

# GRANDVIEW FILING 2 WATER AND WASTEWATER CONSTRUCTION DOCUMENTS

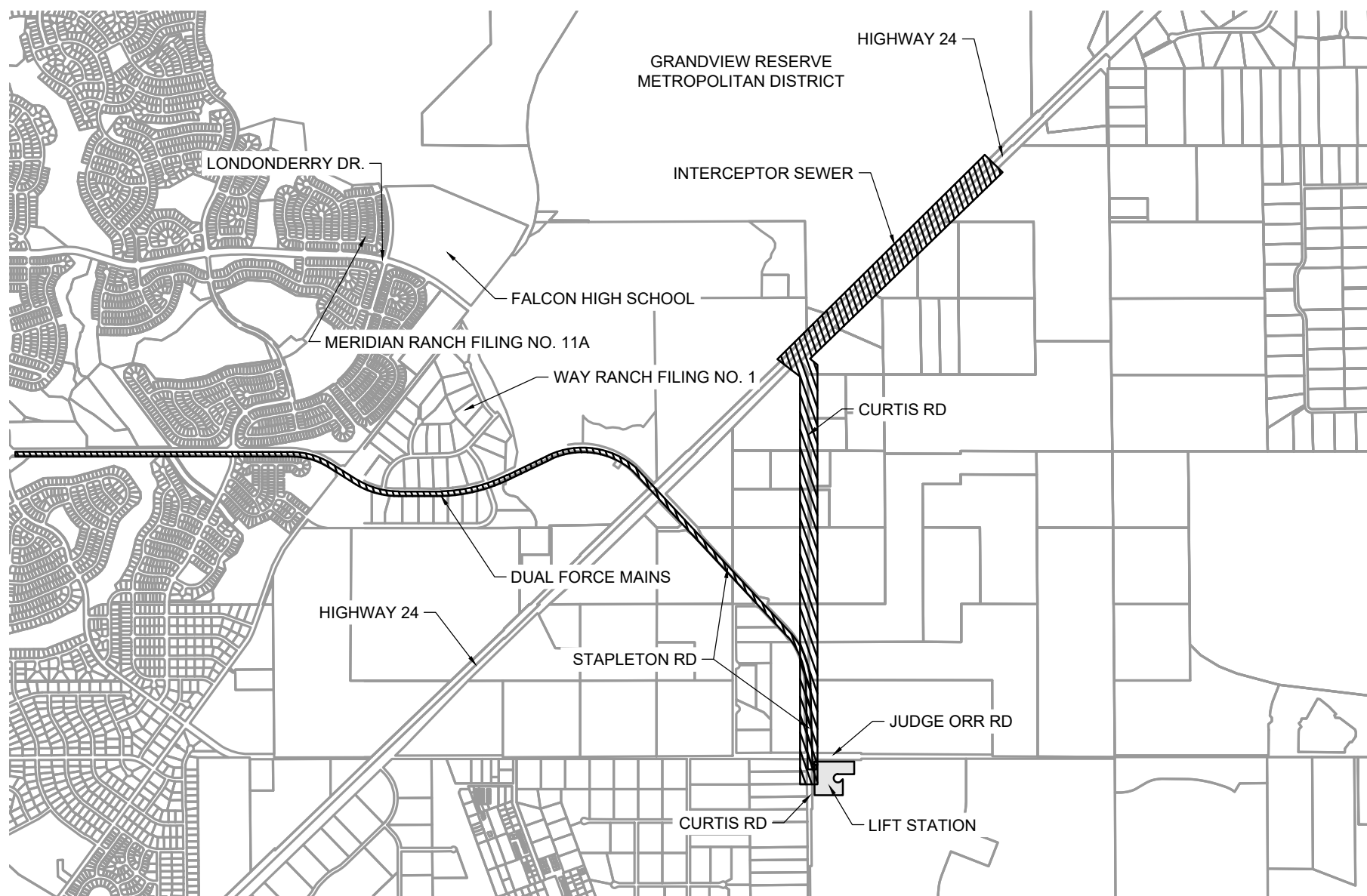
## COUNTY OF EL PASO, STATE OF COLORADO

### SITE DEVELOPMENT PLAN

SEPTEMBER 2024

#### GENERAL CONSTRUCTION NOTES:

- CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE CALL SERVICE 811 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR INTERFERENCE OR DELAY CAUSED BY REPAIRS FOR DAMAGED UTILITIES.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.
- CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY/WHMD/OWNER PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ECT. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.
- CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS, AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.
- SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.
- STORM SEWERS, CULVERTS, AND DITCHES: CONTRACTOR SHALL MONITOR THE WEATHER AND MAINTAIN STORM WATER FLOW AT ALL TIMES AND SHALL SCHEDULE REMOVALS SUCH THAT WET WEATHER AND RAIN EVENTS WILL NOT CREATE DAMAGING BACKUPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FLOW DIVERTING AND/OR BYPASS PUMPING AS NECESSARY TO FACILITATE CONSTRUCTION. THE COST FOR MAINTAINING, DIVERTING, OR PUMP STORM FLOWS SHALL BE INCIDENTAL TO THE PROJECT.
- CONTRACTOR TO MAINTAIN A MAXIMUM CONSTRUCTION EASEMENT WIDTH OF 24 FEET.



**VICINITY MAP**

1"=2500'

#### SHEET INDEX

INITIAL-INTERIM EROSION CONTROL	C110
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#### SHEET NO.

#### PROJECT CONTACTS:

**OWNER/DEVELOPER**  
D.R. HORTON  
9555 S. KINGSTON COURT, SUITE 200  
ENGELWOOD, CO 80112  
TELE: (303) 488-0061  
ATTN: RILEY HILLEN, PE AND BRYAN REID, PE  
EMAIL: RHILLEN@DRHORTON.COM AND  
BAREID1@DRHORTON.COM

**APPLICANT**  
HR GREEN  
5613 DTC PARKWAY | SUITE 950  
GREENWOOD VILLAGE, CO 80111  
TELE: (720) 602-4999  
ATTN: GREGORY PANZA P.E.  
EMAIL: GPANZA@HRGREEN.COM

**CIVIL ENGINEER**  
HR GREEN  
5613 DTC PARKWAY | SUITE 950  
GREENWOOD VILLAGE, CO 80111  
TELE: (720) 602-4999  
ATTN: GREGORY PANZA P.E.  
EMAIL: GPANZA@HRGREEN.COM

**GEOTECHNICAL ENGINEER**  
COMPANY: CTL | THOMPSON  
ADDRESS: 5170 MARK DABLING BLVD  
COLORADO SPRINGS, CO 80918  
TELE: (719) 528-8300  
ATTN: JEFF JONES  
EMAIL: COLORADOSPRINGS@CTLTHOMPSON.COM

**TRAFFIC ENGINEER**  
LSC TRANSPORTATION CONSULTANTS INC.  
2504 EAST PIKES PEAK AVENUE, SUITE 304  
COLORADO SPRINGS, CO 80909  
TELE: &719) 633-2868  
ATTN: JEFFREY C. HODSON, P.E.  
EMAIL: LSC@LSCTRANS.COM

**SURVEYOR**  
EDWARD-JAMES SURVEYING, INC.  
926 ELKTON DRIVE  
COLORADO SPRINGS, CO 80907  
TELE: (719) 576-1216  
ATTN: JONATHAN W. TESSIN  
EMAIL: JTTESSIN@EJSURVEYING.COM

#### UTILITY CONTACTS

**WATER**  
GRANDVIEW RESERVE METROPOLITAN DISTRICT  
1272 KELLY JOHNSON BLVD. SUITE 100  
COLORADO SPRINGS, CO 80921  
TELE: (719) 499-8416  
ATTN: PAUL HOWARD  
EMAIL: PAULINFINITY1@MSN.COM

**WASTEWATER / WATER**  
WOODMEN HILLS METRO DISTRICT  
8046 EASTONVILLE ROAD  
FALCON, CO 80831  
TELE: (719) 495-2500  
CONTACT: CODY RITTER  
EMAIL: CODY@WHMD.ORG

**ELECTRIC / FIBER**  
MOUNTAIN VIEW ELECTRIC ASSOCIATION  
11140 E. WOODMEN RD.  
FALCON, CO 80831  
TELE: (800) 388-9881  
ATTN: GINA PERRY  
EMAIL: GINA.P@MVEA.COOP

**NATURAL GAS**  
BLACK HILLS ENERGY  
198 COUNTY LINE RD.  
PALMER LAKE, CO 80133  
TELE: (719) 332-5856  
ATTN: BOB SWATEK  
EMAIL: BOB.SWATEK@BLACKHILLSCORP.COM

**FIRE**  
FALCON FIRE PROTECTION DISTRICT  
7030 OLD MERIDIAN RD.  
FALCON, CO 80831  
TELE: (719) 495-4050  
ATTN: TRENT HARWIG  
EMAIL: THARWIG@FALCONFIREPD.ORG

**COMMUNICATIONS**  
CENTURY LINK  
ZAYO  
USWEST

#### EL PASO COUNTY STANDARD CONSTRUCTION NOTES:

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES. WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
  - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
  - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
  - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
  - CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PSD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. (IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.)
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

#### SITE DATA:

PARCEL: 4300000635  
PROPERTY ADDRESS: 14830 ROCOSO TRAIL  
EXISTING ZONING: RR-2.5  
PARCEL SIZE: 326.51 ACRES

LEGAL DESCRIPTION: A PARCEL OF LAND LOCATED IN SECTION 3, TOWNSHIP 13 SOUTH, RANGE 64 WEST OF THE 6TH PM, COUNTY OF EL PASO, STATE OF COLORADO.

EXISTING LAND USE: UNDEVELOPED/NATURAL CONDITIONS  
LOT AREA: 5.04 ACRES  
BUILDING AREA: 2,732.43 SF  
PARKING WILL BE FOR MAINTENANCE ONLY  
OPEN SPACE: 35.4%  
LANDSCAPING: 54.4%  
IMPERMEABLE SURFACE AREA: 10.2%

THE OWNER AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE RESOLUTION (RESOLUTION NUMBER 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT THE TITLE SEARCH WOULD FIND THE OBLIGATION BEFORE SALE OF THE PROPERTY.

#### APPROVALS:

##### ENGINEER'S STATEMENT (FOR STANDALONE GEC PLAN):

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

GREG PANZE, P.E. \_\_\_\_\_ DATE \_\_\_\_\_  
FOR AND ON BEHALF OF HR GREEN, INC.

##### OWNER'S STATEMENT (FOR STANDALONE GEC PLAN):

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

OWNER'S SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

##### EL PASO COUNTY (STANDALONE GEC PLAN):

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED. II IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

JOSH PALMER, P.E. \_\_\_\_\_ DATE \_\_\_\_\_  
COUNTY ENGINEER / ECM ADMINISTRATOR

PCD# - PPR-24-21

DRAWN BY: ACH JOB DATE: 12/19/2024  
APPROVED: GLP JOB NUMBER: 201662.07  
CAD DATE: 12/19/2024  
CAD FILE: J:\2020\201662.07\CAD\Drawings\C\lift\_station\Elpaso county\_LS\_Cover\_GESC\_UPDATED\_12

NO.	DATE	BY	REVISION DESCRIPTION
1	12/19/24		

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D.R. HORTON - GRANDVIEW RESERVE  
SANITARY SEWER LIFT STATION  
DESIGN & PERMITTING SERVICES  
EL PASO COUNTY  
PEYTON, CO



EROSION AND GRADING CONTROL PLANS  
COVER SHEET

SHEET  
TS1 01



HR GREEN Xrns: XV-Row; XV-Util; xgl-1-dh01-Ls; XC-Lift-Station; XC-Electrical; XC-Driveway; XC-Utli; XC-Dagn; XC-Initial-EC; XV-Dagn; Legend; Erosion\_Control\_Key; 01-DC-San-Fm; XV-Fema; Plug Valve MH

### LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
MATCH LINE	---	---	STORM SEWER		
PHASE LINE	---	---	MANHOLE		
SECTION LINE	---	---	STORM INLET		
PROPERTY LINE	---	---	FLARED END SECTION		
EASEMENT LINE	---	---	RIPRAP		
ASSUMED EASEMENT	---	---	SANITARY SEWER		
RIGHT OF WAY	---	---	CLEAN OUT		
CENTERLINE	---	---	MANHOLE		
CHAIN LINK FENCE	---	---	PLUG		
WOODEN FENCE	---	---	WATER		
ROD IRON FENCE	---	---	FIRE HYDRANT		
GUARDRAIL	---	---	FIRE DEPT. CONNECTION		
CABLE TV	---	---	GATE VALVE		
U.G. ELECTRIC	---	---	MANHOLE		
OVERHEAD ELECTRIC	---	---	METER		
FIBER OPTIC	---	---	TEE		
GAS MAIN	---	---	REDUCER		
SANITARY SEWER	---	---	DRY UTILITIES		
STORM DRAIN	---	---	ELECTRIC METER		
TELEPHONE	---	---	ELECTRIC PEDESTAL		
WATER MAIN	---	---	ELECTRICAL CABINET		
SWALE	---	---	ELECTRIC VAULT		
TRAIL	---	---	FIBER OPTIC PULL BOX		
CURB & GUTTER	---	---	FIBER OPTIC MANHOLE		
DRAINAGE BASIN	---	---	FIBER OPTIC PEDESTAL		
INDEX CONTOUR	---	---	FIBER OPTIC SIGN		
INTER. CONTOUR	---	---	FIBER OPTIC VAULT		
100-YR FLOODPLAIN	---	---	GAS METER		
FLOODWAY	---	---	GAS SIGN		
EDGE OF WETLANDS	---	---	GAS VAULT		
			TELEPHONE CABINET		
			TELEPHONE MANHOLE		
			TELEPHONE SIGNAL/MAST		
			TELEPHONE SIGN		
			TELEPHONE PEDESTAL		
			TRANSFORMER		
			LIGHT POLE		
			FIBER OPTIC VAULT		
			MISCELLANEOUS		
			SIGN		
			BOLLARD		
			ACCESSIBLE PARKING		

#### BMP LEGEND:

	(CWA)	CONCRETE WASHOUT AREA
	(CF)	CONSTRUCTION FENCE
	(DD)	DIVERSION DITCH
	(IP)	INLET PROTECTION
	(OP)	OUTLET PROTECTION
	(SF)	SILT FENCE
	(VTC)	VEHICLE TRACKING CONTROL
	(SSA)	STABILIZED STAGING AREA
	(LOC)	LIMITS OF CONSTRUCTION/DISTURBANCE
	(CD)	CHECK DAM
	(SM)	SEEDING AND MULCHING
	(SB)	SEDIMENT BASIN
	(SR)	SURFACE ROUGHENING
	(ECB)	EROSION CONTROL BLANKET
	(CIP)	CULVERT INLET PROTECTION
	(RS)	ROCK SOCK
	(SBB)	STRAW BALE BARRIER

DRAWN BY: BDB      JOB DATE: 9/11/2024      BAR IS ONE INCH ON OFFICIAL DRAWINGS.  
 APPROVED: JPF      JOB NUMBER: 201662.07      0" = 1"  
 CAD DATE: 9/16/2024      IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.  
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NO.	DATE	BY	REVISION DESCRIPTION



D.R. HORTON - GRANDVIEW RESERVE  
 SANITARY SEWER LIFT STATION  
 DESIGN & PERMITTING SERVICES  
 EL PASO COUNTY  
 PEYTON, CO



CIVIL  
 LEGENDS

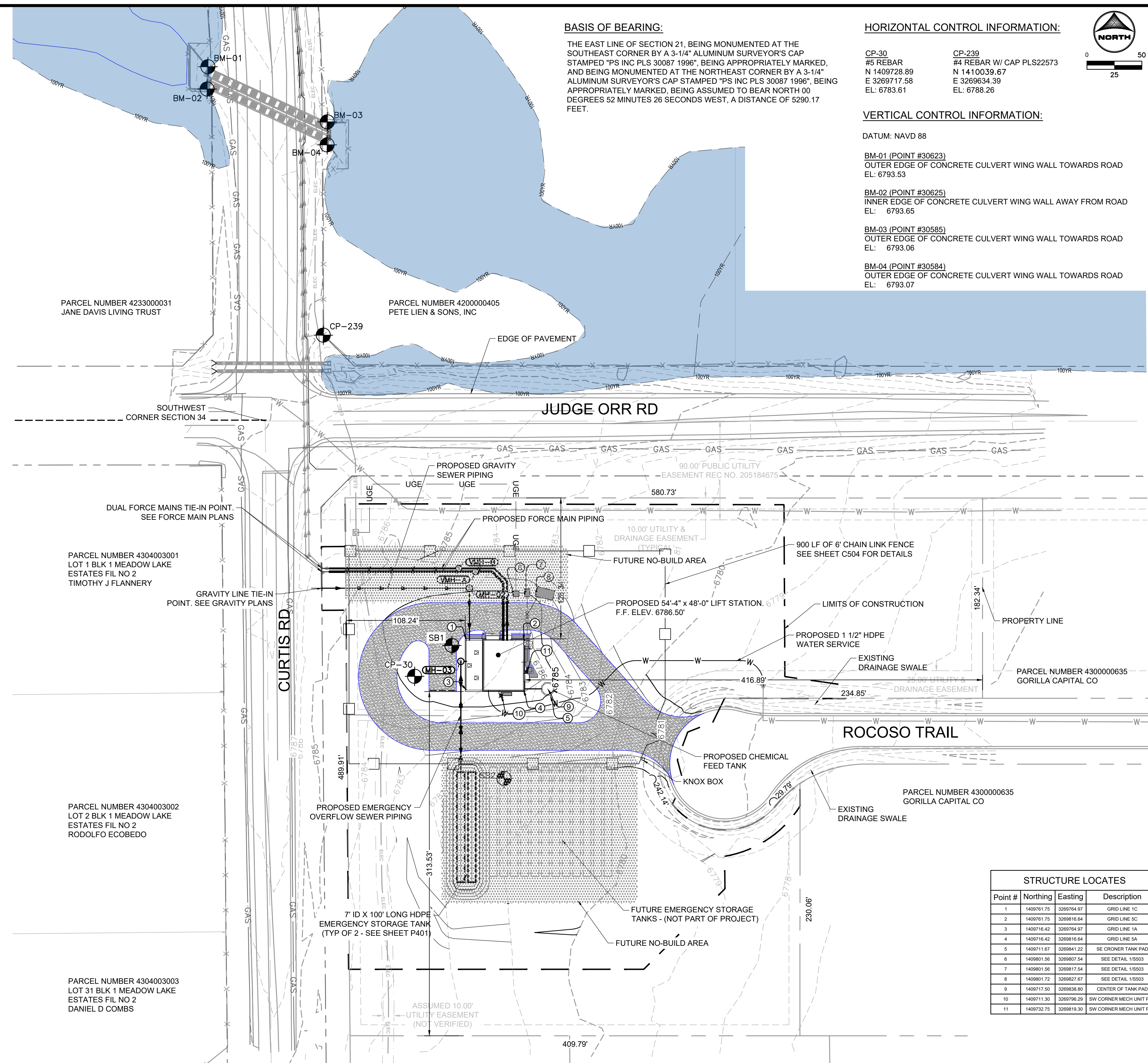


SHEET  
 C100

90% CONSTRUCTION DOCUMENTS



HR GREEN Xrns: XV-Row; XV-Util; xgl-1-dh01-Ls; XC-Lift-Station; XC-Electrical; XC-Driveway; XC-Utility; XC-Degr; XC-Initial-EC; XV-Degr; Legend; Erosion\_Control\_Key; 01-DC-San-Fm; XV-Fema; Plug Valve MH



**BASIS OF BEARING:**

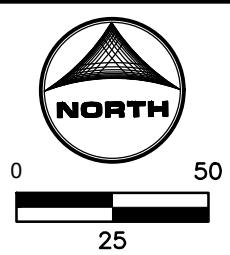
THE EAST LINE OF SECTION 21, BEING MONUMENTED AT THE SOUTHEAST CORNER BY A 3-1/4" ALUMINUM SURVEYOR'S CAP STAMPED "PS INC PLS 30087 1996", BEING APPROPRIATELY MARKED, AND BEING MONUMENTED AT THE NORTHEAST CORNER BY A 3-1/4" ALUMINUM SURVEYOR'S CAP STAMPED "PS INC PLS 30087 1996", BEING APPROPRIATELY MARKED, BEING ASSUMED TO BEAR NORTH 00 DEGREES 52 MINUTES 26 SECONDS WEST, A DISTANCE OF 5290.17 FEET.

**HORIZONTAL CONTROL INFORMATION:**

CP-30 #5 REBAR N 1409728.89 E 3269717.58 EL: 6783.61  
 CP-239 #4 REBAR W/ CAP PLS22573 N 1410039.67 E 3269634.39 EL: 6788.26

**VERTICAL CONTROL INFORMATION:**

DATUM: NAVD 88  
 BM-01 (POINT #30623) OUTER EDGE OF CONCRETE CULVERT WING WALL TOWARDS ROAD EL: 6793.53  
 BM-02 (POINT #30625) INNER EDGE OF CONCRETE CULVERT WING WALL AWAY FROM ROAD EL: 6793.65  
 BM-03 (POINT #30585) OUTER EDGE OF CONCRETE CULVERT WING WALL TOWARDS ROAD EL: 6793.06  
 BM-04 (POINT #30584) OUTER EDGE OF CONCRETE CULVERT WING WALL TOWARDS ROAD EL: 6793.07



**GENERAL NOTES:**

- "SCREENED" (LIGHT) DELINEATION SHOWN IN THIS SHEET DENOTES EXISTING CONDITIONS. "SCREENED" INFORMATION WAS TAKEN FROM PREVIOUS CONSTRUCTION DRAWINGS AND FIELD SURVEY, IS FOR REFERENCE ONLY, AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING OF MATERIALS AND BEGINNING CONSTRUCTION. "BOLD" DELINEATION IS NEW WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.
- ALL INFORMATION PROVIDED WAS TAKEN FROM SURVEYS AND/OR EXISTING PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL HORIZONTAL AND VERTICAL INFORMATION BEFORE BEGINNING ANY WORK.
- CONTRACTOR SHALL MAKE PROVISIONS TO MAINTAIN EXISTING LEVEL OF SECURITY AT SITE AT ALL TIMES.
- OWNER IS NOT RESPONSIBLE FOR SECURED/UNSECURED STORED MATERIALS STORED ON SITE.
- ALL WORK INVOLVED IN THIS PROJECT SHALL BE CONSTRUCTED ON DEVELOPER OWNED LAND, EL PASO COUNTY OWNED RIGHT-OF-WAY, OR ON EASEMENTS OBTAINED BY THE DEVELOPER. CONTRACTOR SHALL RESTRICT CONSTRUCTION OPERATIONS TO WITHIN THE DESIGNATED RIGHT-OF-WAY OR CONSTRUCTION EASEMENTS. ACCESS TO ALL WORK AREAS SHALL BE BY ACCESS EASEMENTS DEFINED ON DRAWINGS. NO MATERIALS, EXCAVATED MATERIAL, OR MATERIAL, OR EQUIPMENT SHALL BE STORED ON, PARKED ON, DEPOSITED ON, OR DRIVEN OVER ANY PRIVATE PROPERTY UNLESS WRITTEN AUTHORIZATION IS OBTAINED FROM THE PROPERTY OWNER BY THE CONTRACTOR. A COPY OF SUCH WRITTEN AGREEMENT SHALL BE PROVIDED TO THE CITY AND THE ENGINEER. UPON COMPLETION, CONTRACTOR SHALL PROVIDE TO THE CITY AND THE ENGINEER A WRITTEN RELEASE SIGNED BY THE PROPERTY OWNER.
- CONTRACTOR SHALL MEASURE, RECORD, AND SUBMIT RECORD DRAWINGS AS REQUIRED IN CLOSEOUT SUBMITTALS SPECIFICATION SECTION. ADDITIONALLY, THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE ENGINEER DURING CONSTRUCTION AND SHALL PROVIDE ACCESS TO ALL UTILITIES PRIOR TO BEING BURIED; ALLOWING ACCURATE HORIZONTAL AND VERTICAL MEASUREMENTS TO BE ACQUIRED BY THE ENGINEER OR OWNER'S SURVEYOR. IN THE EVENT OF ANY DISCREPANCIES IDENTIFIED BY WOODMENHILLS METROPOLITAN DISTRICT (WHMD) AND AT NO COST TO WHMD, THE CONTRACTOR SHALL VERIFY THE LOCATION AND MEASUREMENTS OF ANY BURIED UTILITIES.
- THE CONTRACTOR SHALL VIDEO RECORD THE ENTIRE PROJECT PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS. THE CONTRACTOR SHALL PROVIDE ONE COPY TO THE OWNER AND ONE COPY TO THE ENGINEER PRIOR TO PROCEEDING WITH ANY FIELD WORK.
- 2023 WHMD WATER AND WASTEWATER STANDARD SPECIFICATIONS SHALL APPLY TO THIS PROJECT.
- TYPICAL WHMD STANDARDS AND SPECIFICATIONS ARE CALLED OUT PERIODICALLY THROUGHOUT PROJECT DOCUMENTS TO PROVIDE CLARIFICATION TO THE WHMD STANDARD SPECIFICATIONS OR FOR CONTRACTOR REFERENCE. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE WHMD STANDARD SPECIFICATIONS. WHMD REFERENCE CALLOUTS DO NOT NEGATE CONTRACTOR FROM FOLLOWING ANY WHMD SPECIFICATIONS NOT EXPLICITLY CALLED OUT IN PROJECT DRAWINGS.
- CONTRACTOR SHALL CONTACT THE PRINCIPAL INSPECTOR 24 HOURS BEFORE BEGINNING CONSTRUCTION. CONTACT INFORMATION WILL BE PROVIDED AT THE PRECONSTRUCTION MEETING.
- TEMPORARY FENCING: CONTRACTOR SHALL INSTALL AND MAINTAIN CONSTRUCTION FENCE AND PEDESTRIAN PROTECTION IN CONFORMANCE WITH THE INTERNATIONAL BUILDING CODE FOR THE DURATION OF THE PROJECT. PROVIDE TEMPORARY FENCING AROUND ANY OPEN EXCAVATION DURING CONSTRUCTION TO PROHIBIT UNAUTHORIZED ENTRANCE. FENCES SHALL BE CLOSED AT NIGHT. TEMPORARY FENCE MINIMUM 6' TALL CHAIN LINK.
- DURING REMOVAL AND CONSTRUCTION THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS. DUST CONTROL MEASURES SHALL BE IN ACCORDANCE WITH COLORADO SPRINGS STORMWATER ENTERPRISE (SWENT) STORMWATER CONSTRUCTION MANUAL, BE APPROVED BY THE ENGINEER AND SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
- CONTRACTOR RESPONSIBLE TO CLEAN ALL TRACKED DIRT FROM PAVED SURFACES AT END OF EACH WORK DAY. CONTRACTOR RESPONSIBLE TO SWEEP HAUL AND STAGING ROUTE AS NECESSARY TO KEEP CLEAR OF DIRT AND DEBRIS. WATER SHALL BE USED DURING STREET SWEEPING EXCEPT DURING FREEZING CONDITIONS.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLANS REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
- EXISTING CONDITION FOR THE PROPOSED PROJECT SITE WAS NATIVE GRASS WITH NO EXISTING BUILDINGS.
- TRAFFIC PATTERNS FOR PROJECT SITE WILL BE FOR MAINTENANCE AS REQUIRED.
- ONSITE PARKING WILL BE FOR MAINTENANCE ONLY, ADA PARKING SPACES WILL NOT BE LOCATED AT THE LIFT STATION AS IT WILL NOT BE ACCESSIBLE TO THE PUBLIC.
- GARBAGE RECEPTACLES WILL NOT BE PRESENT. SITE WILL BE UNMANNED UNLESS MAINTENANCE IS REQUIRED.

**NOTES:**

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

STRUCTURE LOCATES			
Point #	Northing	Easting	Description
1	1409761.75	3269764.97	GRID LINE 1C
2	1409761.75	3269816.64	GRID LINE 5C
3	1409716.42	3269764.97	GRID LINE 1A
4	1409716.42	3269816.64	GRID LINE 5A
5	1409711.67	3269841.22	SEE CRONER TANK PAD
6	1409801.56	3269807.54	SEE DETAIL 1/S503
7	1409801.56	3269817.54	SEE DETAIL 1/S503
8	1409801.72	3269827.67	SEE DETAIL 1/S503
9	1409711.50	3269838.80	CENTER OF TANK PAD
10	1409711.30	3269796.29	SW CORNER MECH UNIT PAD
11	1409732.75	3269819.30	SW CORNER MECH UNIT PAD



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NO.	DATE	BY	REVISION DESCRIPTION



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 EL PASO COUNTY  
 PEYTON, CO

CIVIL  
 SITE PLAN

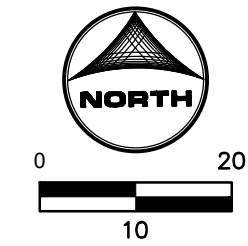
SHEET  
 C101



HR GREEN Xrefs: XC-Dwg; XC-Driveway; XC-Electrical; XC-Lift-Station; XC-Utit; XV-Row; XV-Util; xgt-1-ph01-Ls; XC-Initial-EC



**LEGEND**  
 CUT AREA  
 FILL AREA

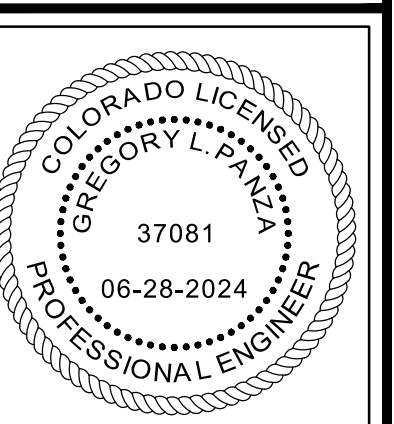


**GENERAL NOTES:**

(GENERAL NOTES CONTAIN EXCERPTS FROM THE GEOTECHNICAL REPORT THAT ARE IN NO WAY MEANT TO RELIEVE CONTRACTOR FROM INFORMATION CONTAINED IN THE GEOTECHNICAL REPORT.)

- REFER TO SHEET S.000 FOR ADDITIONAL GEOTECHNICAL REQUIREMENTS.
- CONTRACTOR SHALL COMPLY WITH SPECIFICATION SECTION 31 5000 FOR SUPPORTS AND PROTECTION.
- CONTRACTOR SHALL COMPLY WITH TECHNICAL SPECIFICATIONS AND WOODMENHILLS METROPOLITAN DISTRICT WATER AND WASTEWATER STANDARD SPECIFICATIONS FOR DEWATERING, GRADING, EXCAVATION, FILL AND BACKFILL, AND TRENCHING. SEE GEOTECHNICAL INVESTIGATION REPORT FOR EARTHWORK RECOMMENDATIONS. INSTALL EARTHWORK ACCORDING TO WOODMENHILLS METROPOLITAN DISTRICT WATER AND WASTEWATER STANDARD SPECIFICATIONS AND RECOMMENDATIONS FROM THE GEOTECHNICAL INVESTIGATION REPORT.
- WATER LEVELS WERE OBSERVED WITHIN THE DEPTHS OF PLANNED EXCAVATION FOR THE PROPOSED STRUCTURES. DEWATERING WILL BE REQUIRED WHERE SEEPAGE IS ENCOUNTERED. GROUNDWATER LEVELS SHOULD BE MAINTAINED AT LEAST TWO FEET BELOW BOTTOM OF EXCAVATION UNTIL FOUNDATION SLABS ARE COMPLETED. THE CONTRACTOR IS RESPONSIBLE FOR EMPLOYING APPROPRIATE DEWATERING METHODS TO CONTROL SEEPAGE INTO THE EXCAVATION. SEE GEOTECHNICAL REPORT AND SPECIFICATION SECTION 31 2319 FOR MORE INFORMATION ON DEWATERING.
- IN AREAS TO ACCEPT FILL, THE TOP 12 INCHES OF THE GROUND SURFACE SHALL BE SCARIFIED AND COMPACTED TO ELIMINATE A PLANE OF WEAKNESS ALONG THE CONTACT SURFACE. EACH LIFT PLACED ABOVE THE FOUNDATION LEVEL SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THE SOIL'S STANDARD PROCTOR DENSITY (ASTM D698). THE MOISTURE CONTENT OF THE COHESIVE SOILS SHOULD BE MAINTAINED WITHIN A RANGE OF 0 PERCENT BELOW TO 4 PERCENT ABOVE THE MATERIALS STANDARD PROCTOR OPTIMUM MOISTURE CONTENT.
- GENERAL FILL MATERIAL TO COMPLY WITH WOODMENHILLS METROPOLITAN DISTRICT WATER AND WASTEWATER STANDARD SPECIFICATIONS AND SHALL BE FREE OF FOREIGN SUBSTANCE, DEBRIS, LARGE STONES, ROCKS, ROOTS, ORGANIC OR FROZEN MATERIAL, EXPANSIVE MATERIAL AND OTHER DELETERIOUS MATERIALS. UNSUITABLE SOILS SHALL BE DISPOSED OF BY THE CONTRACTORS.
- FILL SHALL NOT BE FROZEN AND SHALL NOT BE PLACED ON A FROZEN SURFACE. ALL COHESIVE SOILS USED AS FILL AT THIS SITE SHALL HAVE A MAXIMUM LIQUID LIMIT OF 45 AND A MAXIMUM PLASTICITY INDEX OF 20.
- ENSURE THAT PREVIOUSLY COMPACTED LIFTS ARE SCARIFIED 2 INCHES DEEP PRIOR TO COMPACTING THE NEXT LIFT.
- REMOVE, STOCKPILE, AND REPLACE NATIVE MATERIAL 8 INCHES (TOP SOIL) BELOW EXISTING SURFACE FOR ALL AREAS DISTURBED (NOT SURFACED WITH GRAVEL, RIPRAP, OR OTHER DESIGNATED MATERIALS) WITHIN THE LIMITS OF CONSTRUCTION. NO ADDITIONAL PAYMENT WILL BE MADE FOR TOPSOIL OR MATERIAL THAT THE CONTRACTOR NEEDS TO IMPORT FROM OFFSITE.
- SITE GRADING SHALL PROVIDE FOR POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND FOUNDATIONS UNLESS NOTED OTHERWISE.

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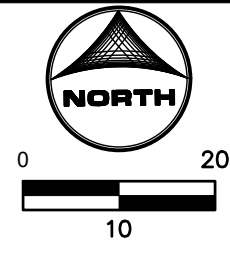
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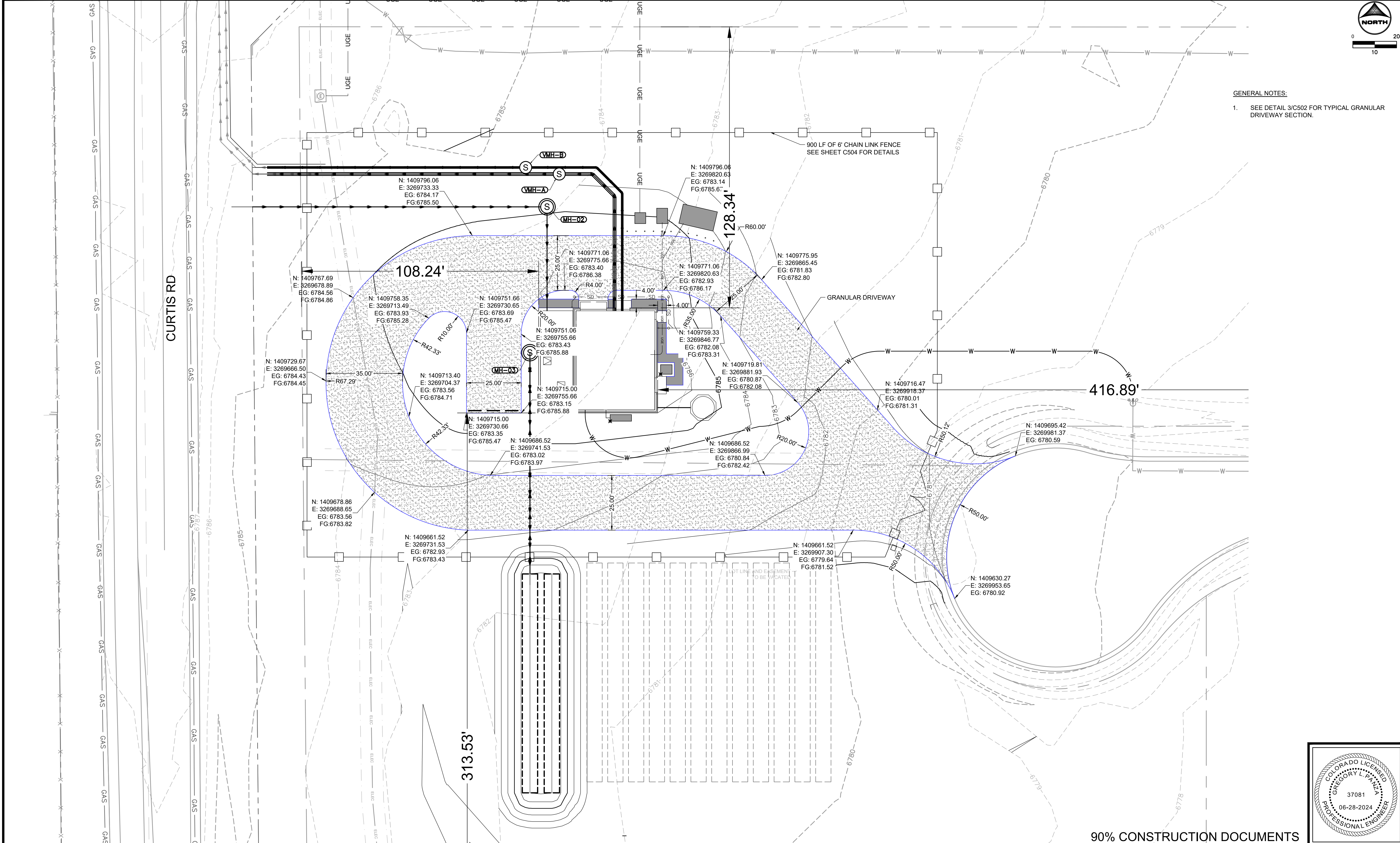
CIVIL  
 SITE GRADING PLAN

SHEET  
 C102





- GENERAL NOTES:**
- SEE DETAIL 3/C502 FOR TYPICAL GRANULAR DRIVEWAY SECTION.



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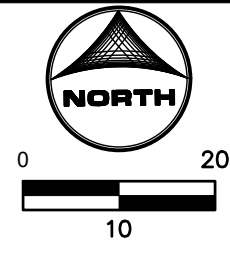
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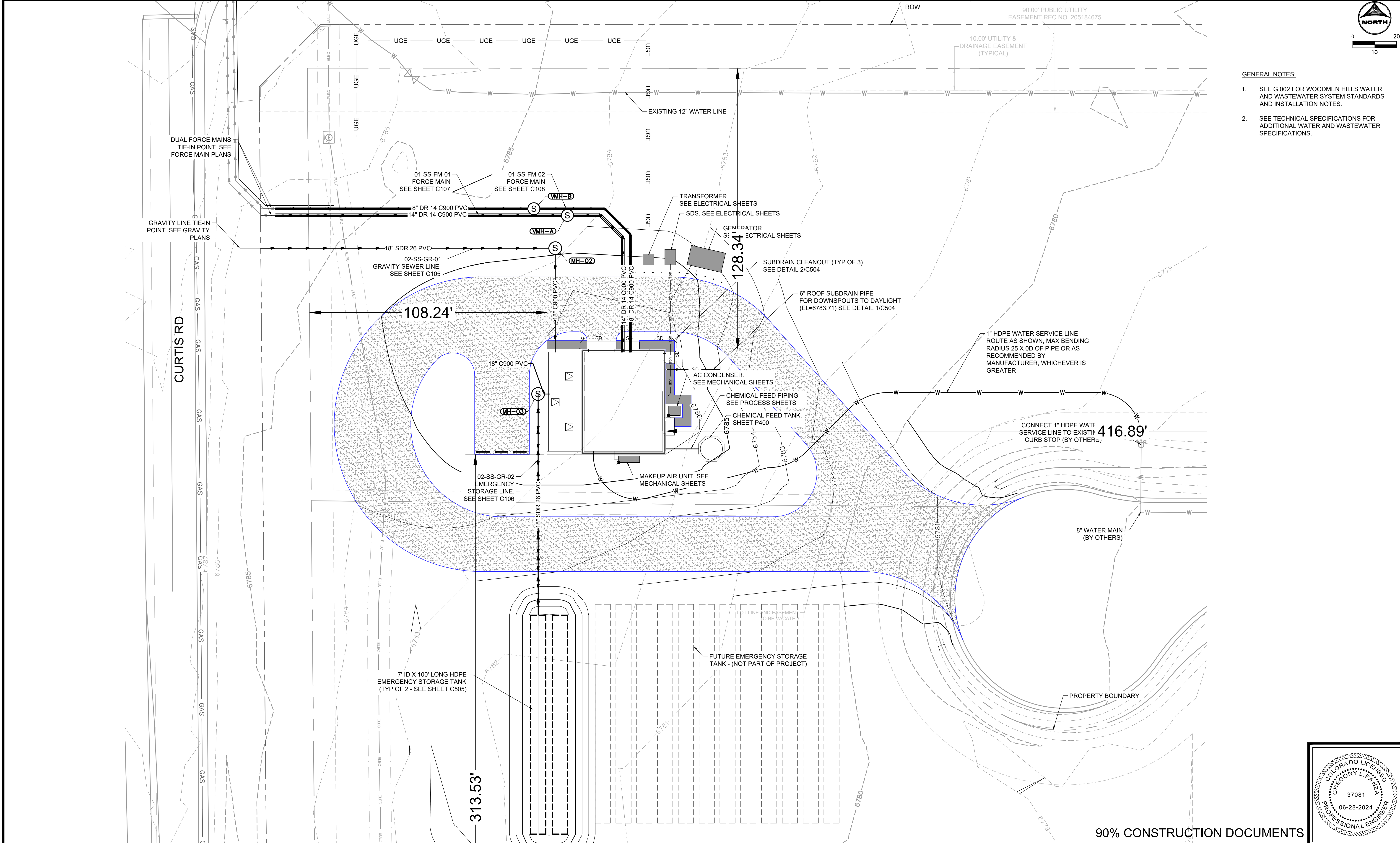
SHEET  
**C103**

HR GREEN Xrefs: XV-Row; XV-Util; xgl-1-dh01-Ls; XC-Lift-Station; XC-Electrical; XC-Driveway; XC-Util; XC-Degr; XC-Initial-EG; XV-Degr; Legend; Erosion\_Control\_Key; 01-DC-San-Fm; XV-Fema; Plug Valve MH





- GENERAL NOTES:**
- SEE G.002 FOR WOODMEN HILLS WATER AND WASTEWATER SYSTEM STANDARDS AND INSTALLATION NOTES.
  - SEE TECHNICAL SPECIFICATIONS FOR ADDITIONAL WATER AND WASTEWATER SPECIFICATIONS.



HR GREEN Xrefs: XV-Row; XV-Util; xgl-1-dh01-Ls; XC-Lift-Station; XC-Electrical; XC-Driveway; XC-Util; XC-Degr; XC-Initial-EC; XV-Degr; Legend; Erosion\_Control\_Key; 01-DC-San-Fm; XV-Fema; Plug Valve MH

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 CIVIL  
 YARD PIPING PLAN



SHEET  
**C104**



## Comment response for SITE DEVELOPMENT PLAN

Page No	Comments	Response
1	incorrect document - this is a SDP not a grading document	Cover sheet updated
1	<p>Unresolved Version 1 SDP:</p> <p>Please include:                      -File Number : PPR2421                      -Parking computations (how many spots and where are they)</p> <p>What is shown on pg 4 must be moved to the first page, and be titled correctly</p>	<p>File Number is addredy added in the Right lower corner of the cover sheet.</p> <p>Parking will not be provided as this is not an occupied building. Check page 3 General Notes point 17.</p> <p>Site data moved to cover page and title has been changed.</p>
3	where are current signs?	Point 17 is removed
3	<p>Please include:                      -Footprint of lift station                      -Layout of parking and dimensions of parking spaces</p>	<p>#Foot print is already given as a leader text.</p> <p>#Parking will not be provided. Check page 3 General Notes point 17</p>
3	<p>The following note should be added to all site development plans or non-residential site plans, as applicable, prior to PCD approval:                      The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice.                      Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.</p>	Note added