

Project Name: _____ Date: _____
 Address: _____ Zone: _____
 Applicant: _____
 Applications: _____
 Planner: _____



1 City Engineering	Patrick Morris Patrick.Morris@coloradosprings.gov	P: 385-5075	Joel Dagnillo Joel.Dagnillo@coloradosprings.gov	P: 385-5412
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1. Assess and repair all deficient curb, gutter, sidewalks, ped ramps, crosspans or driveway aprons adjacent to site fronting right-of-way
2. Install curb and gutter adjacent to public street if not in place
3. Install public sidewalk if not in place. Options: 5' detached or 6' attached, with exceptions if there is a park trail or if along a major arterial
4. Driveway aprons and ped ramps installed to be to City and ADA standards
5. If there is a public street needed for access or needs to be widened to City Standard, this must be constructed with development
6. Number and location of property access points
7. Geological Hazard Report or Waiver needed if site is west of I-25 or in a Hillside Overlay area
8. Are there existing or proposed easements?

2 Water Quality	Jonathan Scherer - South and Urban areas Jonathan.Scherer@coloradosprings.gov	P: 385-5546	Anna Bergmark - Northeast Anna.Bergmark@coloradosprings.gov	P: 385-5613
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- Drainage Report:** 1. Drainage Memo 2. Drainage Letter 3. Final Drainage Report
 4. Master Dev. Drainage Plan (MDDP) 5. Drainage Basin Planning Study 6. Preliminary Drainage Report
Disturbed Area: Over 1 Acre? - Link to SWENT website -

Joel Metzker - Central Joel.Metzker@coloradosprings.gov	P: 385-7719
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3 Traffic Engineering	Zaker Alazzeh Brian Shevock	P: 385-5468 P: 385-7620	Zaker.Alazzeh@coloradosprings.gov Brian.Shevock@coloradosprings.gov
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- Possible Issues:** Access location - spacing and width - Line of sight - Turn lanes (accel & decel) requirements - Signal warrants for intersections - Gate locations
 - Traffic Impact Study - School crossing - School queuing - Road connectivity and/or improvements - Public/Private roads and road classifications - Bike/Ped

4 Parks	Connie Schmeisser	P: 385-6533	Constance.Schmeisser@coloradosprings.gov
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1. **Park & School Land Dedication Ordinance:** Will this project create new residential units?
 - PRCS Review Staff will comment on: Land Dedication Requirements (or a Fee In Lieu of land Ded.).
2. **Trails & Open Space:** Is there a Park System Master Plan Public Trail or Open Space adjacent to this site?
3. **Forestry:** Are there Existing or Proposed Public Street Trees? Proposed tree removals are evaluated and may require a tree appraisal and fee.
4. **SIMD:** Does this project site fall within an SIMD, BID Boundary which PRCS Dept Administers?(Cityveiw/Springsview offers SIMD layers)

Jeff.Cooper@coloradosprings.gov City Forester Eric.Becker@coloradosprings.gov SIMD Administrator Emily.Duncan@coloradoprings.gov Trails Coordinator

5 Landscape Architect	Daniel Gould	P: 385-5375	Daniel.Gould@coloradosprings.gov
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1. **Landscape Code and Policy Manual** - <https://coloradosprings.gov/sites/default/files/planning/landscape.pdf>
2. **Preliminary Landscape Plan Check** - https://coloradosprings.gov/sites/default/files/planning/prelim_ls_plan.pdf
3. **Final Landscape Plan Check List** - https://coloradosprings.gov/sites/default/files/planning/final_ls_plan.pdf
4. **Irrigation Plan Check List** - https://coloradosprings.gov/sites/default/files/planning/irrigation_plan.pdf

6 Plat Recording Fees	Candy Fontecchio P: 385-5191	candy.fontecchio@coloradosprings.gov
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7 CSFD - Fire	Steve Smith P: 385-7362 Steven.Smith@coloradosprings.gov	
		Fire Hydrant/Fire Line/Water Main Review/Questions: Dee Withee P: 385-7361 Dee.Withee@coloradosprings.gov Stefan Manning P: 385-7351 Stefan.Manning@coloradosprings.gov

8 CSU - Utilities	Yes/No	Contact	P:	Email
1. Are utilities available adjacent to the site?-----		Drew Makings:	668-8127	dmakings@csu.org
2. Are mainline extensions required?-----		Matt Williams:	668-7211	mlwilliams@csu.org
3. Will public and/or private easements be required?-----		Mike Gackle:	668-8262	mgackle@csu.org
4. Will hydrants or a fire service line be required?-----				
5. Are a Utility Service Plan and/or Utility Construction Plan(s) required?-----				
6. Will a grease or sand/oil interceptor be required?-----				
7. Is an HGL required for this project -----				
8. Is a WWFMR Required For this project? -----				

9 Public Safety	Bootsy Jones P: 385-5362	Bootsy.Jones@coloradosprings.gov
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10 Enumerations	Amy Vanderbeek P: 327-2930 amy@pprbd.org	Brent Johnson P: 327-2888 brent@pprbd.org
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See separate handout

11 Flood Plain	Amy Vanderbeek P: 327-2930 amy@pprbd.org	Brent Johnson P: 327-2888 brent@pprbd.org
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12 Comprehensive Plan	Carl Schueler P: 385-5391	Carl.Schueler@coloradosprings.gov
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City of Colorado Springs Impact Analysis: Citywide Development Impact Fees

File: LDTC 10/2/24
 Portion of 5560 Barnes
 Address: Colorado Springs, Colorado
 Parcel/TSN: 6325106040

Project Scope: New Coffee Shop
 Current Land Use: Vacant
 New/Redevelopment SF or # of Units: 1,307 sq. ft.

Total Acreage of Entitlement:
 Building Permit Required: Yes
 Fees Due at: Building Permit

Park Land Dedication Ordinance: Not Applicable for Commercial Development

School Land Dedication Ordinance: Not Applicable for Commercial Development

Citywide Development Impact: Police & Fire Fees - Estimate
 Annexation Name: Chaparral Ridge
 Annexation Acreage: 11
 Annexation Fees paid: No prior fees paid or required to be paid.
 Subdivision:

Type of Permit (Non Residential)	Total Existing Use - Sq. Ft.	Total New Use - Sq. Ft.	NET # of Units	Police Fee Calculation	Fire Fee Calculation	Total Police & Fire Fees
Tier I (Retail - Restaurant & Outdoor Seating)	-	1,307	1,307	\$1,228.58	\$1,333.14	\$2,561.72

CDI fees were established to create new Impact Fees for the City per City Code 7.5.532. The estimated amount of fees due is **\$1.96** per unit or **\$2,561.72** total.
 Police and Fire Impact fees apply to all residential and non-residential new development and redevelopment city-wide.
 No Credit or Refund shall be given for redeveloping a parcel to a less intensive use.

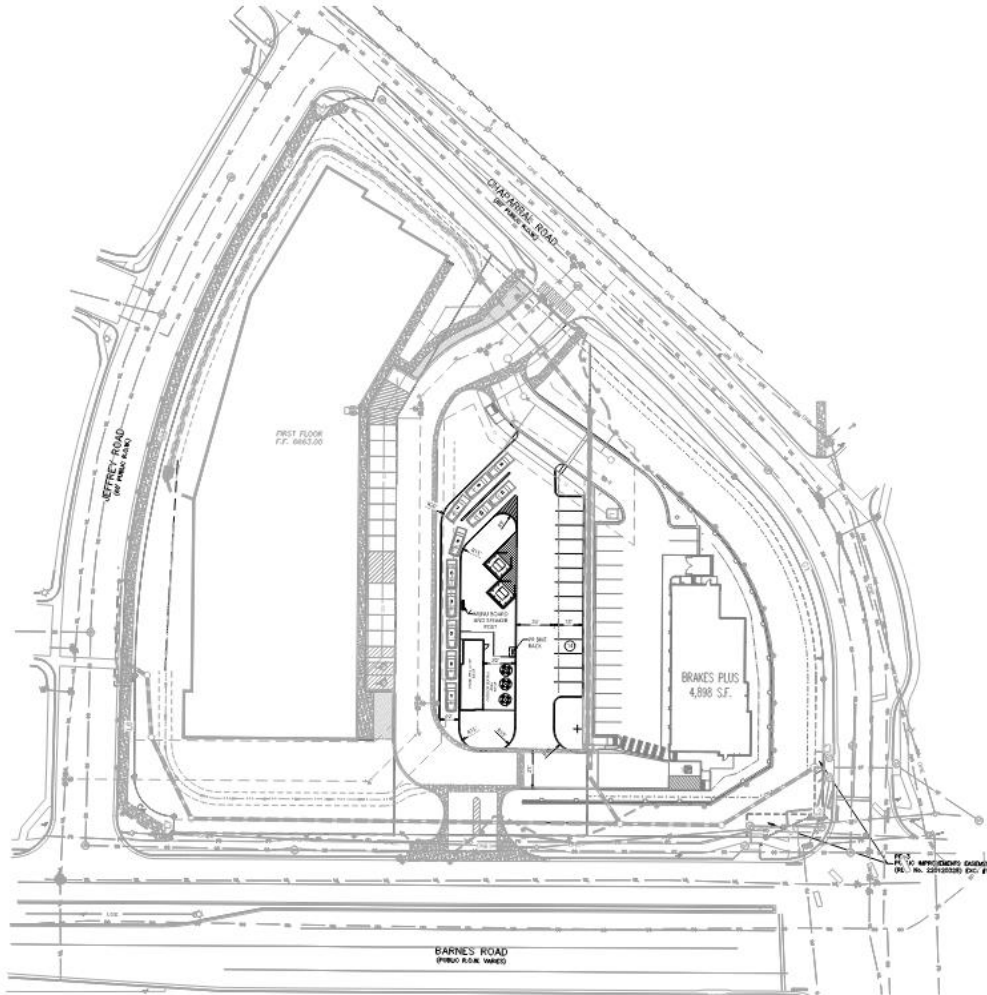
Version 1 - Date: 9/27/2024
 by: Caroline Miller, PLDO Program Administrator
 Email: caroline.miller@coloradosprings.gov
 Phone: (719) 385-5232

LDTC AGENDA

Meeting date: October 2, 2024
 Meeting location: Virtual – Microsoft Teams
 How often occurs: 1st & 3rd Wednesday

TIME SLOT	NAME & CONTACT INFO OF APPLICANT	PROJECT DESCRIPTION & PRIMARY ISSUES	PLANNING DEPT. APPLICATIONS	TAX SCHEDULE NUMBER	PROJECT LOCATION (BE SPECIFIC)	PROJECT PLANNER
8:30 – 8:45	Nicholas Salazar nsalazar@atwell.com	New coffee shop	Development Plan	6325106040	Portion of 5560 Barnes	Logan Hubble

8:45 – 9:00
9:00 – 9:15
9:15 – 9:30
9:30 – 9:45
9:45 – 10:00
10:00 – 10:15
10:15 – 10:30
10:30 – 10:45
10:45 – 11:00
11:00 – 11:15
11:15 – 11:30
11:30 – 11:45
11:45 – 12:00



- Remove and replace all existing curb, gutter, sidewalk, pedestrian ramps, crosspans, etc. in poor condition along Chaparral and Barnes adjacent to this lot.
- Geological hazard report has been reviewed/approved for this subdivision
- Barnes Rd. is under a moratorium through June 2026 due to City 2C pavement overlay. Contact Streets Department if any excavating must occur in this roadway.

