AUTHORIZED REPRESENTATIVE, SHALL ACQUIRE ALL REQUIRED NATIONWIDE PERMITS, SUCH AS CWA 401, 402 AND/OR 404 PERMITS, AS APPROPRIATE, FROM THE USEPA, AND/OR USAGE.
- TOPOGRAPHICAL INFORMATION IS PRESENTED FOR DRAINAGE ANALYSIS PURPOSES ONLY AND IS NOT TO BE USED FOR CONSTRUCTION.
- TOPOGRAPHICAL INFORMATION PRESENTED HEREIN IS DERIVED FROM SURVEY AS PROVIDED BY BARRON LAND, LLC.

FOR CITY USE:

INTERIM DRAINAGE SUMMARY										REMARKS
BRC - COLORADO SPRINGS										
DRAINAGE AREA	AREA (AC)	Tc (MIN)	% Impervious	I (2 yr) (in/hr)	I (5 yr) (in/hr)	I (100 yr) (in/hr)	Q (2 yr) (cfs)	Q (5 yr) (cfs)	Q (100 yr) (cfs)	
D	0.98	5.00	80.00	4.12	5.17	8.68	2.80	3.60	6.90	TO CONCENTRATION POINT 4
TOTALS	0.98								6.90	

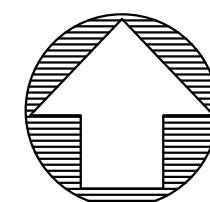
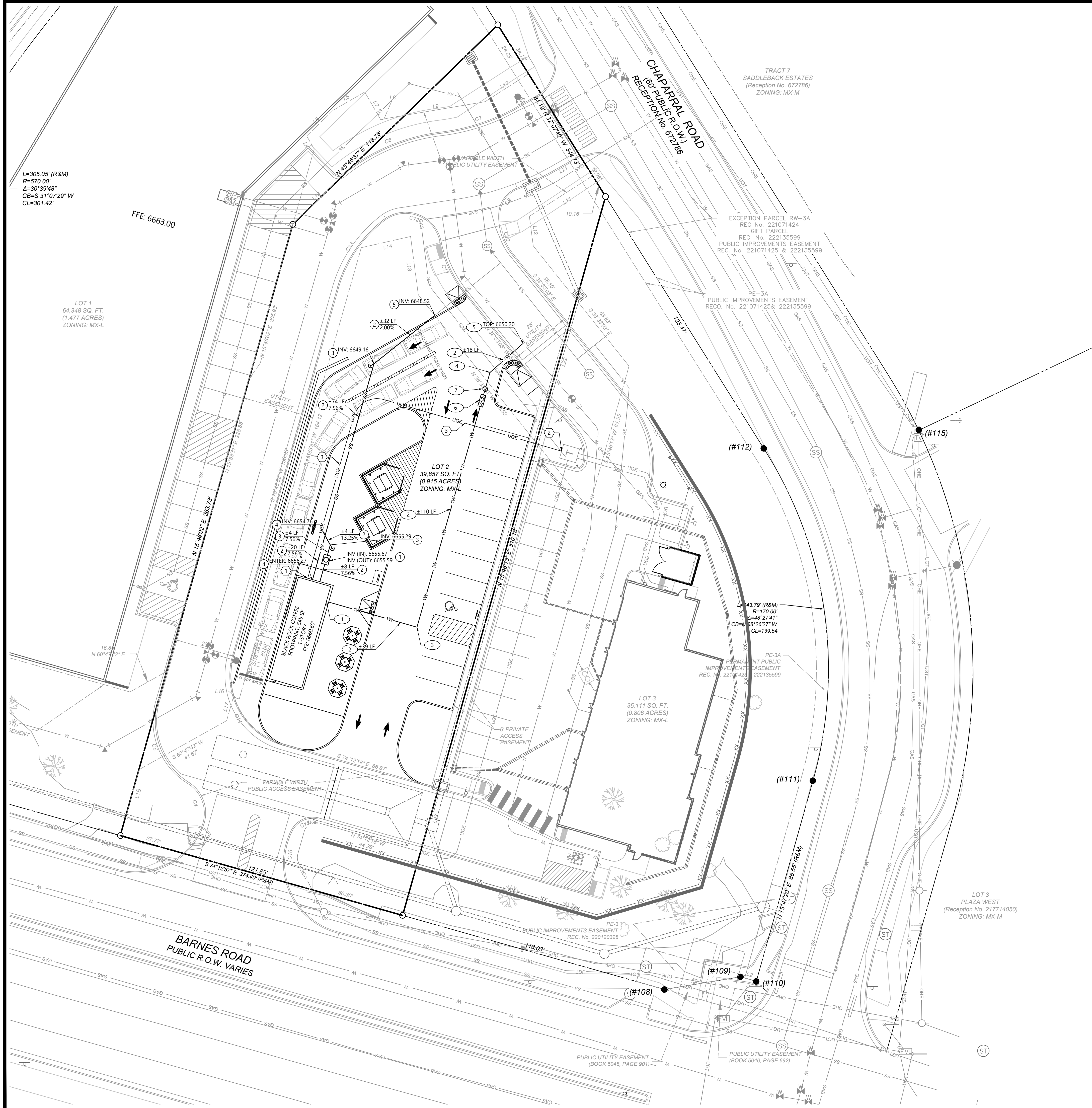






NOT-ISSUED-FOR-CONSTRUCTION      CAD FILE:    C320 POST-DEV DAM





**8**

**Know what's below.**

**Call before you dig.**

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES BEFORE COMMENCING ANY WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY ANY NEARBY STRUCTURES OR UTILITIES. EXCAVATE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**NOTICE**

CONSTRUCTION OFFT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE CONTRACTOR NOR THE OWNER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES OR UTILITIES OR ANY OTHER PERSONS.

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S25-T13S-R66W  
5560 BARNES ROAD  
COLORADO SPRINGS  
EL PASO COUNTY, CO


**BRC COLORADO SPRINGS**  
ROCK DEVELOPMENT COMPANY, LLC  
CONSTRUCTION DRAWINGS  
UTILITY PLAN

DATE 2024-11-25

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REVISIONS

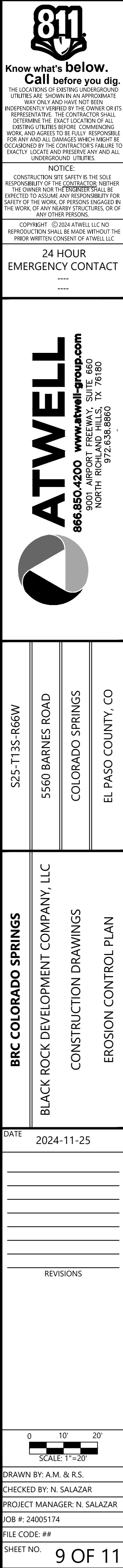
0 10' 20'



SCALE: 1"=20'

DRAWN BY: A.M. & R.S.
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24005174
FILE CODE: ##
SHEET NO. 8 OF 11






1. ALL EROSION AND SEDIMENTATION CONTROL DEVICES SHALL CONFORM TO THE LATEST EROSION AND SEDIMENT CONTROL REGULATIONS FOR THE STATE, COUNTY, AND/OR CITY.
2. ALL PERIMETER EROSION CONTROL MEASURES AND ROCK STABILIZED ENTRANCE/EXIT MUST BE INSTALLED PRIOR TO ANY EARTH-MOVING ACTIVITIES.
3. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION SHALL BEGIN UNTIL ALL PERMITS HAVE BEEN RECEIVED.
4. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE. CONTRACTOR SHALL REPAIR ANY DAMAGE DONE TO PRIVATE OR PUBLIC PROPERTY.
5. CONTRACTOR SHALL TAKE ANY AND ALL AVAILABLE PRECAUTIONS TO CONTROL DUST DURING THE CONSTRUCTION USE OF THIS PROJECT. DUST CONTROL TO BE ACCOMPLISHED BY SPRINKLING WATER, OR BY OTHER MEANS APPROVED BY THE COUNTY AND ENGINEER.
6. CONTRACTOR TO ENSURE COMPLIANCE WITH ANY AND ALL LAND DISTURBANCE AND EROSION CONTROL REQUIREMENTS, AND THAT ALL REQUIRED EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE STATE, LOCAL, OR FEDERAL REQUIREMENTS.
7. CONTRACTOR IS RESPONSIBLE FOR PREVENTING THE FLOW OF OR OFF-SITE TRACKING OF SEDIMENT AND OR OTHER POLLUTANTS ONTO ADJACENT STREETS OR PROPERTIES.
8. CONTRACTOR TO MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF THE CONSTRUCTION.
9. CONTRACTOR TO REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AFTER PERMANENT DRAINAGE FACILITIES HAVE BEEN INSTALLED AND FINAL STABILIZATION HAS BEEN ACHIEVED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

The symbols are as follows:

- EXISTING PROPERTY LINE**: Represented by a solid black line.
- EXISTING RIGHT-OF-WAY**: Represented by a dashed black line.
- EXISTING MINOR CONTOURS**: Represented by a dashed black line with the number 123.
- EXISTING MAJOR CONTOURS**: Represented by a dashed black line with the number 123.
- PROPOSED MINOR CONTOUR**: Represented by a solid black line with the number 123.
- PROPOSED MAJOR CONTOUR**: Represented by a solid black line with the number 123.
- CONSTRUCTION EXIT**: Represented by an oval containing the text "Co".
- SEDIMENT BARRIER SILT FENCE (TYPE C)**: Represented by an oval containing the text "SdI-C".
- CONSTRUCTION FENCE**: Represented by a dashed black line.
- CONCRETE WASHOUT**: Represented by a dashed black line.
- SF**: Represented by a rectangular area filled with a pattern of small circles.
- CF**: Represented by a rectangular area with a thick black border.

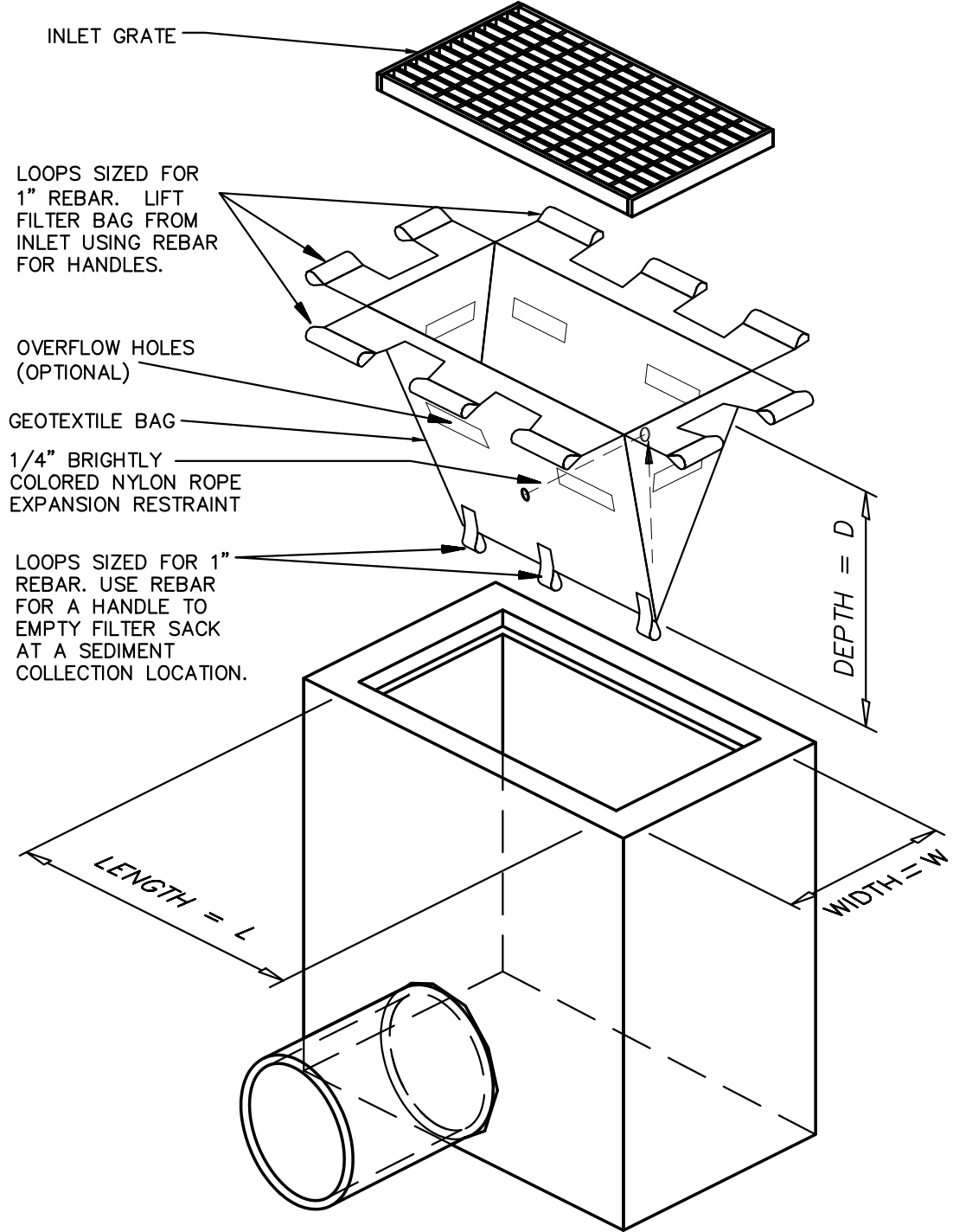








FILE NAME: K:\24005174 - BRC - Barnes & Jaffrey - Colorado Springs CO\UTV\PRODUCTION\CAD DESIGN DETAILS.dwg LAST SAVED: 12/10/2024 10:20 AM PLOTTED BY: kaffrey-mcdonald 12/10/2024 PAPER: ARCH FULL BLEED 0 (34.50 X 36.00 INCHES) DEVICE: \_ATWELL\_PDF (GENERAL DOCUMENTATION) PLOT STYLE: \_ATWELL.ctb



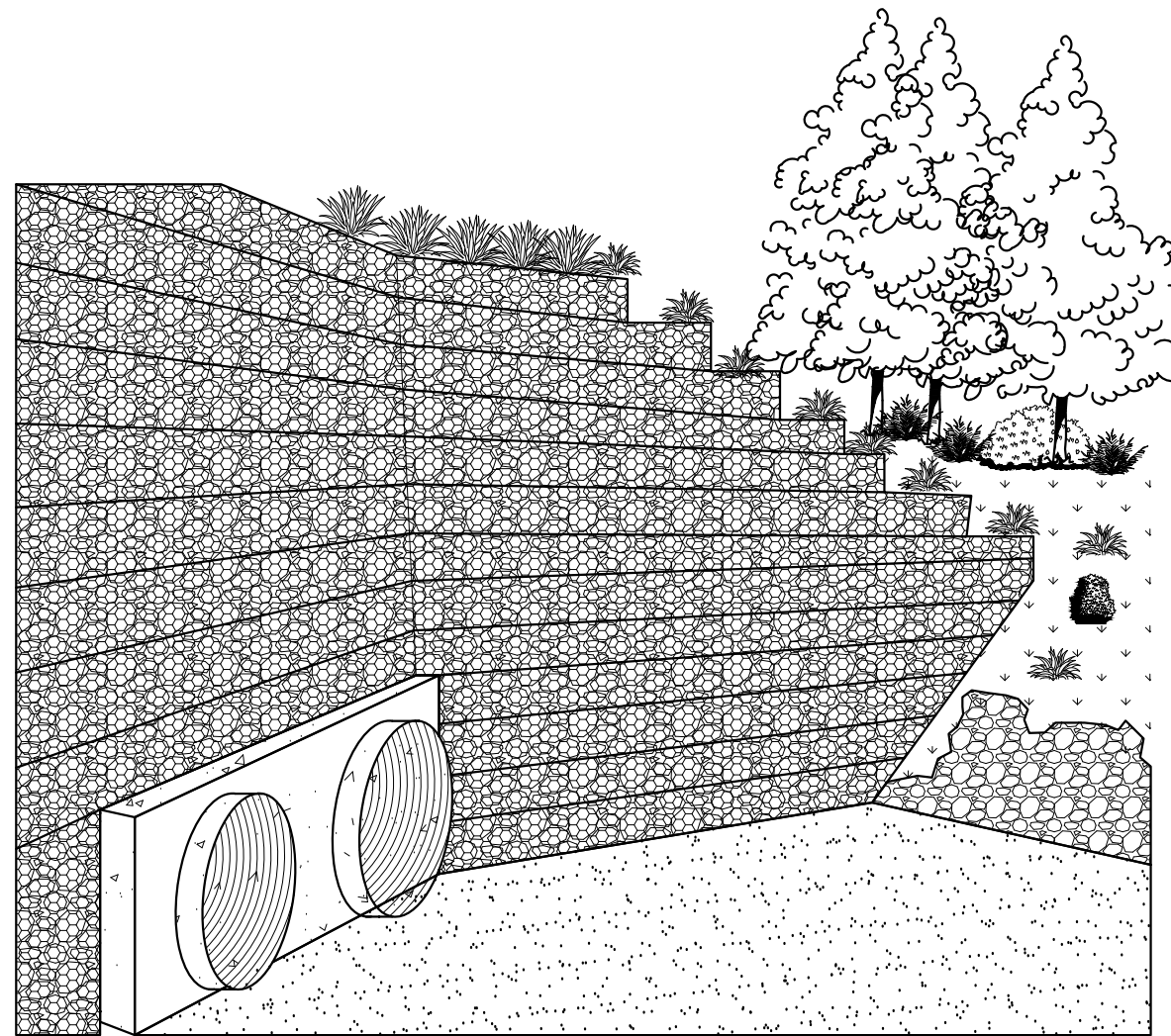
ISOMETRIC VIEW

## TEMPORARY INLET SEDIMENT TRAP (ALTERNATE BAG)

GA-Sd2-A2

N.T.S.

Sd2-A2



### INSTALLATION

- USE IN CONJUNCTION WITH CUT OR FILL SLOPES WHICH, BECAUSE OF SPACE LIMITATIONS OR UNSTABLE MATERIAL, DO NOT ALLOW FOR STABLE SLOPE CRITERIA
- THE DESIGN OF A RETAINING WALL IS A COMPLICATED PROCESS. MANY FACTORS MUST BE TAKEN INTO ACCOUNT SUCH AS: STRESSES AND FORCES OUTSIDE AND WITHIN THE WALL, ALLOWABLE HEIGHT, MINIMUM THICKNESS, OTHER CONSIDERATIONS ARE: FOUNDATION DESIGN WITH RESPECT TO LOADINGS, BEARING VALUES OF SOILS, FOOTING DIMENSIONS. ADDITIONAL DESIGN FACTORS ARE SAFETY HAZARDS, SUBSURFACE AND SURFACE DRAINAGE AND APPEARANCE.
- EACH SITUATION REQUIRES A SPECIFIC DESIGN WHICH IS WITHIN THE CAPABILITIES OF THE DESIGN ENGINEER. CONSIDERATION SHOULD BE GIVEN TO ALL OF THE ALTERNATIVE METHODS WITH REGARD TO CONSTRUCTION OF THE WALL.
- RETAINING WALLS REQUIRE SPECIFIC DESIGNS WHICH ARE WITHIN THE CAPABILITIES OF A DESIGN ENGINEER OR A LICENSED ARCHITECT. CLOSE SUPERVISION IS REQUIRED TO ENSURE PROPER INSTALLATION.

### MAINTENANCE

- CLOSE SUPERVISION IS REQUIRED DURING INSTALLATION TO ENSURE PROPER INSTALLATION.
- PERIODIC REVIEW OF THE WALL FACE IS REQUIRED TO ENSURE NO MOVEMENT OF THE WALL IS OCCURRING.
- IF WATER IS WITNESSED BLEEDING THROUGH THE FACE OF THE WALL, THE WALL SHOULD BE CONTINUOUSLY MONITORED FOR STABILITY.

### NOTES

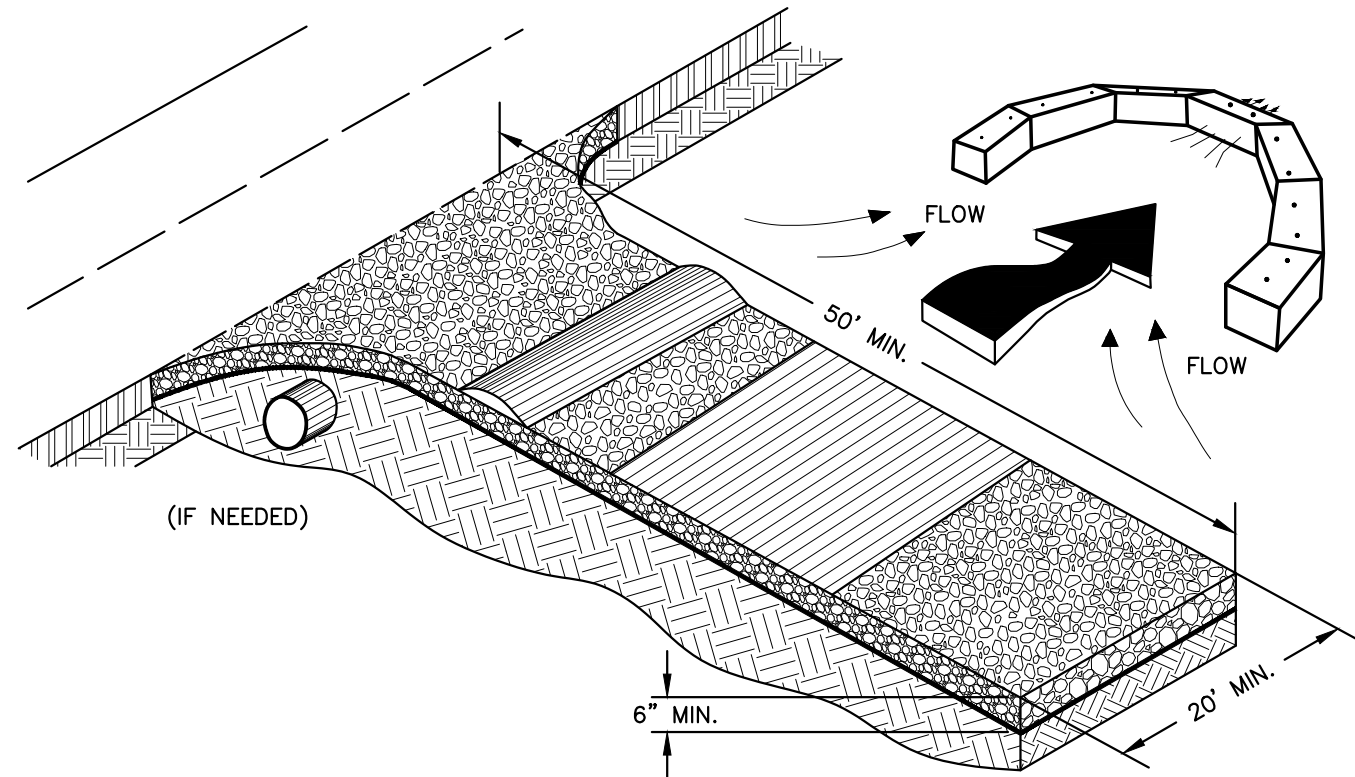
- ATWELL ENGINEERING DOES NOT ACCEPT RESPONSIBILITY FOR RETAINING WALLS.
- UNLESS NOTED OTHERWISE, WALLS ARE TO BE DESIGNED AND BUILT BY CONTRACTOR AND IS IN CONTRACTOR'S SCOPE OF WORK.
- CONTRACTOR IS TO COORDINATE WITH DEVELOPER ON TYPE/DESIGN OF RETAINING WALL.

## RETAINING WALL

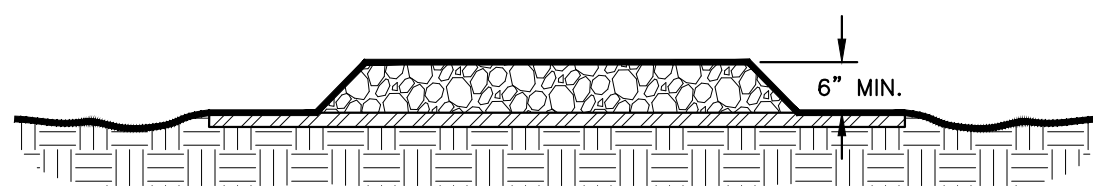
GA-Re

N.T.S.

Re



EXIT DIAGRAM



ENTRANCE ELEVATION

### NOTES

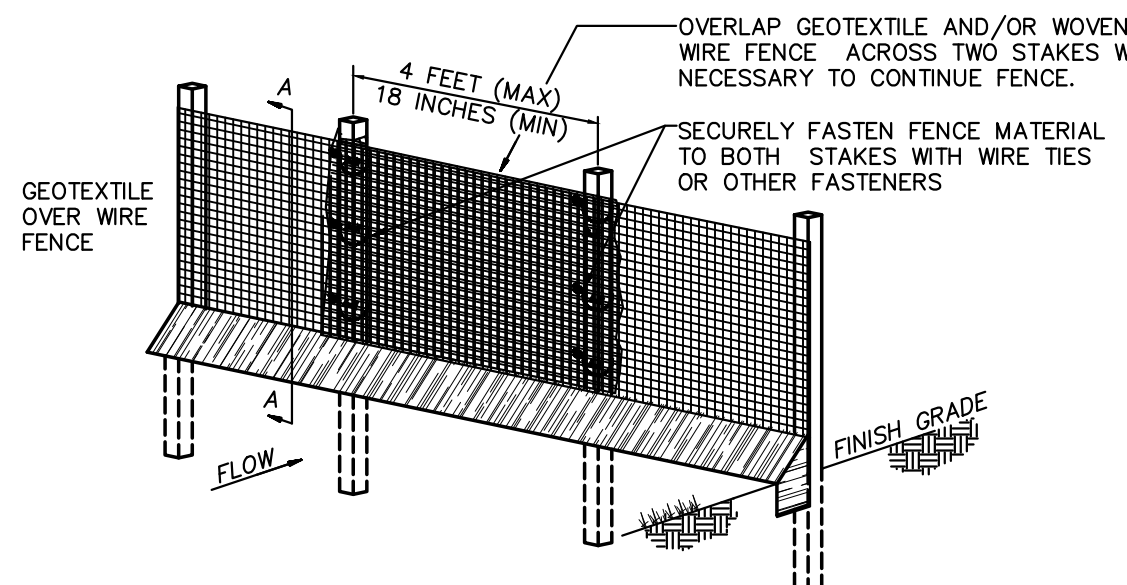
- AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
- REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
- AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
- GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
- PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
- A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
- INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
- WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
- WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
- MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

## CRUSHED STONE CONSTRUCTION EXIT

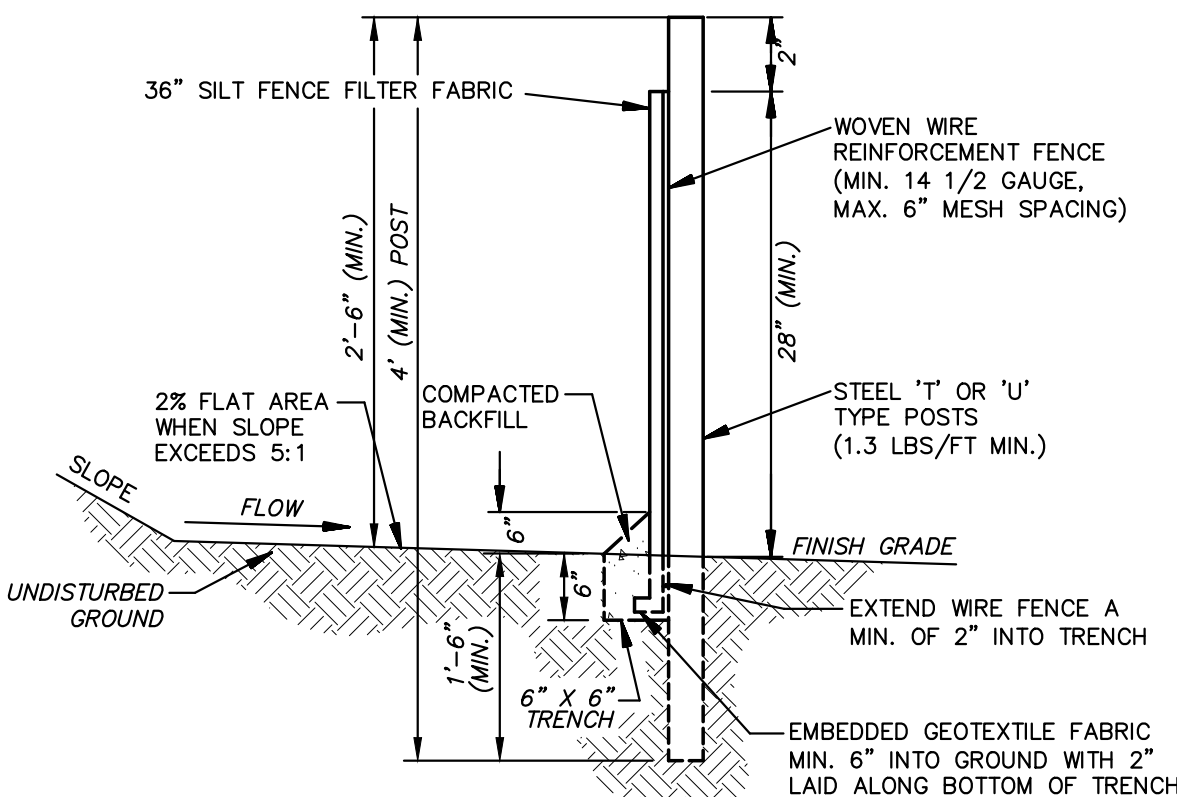
GA-Co

N.T.S.

Co



ELEVATION



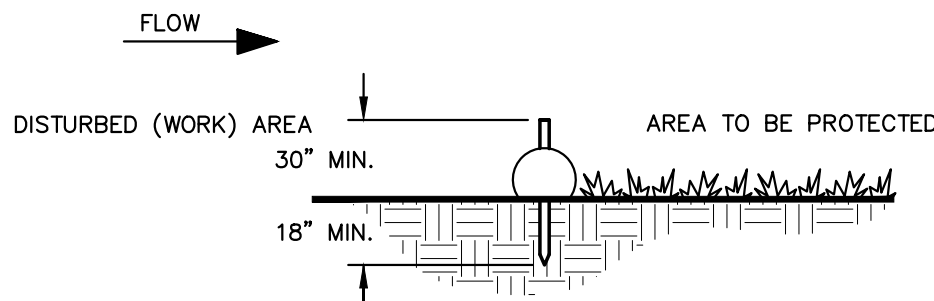
SECTION A-A

1/4 ACRE PER 100-LF MAX DRAINAGE AREA

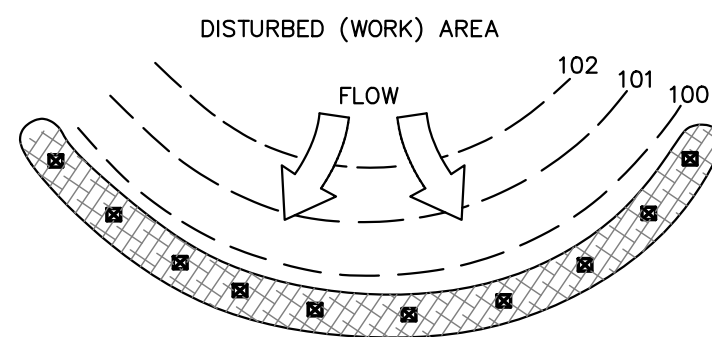
## SEDIMENT BARRIER TYPE C SILT FENCE

N.T.S.

Sd1-C



CROSS SECTION



PLAN

## COMPOST FILTER SOCK

GA-Sd1-S

N.T.S.

Sd1-S

### INSTALLATION

- DO NOT INSTALL ACROSS STREAMS, DITCHES, WATERWAYS OR OTHER AREAS OF CONCENTRATED FLOW.
- INSTALL WHERE SHEET FLOW CONDITION EXIST.
- START POST INSTALLATION AT THE CENTER OF THE LOWEST POINT WITH REMAINING POSTS SPACED 4 FEET APART.
- TYPE 'C' SILT FENCE SHALL BE USED WHERE RUNOFF FLOWS OR VELOCITIES ARE PARTICULARLY HIGH.
- TYPE 'C' SILT FENCE SHALL BE USED WHERE SLOPES EXCEED A VERTICAL HEIGHT OF 10 FEET.
- TWO ROWS OF TYPE 'C' SILT FENCE MUST BE USED ALONG ALL STREAM BUFFERS.
- WOVEN WIRE REINFORCEMENT FENCE TO BE FASTENED SECURELY TO STEEL POSTS WITH WIRE TIES OR APPROVED EQUAL AT TOP, MID AND BOTTOM.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE REINFORCEMENT FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.

### MAXIMUM SLOPE LENGTH

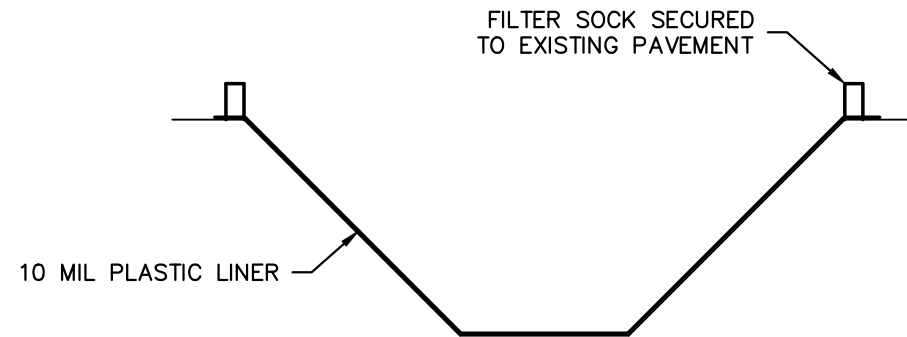
- WHERE ALL RUNOFF IS TO BE STORED BEHIND THE SILT FENCE, MAXIMUM SLOPE LENGTH SHALL NOT EXCEED:  
LAND SLOPE = MAX. SLOPE LENGTH  
< 2% = 100 FT.  
2% - 5% = 75 FT.  
5% - 10% = 50 FT.  
10% - 20% = 25 FT.  
> 20% = 15 FT.
- IN AREAS WHERE THE SLOPE IS GREATER THAN 20% OR 5:1, A FLAT AREA LENGTH OF 10 FT BETWEEN THE TOE OF THE SLOPE AND THE SILT FENCE MUST BE PROVIDED.

### SILT FENCE FILTER FABRIC

- UTILIZE DOT APPROVED FABRICS. COMMON EXAMPLES INCLUDE: MIRAFI 130X, AMOCO 1198, BELTECH 810, SI 915 SC, LING GIF 190
- UTILIZE FENCE FABRIC THAT MEETS THE FOLLOWING CRITERIA:
  - TENSILE STRENGTH PER ASTM D-4632 WITH WARP-260 AND FILL-180 (LBS. MIN.)
  - ELONGATION PER ASTM D-4632 OF 40% MAX
  - APPARENT OPENING SIZE (MAX. SIEVE SIZE) PER ASTM D-4751 OF #50
  - FLOW RATE OF 70 GAL/MIN./SQ.FT.
  - ULTRAVIOLET STABILITY OF 80 PER ASTM D-4632 AFTER 300 HOURS WEATHERING IN ACCORDANCE WITH ASTM D-4355
  - BURSTING STRENGTH OF 175 PSI MIN. PER ASTM D-3786

### MAINTENANCE

- SEDIMENT SHALL BE REMOVED ONCE IT HAS ACCUMULATED TO ONE-HALF THE ORIGINAL HEIGHT OF THE BARRIER.
- FILTER FABRIC SHALL BE REPLACED WHENEVER IT HAS DETEIORATED TO SUCH AN EXTENT THAT THE EFFECTIVENESS OF THE FABRIC IS REDUCED (APPROX. 6 MONTHS), OR ANY TEARS OR HOLES ARE IN THE FABRIC.
- TEMPORARY SEDIMENT BARRIERS SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
- ALL SEDIMENT ACCUMULATED AT THE BARRIER SHALL BE REMOVED AND PROPERLY DISPOSED OF BEFORE THE BARRIER IS REMOVED.



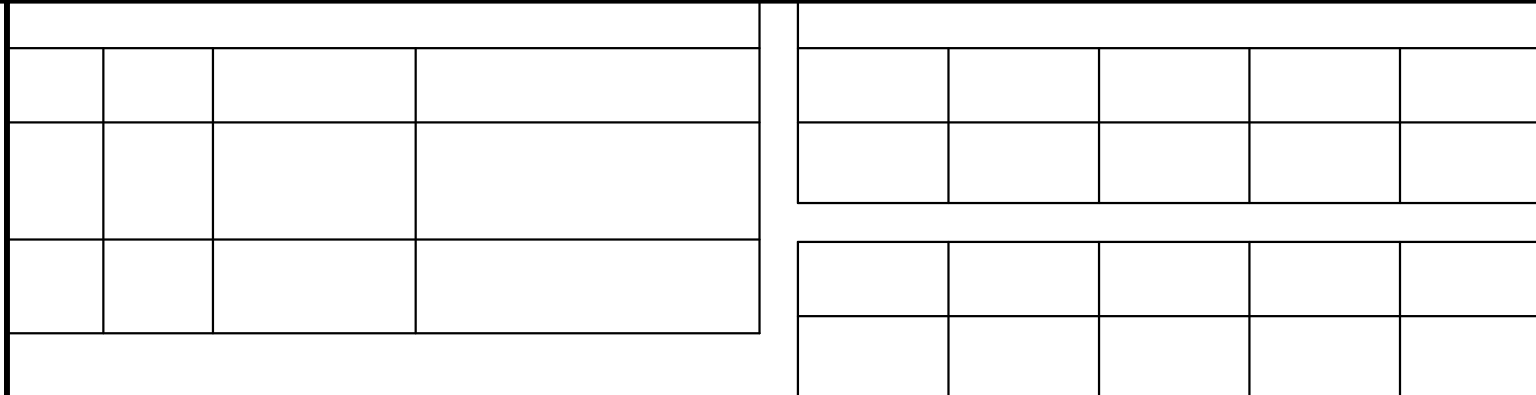
### NOTES:

- WASHOUT AREA TO BE LOACATED AT LEAST 50 FT FROM ANY STORM DRAIN INLET OR CHANNEL.
- WASHOUT AREAS SHOULD BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND WASTE GENERATED BY WASHOUT OPERATIONS.
- WASHOUT AREA SHOULD BE A MINIMUM OF 10 FEET BY 10 FEET.
- PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING, FREE OF HOLES AND OTHER DEFECTS.

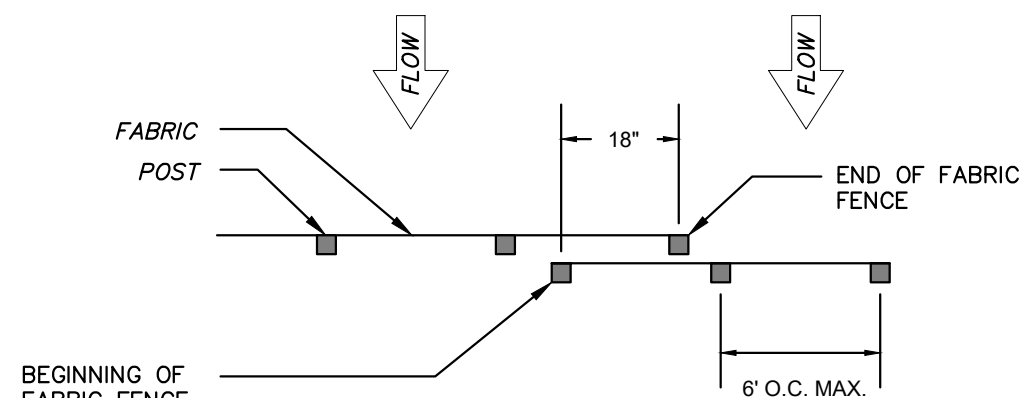
### MAINTENANCE:

- WASHOUT AREA MUST BE INSTALLED BEFORE GRADING ACTIVITIES CAN TAKE PLACE.
- WASHOUT AREA TO BE CLEANED OUT AFTER EACH DAY OF USAGE.
- WASHOUT AREA IS TO BE INSPECTED WEEKLY AND KEPT FREE OF DEBRIS AND WASTE.

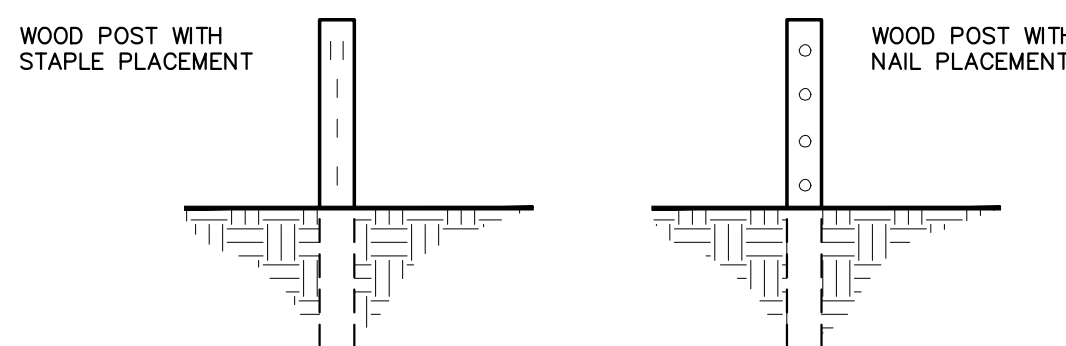
## CONCRETE WASHDOWN DETAIL



### OVERLAP AT FABRIC ENDS



TOP VIEW



FRONT VIEW

### NOTES:

- THE FABRIC AND WIRE SHOULD BE SECURELY FASTENED TO POSTS AND FABRIC ENDS MUST BE OVERLAPPED A MINIMUM OF 18" OR WRAPPED TOGETHER AROUND A POST TO PROVIDE A CONTINUOUS FABRIC BARRIER AROUND THE INLET.

## FASTENERS FOR SILT FENCE

GA-Sd1-C

N.T.S.

Sd1-C

**811**  
Know what's below.  
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NOTICE:  
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE DEEMED TO ASSUME ANY RESPONSIBILITY FOR THE SAFETY OF THE WORK OR PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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24 HOUR  
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DRAWN BY: A.M. & R.S.  
CHECKED BY: N. SALAZAR  
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SHEET NO. 11 OF 11

NOT ISSUED FOR CONSTRUCTION CAD FILE: 680 EROSION DETAILS