

DEMOLITION NOTES

- 1. IN ORDER TO PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SOIL EROSION AND SEDIMENTATION, THE DEMOLITION CONTRACTOR SHALL CONSTRUCT EROSION CONTROL MEASURES PER THE INITIAL EROSION CONTROL PLAN (PHASE I) AS NECESSARY PRIOR TO AND DURING DEMOLITION OPERATIONS. ADDITIONAL MEASURES MAY BE REQUIRED AS DIRECTED BY THE ENGINEER, LOCAL INSPECTOR OR THE OWNER.
2. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE OR THE ENGINEER PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION. ANY DEVIATION WITHOUT THE OWNERS' CONSENT WILL BE AT THE CONTRACTOR'S RISK.
3. THE DEMOLITION CONTRACTOR SHALL LOCATE, IDENTIFY PROPERLY, TERMINATE, AND MARK ALL EXISTING UTILITIES THAT SHALL REMAIN WITHIN THE DEMOLITION AREA TO PROTECT THEM FROM DAMAGE.
4. THE DEMOLITION CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES, ASSOCIATED GOVERNMENT DEPARTMENTS, AND THE OWNERS' REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY UTILITY SERVICE. NOTIFICATION MUST BE MADE PER THE PROJECT SPECIFICATIONS. THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH AND ADHERENCE TO THE REQUIREMENTS OF EACH UTILITY COMPANY AND ANY GOVERNMENT UTILITY DEPARTMENT REGARDING SERVICE INTERRUPTION.
5. THE DEMOLITION CONTRACTOR SHALL PROTECT ALL LANDSCAPING AND OTHER FEATURES DESIGNATED TO REMAIN AND REPLACE/REPAIR ALL ITEMS THAT ARE DISTURBED DURING DEMOLITION.
6. THE CONTRACTOR SHALL CONDUCT ALL DEMOLITION OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC AND/OR PRIVATE ACCESSES AND FACILITIES.
7. THE DEMOLITION CONTRACTOR SHALL PROTECT BENCH MARKS, PROPERTY CORNERS, AND ALL OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT. IF A MARKER IS REMOVED OR DISTURBED, IT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AT THE CONTRACTORS EXPENSE.
8. THE DEMOLITION CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL MEASURES AS REQUIRED IN ACCORDANCE WITH THE US DEPT. OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND GOVERNING AGENCY REQUIREMENTS.
9. DEPRESSIONS AND VOID AREAS CAUSED BY DEMOLITION WORK SHALL BE FILLED TO SUB-GRADE AND PROPERLY COMPACTED. THE CONTRACTOR SHALL SLOPE ALL DISTURBED AREAS TO DRAIN IN ORDER TO AVOID PONDING.
10. THE DEMOLITION CONTRACTOR SHALL ACQUIRE ALL PERMITS AND PAY ALL ASSOCIATED FEES PERTAINING TO THE DEMOLITION AND DISPOSAL REQUIREMENTS. HE SHALL BE RESPONSIBLE FOR ADHERENCE TO ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS REGARDING THIS WORK. IF THERE ARE NO LOCAL, STATE OR FEDERAL REQUIREMENTS THE DEMOLITION CONTRACTOR SHALL ACQUIRE AN ENGINEER'S CERTIFICATION THAT THE WORK HAS BEEN PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS.
11. THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY AND SAFETY MANAGEMENT. THE CONTRACTOR SHALL PROCEED WITH THE DEMOLITION IN AN ORGANIZED MANNER FOLLOWING ALL APPLICABLE OSHA REQUIREMENTS IN ORDER TO ENSURE WORKER AND CIVIC SAFETY.
12. THE DEMOLITION CONTRACTOR SHALL DO THE FOLLOWING:
12.1. CONFIRM THAT COPIES OF ALL PERMITS AND APPROVALS ARE KEPT ONSITE AND THAT THEY ARE AVAILABLE FOR REVIEW UPON REQUEST.
12.2. INSTALL INITIAL PHASE SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
12.3. REMOVE AND DISPOSE OFFSITE ALL DEBRIS NOT ACCEPTABLE TO THE OWNER.
12.4. LOCATE AND CAP/PLUG ALL WET AND DRY UTILITIES TO BE REMOVED/ABANDONED WITHIN THE LIMITS OF DISTURBANCE.
12.5. PROTECT AND KEEP IN OPERATION ALL ACTIVE SYSTEMS THAT ARE NOT TO BE REMOVED/ABANDONED.
12.6. COORDINATE WITH APPROPRIATE UTILITY SERVICE COMPANY/PROVIDER AND PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND/OR UTILITY COMPANY REQUIREMENTS. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING DURING "OFF-PEAK" HOURS OR ON WEEKENDS TO MINIMIZE THE IMPACT ON THE PUBLIC.
12.7. DIRECT A LICENSED ENVIRONMENTAL TESTING COMPANY COMPLETE A CONTAMINANT AND INSPECTION AND REPORT WITH REGARD TO BUILDINGS/STRUCTURES TO BE REMOVED, AND ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL ENVIRONMENTAL REGULATIONS. CONTAMINATED/HAZARDOUS BUILDING MATERIAL AND/OR SOILS SHALL BE REMOVED AND DISPOSED OF OFFSITE BY A QUALIFIED/LICENSED CONTRACTOR FAMILIAR WITH THE APPLICABLE REGULATIONS.
13. EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. IF PERMISSION IS GIVEN, ALL RELATED PERMITS AND MEASURES SHALL BE AT THE DIRECTION OF THE LOCAL ISSUING AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS AND SEISMIC VIBRATION TESTING REQUIRED FOR PROPER MONITORING OF LOCAL STRUCTURES IN THE AREA.
14. THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN ACCORDANCE WITH "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS SHOULD DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR RIGHTS-OF-WAY. STREET CLOSURES MUST BE APPROVED BY THE APPROPRIATE GOVERNMENTAL AUTHORITY.
15. EQUIPMENT AND OPERATION OF EQUIPMENT SHALL BE CONTROLLED TO WITHIN THE LIMITS OF DISTURBED ONSITE AREA OF THE PROPERTY.

SITE NOTES

- 1. THE PROJECT BOUNDARY SURVEY HAS BEEN PROVIDED BY BARRON LAND, LLC. (THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY, OR FOR DESIGN ERRORS OR OMISSIONS AS A RESULT OF SURVEY INACCURACIES.)
2. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL BUILDINGS AND BUILDING APPURTENANCES WITHIN FIVE (5) FEET OF THE BUILDING WALL TO INCLUDE TRUCK DOCKS, SIDEWALKS, STEPS, ETC.
3. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL SITE WORK AND SITE APPURTENANCES UP TO FIVE (5) FEET OF THE BUILDING. THIS INCLUDES TRANSFORMER AND DUMPSER PADS AS WELL AS ALL UTILITY CONDUITS.
4. CONTRACTOR SHALL OBTAIN ALL PERMITS FROM THE OWNER PRIOR TO CONSTRUCTION.
5. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB AND TO THE END OF PARKING STRIPE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHOWN TO BUILDINGS ARE TO THE OUTSIDE FACE OF THE BUILDING.
6. ALL STRIPED OR CURBED RADII SHALL BE 3' UNLESS OTHERWISE NOTED.
7. PARKING LOT STRIPING SHALL HAVE TWO (2) COATS OF PAINT (MIN).
8. ALL HANDICAP ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE AMERICAN WITH DISABILITY ACT (ADA) REQUIREMENTS. LOCAL CODES MAY GIVE ADDITIONAL DIRECTION WITH REGARD TO GEOMETRICS.
9. ALL CONCRETE WORK SHALL BE INSTALLED TO THE COMPRESSIVE STRENGTH ESTABLISHED IN THE PROJECT GEOTECHNICAL REPORT. THE REPORT SHALL BE FOLLOWED IF THERE IS A DISCREPANCY WITHIN THESE DRAWINGS.
10. ALL ONSITE AND OFFSITE CURB AND GUTTER SHALL BE INSTALLED PER CURB AND GUTTER DETAILS WITHIN THIS DRAWING SET. 1/2 INCH EXPANSION JOINTS OF PRE-MOLDED BITUMASTIC EXPANSION JOINT. MATERIAL SHALL BE PROVIDED AT ALL RADIUS POINTS AND AT INTERVALS NOT TO EXCEED 50 FEET IN THE REMAINDER OF THE ON-SITE CURB AND GUTTER.
11. ALL SIGNS DEPICTED ON THESE PLANS ARE SHOWN FOR INFORMATION ONLY. ALL SIGNS SHALL BE PERMITTED SEPARATELY BY OTHERS
12. ALL TRAFFIC SIGNS SHALL CONFORM TO THE UNIFORM TRAFFIC CONTROL MANUAL AND/OR TO THE STATE DEPARTMENT OF TRANSPORTATION RULES AND REGULATIONS.
13. SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS UPON THE COMPLETION OF THE PROJECT.

ACCESSIBILITY NOTES

- 1. ALL HANDICAP ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITY ACT (ADA) REQUIREMENTS. LOCAL CODES MAY GIVE ADDITIONAL DIRECTION WITH REGARD TO GEOMETRICS.
2. ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL BE CONSTRUCTED TO A MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
3. IF AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO THE ENTRANCE IS TO BE PROVIDED IT SHALL BE CONSTRUCTED TO A MINIMUM OF 5' WIDE. THE RUNNING SLOPE OF THE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
4. SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURB, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
5. IN THE CASE THAT A NEW SIDEWALK IS TO BE CONSTRUCTED IN THE PUBLIC R/W, THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES ALSO TO CROSS WALKS WITHIN THE DRIVEWAY. SPECIAL ATTENTION SHALL BE PAID DURING STAKING TO ENSURE A 2% CROSS SLOPE IS MET.
6. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS. INSTALLATIONS THAT ARE NON-COMPLIANT SHALL BE REMOVED AND REPLACED AT THE CONTRACTORS EXPENSE.
7. ACCESSIBLE PARKING SHALL HAVE 98" VERTICAL CLEARANCE.
8. DETECTABLE WARNING STRIPS SHALL BE PLACED ON ALL RAMPS.
9. ALL ADA PARKING SPACES SHALL HAVE PROPER SIGNAGE POSTED TO DESIGNATE REGULAR SPACES AND VAN SPACES, AS WELL AS APPLICABLE LOCAL FINES FOR VIOLATIONS.

GRADING NOTES

- 1. THE PROJECT TOPOGRAPHIC SURVEY HAS BEEN PROVIDED BY BARRON LAND, LLC. (THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY, OR FOR DESIGN ERRORS OR OMISSIONS AS A RESULT OF SURVEY INACCURACIES.)
2. SHOULD THE CONTRACTOR NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THE PROJECT SURVEY OR THESE DESIGN DRAWINGS, HE MAY OPT TO HAVE A NEW TOPOGRAPHIC SURVEY PREPARED AT HIS OWN EXPENSE.
3. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL NPDES PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
4. INFORMATION CONCERNING SITE SOIL CONDITIONS SHALL BE PROVIDED BY THE OWNER'S GEOTECHNICAL ENGINEER. THE PROJECT GEOTECHNICAL REPORT AND RECOMMENDATIONS THEREIN ARE CONSIDERED PART OF THE AUTHORIZED CONSTRUCTION DOCUMENTS. IN CASE OF CONFLICT OR DISCREPANCY, THE GEOTECHNICAL REPORT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY.
5. EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND ARCHITECTURAL PLANS AND SPECIFICATIONS.
6. ALL FILL USED TO INCREASE THE ELEVATION OF THE FLOOR SLAB OR ANY FILL TO BE USED AS BACKFILL SHALL BE CLEAN, SELECT, GRANULAR MATERIAL. PRIOR TO THE USE OF ANY GRANULAR FILL, GRADATION ANALYSIS SHALL BE PERFORMED ON REPRESENTATIVE SAMPLES OF THE FILL MATERIAL TO DETERMINE WHETHER THE MATERIAL IS SUITABLE FOR FILL. COMPACTED FILL SHALL BE PLACED IN ACCORDANCE WITH THE APPROVED GEOTECHNICAL REPORT FOR THE PROJECT.
7. ALL ROCKS, STUMPS, ROOTS, AND ORGANIC MATTER SHALL BE REMOVED TO A DEPTH OF TWO FEET MINIMUM BELOW THE BOTTOM OF THE BASE SECTIONS. THE CONTRACTOR SHALL CONTACT THE GEOTECHNICAL ENGINEER FOR DIRECTION BEFORE BURYING ROCK ONSITE.
8. ALL SOIL EROSION AND SEDIMENT SHALL BE CONTROLLED AND CONTAINED ON-SITE.
9. ALL SLOPES AND DISTURBED AREAS NOT COVERED BY BUILDING OR PAVEMENT SHALL BE GRADED UNIFORMLY AND SHALL RECEIVE A MINIMUM OF 4 INCHES OF TOPSOIL. THE CONTRACTOR SHALL IMPORT TOPSOIL IF NOT READILY AVAILABLE ONSITE. OPEN AREAS SHALL BE SEEDED, MULCHED, FERTILIZED AND WATERED TO PROVIDE AN UNIFORM STAND OF GRASS.
10. CONTRACTOR SHALL INSTALL SLOPE STABILIZATION FABRIC TO ALL SLOPES 2H:1V OR STEEPER AND SHALL MAINTAIN ALL SLOPE AREAS UNTIL THERE EXISTS A HEALTHY STAND OF GRASS.
11. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDINGS.
12. THE FLOW IN ALL EXISTING STORM SEWERS, STORM DRAINS, AND WATERWAYS SHALL BE MAINTAINED.

- 13. ALL SPOT ELEVATIONS SHALL BE TAKEN TO BE THE TOP OF PAVEMENT OR FINISHED GROUND UNLESS OTHERWISE NOTED.
TC=TOP OF CURB ELEVATION
MATCH=PROPOSED GRADE TO MATCH EXISTING GRADE
TW=TOP OF RETAINING WALL ELEVATION;
FG=FINISHED GRADE AT TOE OF WALL ELEVATION
14. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
15. ALL PIPE LENGTHS SHOWN ON PLAN AND PROFILE VIEWS ARE BASED ON THE HORIZONTAL DISTANCE BETWEEN STRUCTURES.
16. THE CONTRACTOR SHALL COMPARE PLAN AND PROFILE STORM SEWER INFORMATION FOR DISCREPANCIES. IF ANY EXIST THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR CLARIFICATION.
17. PRECAST CONCRETE OR BRICK STRUCTURES MAY BE USED AT THE CONTRACTOR'S OPTION
18. ALL STORM PIPE CONNECTIONS AT MANHOLES SHALL BE WATER TIGHT
19. ALL STORM SEWER MANHOLE STRUCTURES IN PAVED AREAS SHALL BE INSTALLED OR ADJUSTED WITH TRAFFIC READY LIDS FLUSH WITH THE PAVEMENT. MANHOLE STRUCTURES IN UNPAVED AREAS SHALL BE INSTALLED FLUSH WITH FINISH GRADE.
20. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
21. ALL SYSTEM MANHOLES AND PIPES SHALL BE FLUSHED CLEAN PRIOR TO TURNING OVER TO THE OWNER.
22. THE CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. EXISTING UNDERGROUND UTILITIES SHOWN ON THESE DRAWINGS ARE TAKEN FROM THE BEST SOURCES AVAILABLE (FIELD SURVEYS AND UTILITY MAPS) AND MAY NOT BE FULLY ACCURATE. AS SUCH, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHILE GRADING. ANY UTILITY RELOCATION DEEMED NECESSARY BUT NOT SHOWN ON THE APPROVED DRAWINGS SHALL BE BROUGHT TO THE ENGINEERS ATTENTION.
23. THE GRADING CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES, ASSOCIATED GOVERNMENT DEPARTMENTS, AND THE OWNERS REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY UTILITY SERVICE. NOTIFICATION MUST BE MADE PER THE PROJECT SPECIFICATIONS. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH AND ADHERENCE TO THE REQUIREMENTS OF EACH UTILITY COMPANY AND ANY GOVERNMENT UTILITY DEPARTMENT REGARDING SERVICE INTERRUPTION.

UTILITY NOTES

- 1. THE PROJECT UTILITY SURVEY HAVE BEEN PROVIDED BY BARRON LAND, LLC.
2. THE CONTRACTOR SHALL HAVE A COPY OF THE APPROVED PLANS, A COPY OF THE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS, AND A COPY OF ALL PERMITS AND APPROVALS ON THE JOB.
3. ALL UTILITY TRENCHES ARE TO BE SLOPED OR BRACED AND SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKERS AND FOR THE PROTECTION OF OTHER UTILITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PROJECT SAFETY INCLUDING, BUT NOT LIMITED TO, TRENCH EXCAVATION AND SHORINGS, TRAFFIC CONTROL, AND SECURITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SECURITY DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL COMPLY WITH THE LATEST OSHA STANDARDS AND/OR DIRECTIVES WITH REGARD TO EXCAVATION AND TRENCHING PROCEDURES.
6. ALL FILL MATERIAL SHALL BE PLACED AND COMPACTED PRIOR TO UTILITY INSTALLATION.
7. THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS "AS-BUILT PLANS" AND "FINAL PLANS" (IF APPLICABLE) UPON COMPLETION OF THE PROJECT.
8. THE CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. EXISTING UNDERGROUND UTILITIES SHOWN ON THESE DRAWINGS ARE TAKEN FROM THE BEST SOURCES AVAILABLE (FIELD SURVEYS AND UTILITY MAPS) AND MAY NOT BE FULLY ACCURATE. AS SUCH, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHILE GRADING. ANY UTILITY RELOCATION DEEMED NECESSARY BUT NOT SHOWN ON THE APPROVED DRAWINGS SHALL BE BROUGHT TO THE ENGINEERS ATTENTION.
9. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY UTILITY CONFLICTS, ADDITIONAL UTILITIES ENCOUNTERED, AND/OR ANY OTHER UTILITY INFORMATION WHICH MAY REQUIRE EXAMINATION.
10. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE AND IMPLEMENT THEIR SPECIFIC INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
11. THE CONTRACTOR SHALL CALL 811 AT LEAST 72 HOURS PRIOR TO EXCAVATION IN ORDER THAT UTILITIES BE FIELD LOCATED.
12. THE CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY INSPECTOR 72 HOURS BEFORE CONNECTING TO ANY EXISTING UTILITY.
13. THE SITE CONTRACTOR SHALL COORDINATE SERVICE ROUTING OF ALL GAS, TELEPHONE, AND ELECTRICAL LINES WITH THE APPROPRIATE UTILITY COMPANY. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH THE RESPECTIVE UTILITY'S STANDARDS AND SPECIFICATIONS.
14. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATION OF OR ADJUSTMENTS TO EXISTING UTILITIES DURING CONSTRUCTION. THIS WORK SHALL BE PERFORMED IN A TIMELY FASHION AND WITH A MINIMAL DISRUPTION OF SERVICE.
15. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR THE PROPOSED LOCATION OF ALL WET AND DRY UTILITY ENTRANCES INTO THE BUILDING. CONTRACTOR SHALL COORDINATE INSTALLATION OF THE VARIOUS UTILITIES TO AVOID CONFLICTS AND ENSURE THAT THE PROPER DEPTHS ARE ACHIEVED.
16. ALL DRY UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE PROPER UTILITY COMPANY STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL DRY UTILITIES BY OTHERS.
17. THE CONTRACTOR SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION.
18. THE CONTRACTOR SHALL COORDINATE THE INSTALLATIONS OF WATER AND SANITARY SERVICES WITH THE LOCAL WATER AND SEWER PROVIDER. THE LOCAL WATER AND SEWER AUTHORITY STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN ALL WATER AND SANITARY SEWER CONSTRUCTION.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE EXACT LOCATION, SIZE, AND MATERIAL OF ANY EXISTING WATER AND/OR SEWER FACILITY PROPOSED FOR CONNECTION OR USE BY THIS PROJECT. THE RELOCATION OF ALL WATER/SEWER FACILITIES SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANY.
20. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL TELEVIEW EXISTING SANITARY SEWER LINE FROM THE POINT OF CONNECTION THROUGH THE NEXT SUCCESSIVE DOWNSTREAM RUN OF PIPE. THE CONTRACTOR SHALL ALSO TELEVIEW ALL NEWLY INSTALLED SANITARY SEWER PIPE TO ENSURE LINES AND GRADES HAVE BEEN MET.
21. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN SANITARY, WATER, STORM, AND PRIVATE UTILITY LINES. MEASUREMENTS SHALL BE TAKEN FROM THE NEAREST EDGE OF THE UTILITIES IN QUESTION.
22. THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE WATER AND SEWER SERVICES SHALL BE 8'. THE MINIMUM VERTICAL SEPARATIONS SHALL BE 18"
23. SANITARY SEWER PIPE SLOPE SHALL BE MEASURED FROM CENTER OF MANHOLE TO CENTER OF MANHOLE.
24. ALL MANHOLES REQUIRE KOR-N-SEAL OR EQUAL RUBBER BOOTS.
25. TOPS FOR SANITARY SEWER MANHOLES PLACED WITHIN PAVED AREAS SHALL BE INSTALLED WITH TRAFFIC READY FRAMES AND SHALL MATCH THE FINISHED PAVEMENT ELEVATIONS. TOPS FOR MANHOLES PLACED WITHIN GRASSED AREAS SHALL MATCH FINISHED GRADE ELEVATIONS. ALL EXISTING MANHOLES & UTILITY BOXES SHALL BE ADJUSTED AS NECESSARY TO MATCH FINISHED GRADING.
26. ALL SANITARY MANHOLES AND PIPE SHALL BE FLUSHED CLEAN OF DEBRIS PRIOR TO TURNING SYSTEM OVER TO OWNER.
27. ALL FIRE HYDRANTS SHALL CONFORM TO LOCAL REQUIREMENTS.
28. THRUST BLOCKS ARE REQUIRED WHEREVER PIPE CHANGES DIRECTION (TEES, BENDS, ETC.).
29. GRAVITY SEWER LINE MATERIAL SHALL BE PVC (SDR35) OR DIP (CLASS 350).
30. THE PRIMARY ELECTRIC SERVICE SHALL BE PROVIDED BY THE LOCAL POWER PROVIDER. THIS INCLUDES THE TRANSFORMER, PAD, TRENCHING, BACKFILL AND COMPACTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE SECONDARY SERVICE. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF BOTH SERVICES.
31. THE GAS SERVICE UP TO THE GAS METER SHALL BE PROVIDED BY THE LOCAL GAS PROVIDER. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE GAS SERVICE.
32. THE GAS AND UNDERGROUND POWER LINES ARE SHOWN FOR INFORMATION PURPOSES ONLY. EXACT LOCATIONS SHALL BE FIELD DETERMINED DURING CONSTRUCTION.

EROSION NOTES

- 1. THE PROJECT TOPOGRAPHIC SURVEY HAS BEEN PROVIDED BY BARRON LAND, LLC. (THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY, OR FOR DESIGN ERRORS OR OMISSIONS AS A RESULT OF SURVEY INACCURACIES.)
2. THE OWNER SHALL ALLOW AND MAINTAIN OFF-STREET PARKING FOR WORKERS ON THE SUBJECT PROPERTY THROUGHOUT CONSTRUCTION.
3. A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ONSITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO THE LATEST EROSION AND SEDIMENT CONTROL REGULATIONS FOR ASSOCIATED FEDERAL, REGIONAL, AND LOCAL REGULATORY AGENCIES.
5. ALL EROSION CONTROL MEASURES SHALL MEET THE REQUIREMENTS AND THE SPECIFICATIONS CONTAINED WITHIN THE CONSTRUCTION DETAILS UNLESS AN EQUAL PRODUCT HAS BEEN PRESENTED TO AND APPROVED BY THE OWNER OR THE OWNERS REPRESENTATIVE.
6. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT THE ENTIRE DURATION OF LAND DISTURBING ACTIVITIES.
7. THE CONTRACTOR SHALL PROTECT ANY BORDERING OR ADJACENT DRAINAGE COURSE AND SHALL REMOVE ANY INTRODUCING CONSTRUCTION DEBRIS OR SPOIL MATERIAL IN AN EXPEDITIOUS MANNER.
8. THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY MARKED AT THE OUTSET OF CONSTRUCTION AND SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF THE CONSTRUCTION ACTIVITY. NO LAND DISTURBANCE SHALL OCCUR OUTSIDE THE APPROVED LIMITS AS INDICATED ON THE APPROVED EROSION CONTROL DRAWINGS. IF WETLANDS EXIST ON-SITE, ALL CLEARING MUST BE PERFORMED IN ACCORDANCE WITH THE APPROVED CORPS WETLANDS PERMIT.
9. A CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED AT THE OUTSET OF CONSTRUCTION AND SHALL BE MAINTAINED APPROPRIATELY IN ORDER TO PREVENT TRACKING ONTO PUBLIC ROADWAYS. ALL MATERIALS SPILLED ONTO A PUBLIC ROADWAY OR INTO A PUBLIC STORM SEWER SHALL BE REMOVED IMMEDIATELY.
10. ONCE A CONSTRUCTION EXIT HAS BEEN APPROPRIATELY INSTALLED, APPROPRIATE PERIMETER EROSION CONTROL AND STORMWATER MEASURES SHALL BE INSTALLED PRIOR TO FURTHER CONSTRUCTION.
11. ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED WITH EITHER PERMANENT HARD SURFACE GROUND COVER VEGETATION.
12. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ACCUMULATED SILT FROM EACH RESPECTIVE EROSION CONTROL MEASURE IN ACCORDANCE WITH THE NOTES AND DETAILS ON THESE DRAWINGS.
13. ALL DISTURBED AREAS LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
14. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
15. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED SHOULD INTERIM DRAINAGE CONDITIONS DIFFER FROM THE APPROVED FINAL CONDITIONS. THE CONTRACTOR SHALL MAKE ADJUSTMENTS ACCORDINGLY IN ORDER THAT SEDIMENT NOT LEAVE THE SITE.
16. THE CONTRACTOR SHALL KEEP AN ON-SITE DAILY LOG OF THE MAINTENANCE OF ALL EROSION CONTROL MEASURES. THE LOG SHALL BE MADE AVAILABLE FOR INSPECTION AT ALL TIMES.

FLOODPLAIN STATEMENT

THE FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR COMMUNITY PANEL 08041C0538G, EFFECTIVE DECEMBER 7, 2018 SHOWS THAT NO PORTION OF THIS DEVELOPMENT LIES WITHIN THE 100 YEAR FLOOD PLAIN OF THE TEMPLETON GAP FLOODWAY, NOR ITS TRIBUTARIES. THE SITE IS LOCATED IN ZONE X, AND AREA OF MINIMAL FLOODING, AS PER THE FIRM.

GEOLOGIC HAZARD WAIVER NOTE

THIS PROPERTY IS SUBJECT TO THE FINDINGS, SUMMARY AND CONCLUSIONS OF A GEOLOGIC HAZARD REPORT PREPARED BY ENTECH ENGINEERING, INC., DATED SEPTEMBER 22, 2023 WHICH IDENTIFIED THE FOLLOWING SPECIFIC HAZARDS: ARTIFICIAL FILL, POTENTIALLY UNSTABLE SLOPES, EROSION, PONDED WATER. A COPY OF SAID REPORT HAS BEEN PLACED WITHIN FILE DEPN-23-0171, OR WITHIN THE SUBDIVISION FILE OF THE CITY OF COLORADO SPRINGS PLANNING AND DEVELOPMENT TEAM. CONTACT THE PLANNING AND DEVELOPMENT TEAM AT 30 SOUTH NEVADA AVE., SUITE 701, COLORADO SPRINGS, CO. IF YOU WOULD LIKE TO REVIEW SAID REPORT.

ADA DESIGN PROFESSIONAL STANDARDS STATEMENT

THE PARTIES RESPONIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ENSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL OR STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

DEMOLITION NOTES:

- 1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXIST. UTILITIES AND GRAVITY STORM AND SANITARY SEWER LINES TO DETERMINE THE ACCURACY OF SURVEY INFORMATION REFLECTED ON THESE DRAWINGS. ADDITIONALLY, THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ALL CONNECTIONS RELATIVE TO THOSE SHOWN ON THESE DRAWINGS. IF DISCREPANCIES ARE DETERMINED CONTACT THE ENGINEER.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXIST. UTILITIES WHICH CONFLICT WITH THE PROPOSED UTILITIES SHOWN ON THE PLANS.

FOR CITY USE:

REVISIONS
DRAWN BY: A.M. & R.S.
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24005174
FILE CODE: ##
SHEET NO: 2 OF 11

811 Know what's below. Call before you dig. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THE CONTRACTOR OR WHICH MIGHT BE INCURRED BY ANY OTHER PERSONS. NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THE CONTRACTOR OR WHICH MIGHT BE INCURRED BY ANY OTHER PERSONS. COPYRIGHT © 2024 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC. 24 HOUR EMERGENCY CONTACT ... BRC COLORADO SPRINGS BLACK ROCK DEVELOPMENT COMPANY, LLC CONSTRUCTION DRAWINGS NOTES S25-TT135-R66W 5560 BARNES ROAD COLORADO SPRINGS EL PASO COUNTY, CO 866.850.4200 www.atwell-group.com 9001 AIRPORT FREEWAY, SUITE 660 NORTH RICHLAND HILLS, TX 76180 972.862.0860

