SEPTEMBER 2024

DUAL FORCE MAINS

STAPLETON RD

VICINITY MAP

1"=2500'

EL PASO COUNTY STANDARD CONSTRUCTION NOTES:

GRANDVIEW RESERVE

METROPOLITAN DISTRICT

INTERCEPTOR SEWER

- JUDGE ORR RD

(PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.

FUGITIVE DUST PERMITS.

CONSTRUCTION ACCESS POINTS.

NOTES WILL BE PROVIDED.]

TRANSPORT PERMITS.

GRADING, OR CONSTRUCTION.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE

REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL

REQUIRED PERMITS. INCLUDING BUT NOT LIMITED TO EL PASO COUNTY

BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF

CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST

10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM

PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.

11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED

PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18

INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.

SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND

CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY

THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE

ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE,

UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN.

WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM

MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING

DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL

12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE

DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.

OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON

ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED

STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY

ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE

EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL

SHEET NO.

C111

C500

LIFT STATION

incorrect document - this is a SDP not a grading document

GENERAL CONSTRUCTION NOTES:

- CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE CALL SERVICE 811 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- 2. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR INTERFERENCE OR DELAY CAUSED BY REPAIRS FOR DAMAGED UTILITIES.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION, CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR

CITY/WHMD/OWNER PRIOR TO BEGINNING WORK AND IS RESPONSIBLE

- CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS, AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.
- SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILI BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.
- MONITOR THE WEATHER AND MAINTAIN STORM WATER FLOW AT ALL TIMES AND SHALL SCHEDULE REMOVALS SUCH THAT WET WEATHER AND RAIN EVENTS WILL NOT CREATE DAMAGING BACKUPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FLOW DIVERTING AND/OR COST FOR MAINTAINING, DIVERTING, OR PUMP STORM FLOWS SHALL BE INCIDENTAL TO THE PROJECT.

EL PASO COUNTY GRADING AND EROSION CONTROL SHEETS:

- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION. CONTAMINATION. OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SMWP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED. THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER, CONTROL MEASURES FOR ALL SLOPES CHANNELS DITCHES AND DISTURBED LAND AREAS SHALL BE INSTALLED. IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN FEFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL FROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT
- TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
- FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS ANY PROPOSED CHANGES THAT FEFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION
- 10. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE 27. EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
- 11. COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER, AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
- 12. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
- 13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS. INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM

FOR ALL MATERIALS, LABOR, REPAIRS, ECT. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

- 9. STORM SEWERS, CULVERTS, AND DITCHES; CONTRACTOR SHALL BYPASS PUMPING AS NECESSARY TO FACILITATE CONSTRUCTION. THE
- 6. CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND 10. CONTRACTOR TO MAINTAIN A MAXIMUM CONSTRUCTION EASEMENT

- 14. DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER, SUCH WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
 - 15. EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1. CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS NO CONSTRUCTION DEBRIS TREE SLASH BUILDING

DISCHARGED AT THE SITE.

WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN, CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND

MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED. DUMPED. OR

- TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE, ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT. ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ONSITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ONSITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
- STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY 23. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
 - OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.), IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
 - 25. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS
 - 26. PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING
 - A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND
 - 28. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY CTL THOMPSON DATED MARCH 14, 2022 AND SHALL BE CONSIDERED A PART OF THESE PLANS.
 - AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP) OF WHICH THIS GRADING AND FROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT WATER QUALITY CONTROL DIVISION WQCD - PERMITS 4300 CHERRY CREEK DRIVE SOUTH DENVER, CO 80246-1530 ATTN: PERMITS UNIT

SEND MUD MAT SPECIFICATION TO MIKAYLA HARTFORD AT MIKAYLAHARTFORD@ELPASO.COM TO ENSURE MUD MAT USE IS ACCEPTABLE IN EL

COUNTY OF EL PASO, STATE OF COLORADO **GRADING AND EROSION CONTROL PLAN**

Unresolved Version 1 SDP

File Number: PPR2421

Please include:

LONDONDERRY DR.

-Parking computations (how many spots and where are they)

SHEET INDEX

FINAL EROSION CONTROL

OF COLORADO (UNCC).

MANUAL, VOLUMES 1 AND 2

d. CDOT M & S STANDARDS

RESPONSIBILITY TO RECTIFY.

FOLLOWING:

CIVIL DETAILS

CIVIL DETAILS

CIVIL DETAILS

INITIAL-INTERIM EROSION CONTROL

ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE

PASO COUNTY ENGINEERING CRITERIA MANUAL.

STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL

NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS

CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER

GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT

b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA

c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD

GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO

ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO

LAND DEVELOPMENT CODE. THE ENGINEERING CRITERIA MANUAL. THE

DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL

BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS

5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW

OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S

THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF

THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE

VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST

NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE

EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION

PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS,

2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD

UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO

3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE

PLAN (SWMP). THE SOILS AND GEOTECHNICAL REPORT. AND THE

SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE

a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)

SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION

4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR

APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND

OR NOT BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING

PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL 7.

What is shown on pg 4 must be moved to the first page, and be titled correctly

HIGHWAY 24 -

6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT

DEVELOPER'S RESPONSIBILITY TO RECTIFY.

PROJECT CONTACTS:

D.R. HORTON 9555 S. KINGSTON COURT, SUITE 200 ENGELWOOD, CO 80112 TELE: (303) 488-0061 ATTN: RILEY HILLEN, PE AND BRYAN REID, PE EMAIL: RHILLEN@DRHORTON.COM AND BAREID1@DRHORTON.COM

HR GREEN 5613 DTC PARKWAY | SUITE 950 GREENWOOD VILLAGE, CO 80111 TELE:(720) 602-4999 ATTN: GREGORY PANZA P.E. EMAIL: GPANZA@HRGREEN.COM

CIVIL ENGINEER HR GREEN 5613 DTC PARKWAY | SUITE 950 GREENWOOD VILLAGE, CO 80111 TELE: (720) 602-4999 ATTN: GREGORY PANZA P.E. EMAIL: GPANZA@HRGREEN.COM

GEOTECHNICAL ENGINEER

COMPANY: CTL | THOMPSON ADDRESS: 5170 MARK DABLING BLVD COLORADO SPRINGS, CO 80918 TELE: (719) 528-8300 ATTN: JEFF JONES EMAIL: COLORADOSPRINGS@CTLTHOMPSON.COM

TRAFFIC ENGINEER LSC TRANSPORTATION CONSULTANTS INC. 2504 EAST PIKES PEAK AVENUE, SUITE 304 COLORADO SPRINGS, CO 80909 TELE: &719) 633-2868 ATTN: JEFFREY C. HODSON, P.E. EMAIL: LSC@LSCTRANS.COM

EDWARD-JAMES SURVEYING, INC. 926 ELKTON DRIVE COLORADO SPRINGS, CO 80907 TELE: (719) 576-1216 ATTN: JONATHAN W. TESSIN EMAIL: JTESSIN@EJSURVEYING.COM

UTILITY CONTACTS

GRANDVIEW RESERVE METROPOLITAN DISTRICT 1272 KELLY JOHNSON BLVD. SUITE 100 COLORADO SPRINGS, CO 80921 TELE: (719 499-8416 ATTN: PAUL HOWARD EMAIL: PAULINFINITY1@MSN.COM

WASTEWATER / WATER WOODMEN HILLS METRO DISTRICT 8046 EASTONVILLE ROAD **FALCON, CO 80831** TELE: (719) 495-2500 CONTACT: CODY RITTER EMAIL: CODY@WHMD.ORG

MOUNTAIN VIEW ELECTRIC ASSOCIATION 11140 E. WOODMEN RD. **FALCON, CO 80831** TELE: (800) 388-9881 ATTN: GINA PERRY EMAIL: GINA.P@MVEA.COOP

NATURAL GAS **BLACK HILLS ENERGY** 198 COUNTY LINE RD. PALMER LAKE, CO 80133 TELE: (719) 332-5856 ATTN: BOB SWATEK EMAIL: BOB.SWATEK@BLACKHILLSCORP.COM

FALCON FIRE PROTECTION DISTRICT 7030 OLD MERIDIAN RD. **FALCON, CO 80831** TELE: (719) 495-4050 ATTN: TRENT HARWIG EMAIL: THARWIG@FALCONFIREPD.ORG

COMMUNICATIONS CENTURY LINK ZAYO USWEST

APPROVALS:

ENGINEER'S STATEMENT (FOR STANDALONE GEC PLAN)

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

G PANZE, P.E.
AND ON BEHALF OF HR GR

REEN, INC.

OWNER'S STATEMENT (FOR STANDALONE GEC PLAN):

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL

OWNER'S SIGNATURE

EL PASO COUNTY (STANDALONE GEC PLAN):

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/ OR ELEVATIONS WHICH SHALL BE | CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/ OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED. II IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A

PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

JOSH PALMER, P.E.

COUNTY ENGINEER / ECM ADMINISTRATOR

PCD# - PPR-24-21

BAR IS ONE INCH ON REVISION DESCRIPTION DRAWN BY: ACH JOB DATE: DATE 7/18/2024 OFFICIAL DRAWINGS APPROVED: GLP JOB NUMBER: 201662.07 IF NOT ONE INCH, CAD DATE: <u>9/16/2024</u> ADJUST SCALE ACCORDINGLY CAD FILE: J:\2020\201662.07\CAD\Dwgs\C\Lift_Station\Elpaso county_LS_Cover GESC



D.R. HORTON - GRANDVIEW RESERVE SANITARY SEWER LIFT STATION **DESIGN & PERMITTING SERVICES** EL PASO COUNTY PEYTON, CO

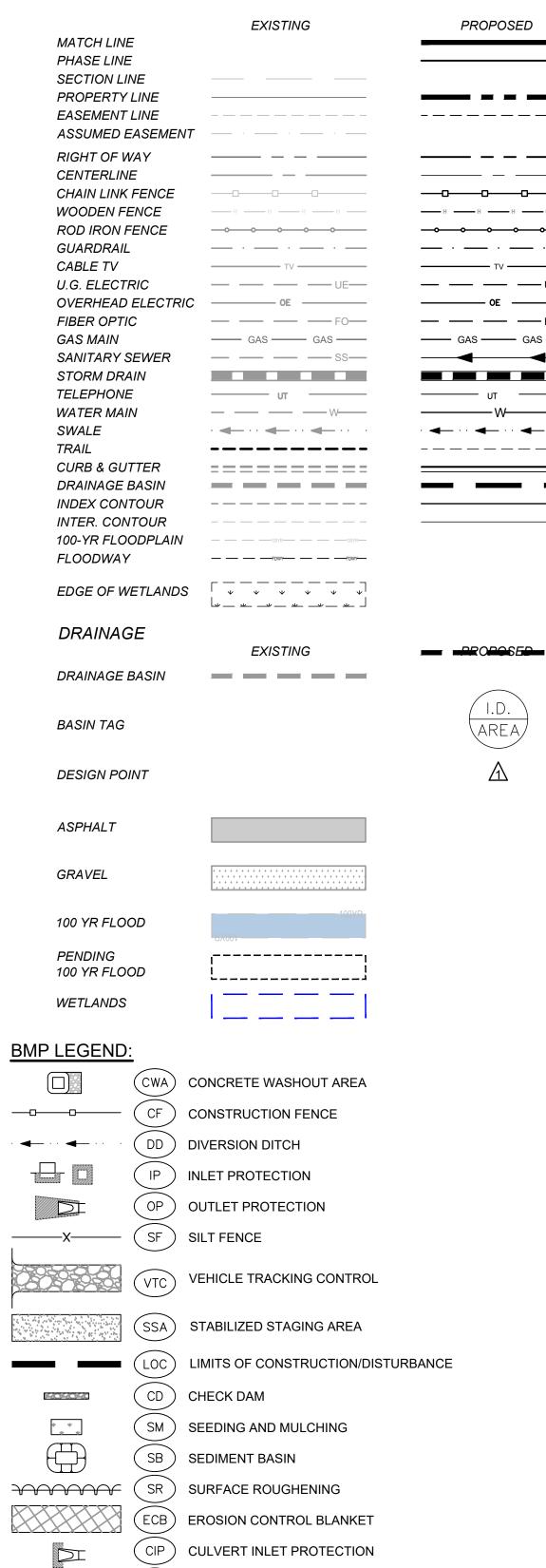


EROSION AND GRADING CONTROL PLANS

COVER SHEET

SHEET

LEGEND



PROPOSED	STORM SEWER MANHOLE STORM INLET FLARED END SECTION RIPRAP	EXISTING ST	PROPOSED
	SANITARY SEWER		
н — н — н —	CLEAN OUT MANHOLE PLUG	© 3	§ (\$)
TV	WATER		
GAS GAS UT	FIRE HYDRANT FIRE DEPT. CONNECTION GATE VALVE MANHOLE METER TEE REDUCER	W WM	
	DRY UTILITIES		MISCELLANEOUS
I PROPOSED —	ELECTRIC METER ELECTRIC PEDESTAL ELECTRICAL CABINET ELECTRIC VAULT FIBER OPTIC PULL BOX FIBER OPTIC MANHOLE FIBER OPTIC PEDESTAL FIBER OPTIC SIGN FIBER OPTIC VAULT GAS METER		SIGN BOLLLARD ACCESSIBLE PARKING

GAS SIGN

GAS VAULT

TELEPHONE CABINET TELEPHONE MANHOLE

TELEPHONE SIGN

TRANSFORMER LIGHT POLE

TELEPHONE SIGNAL/MAST

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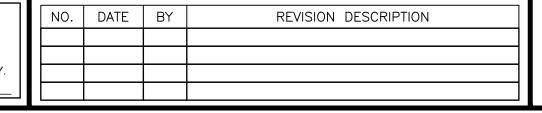
FVL

TELEPHONE PEDESTAL

FIBER OPTIC VAULT

37081 06-28-2024 MONALEN"

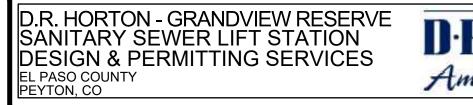
BAR IS ONE INCH ON OFFICIAL DRAWINGS. DRAWN BY: BDB JOB DATE: 9/11/2024 APPROVED: JPF JOB NUMBER: <u>201662.07</u> IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY. CAD DATE: <u>9/16/2024</u> CAD FILE: J:\2020\201662.07\CAD\Dwgs\C\Lift_Station\Ls_Civil



(RS) ROCK SOCK

(SBB) STRAW BALE BARRIER

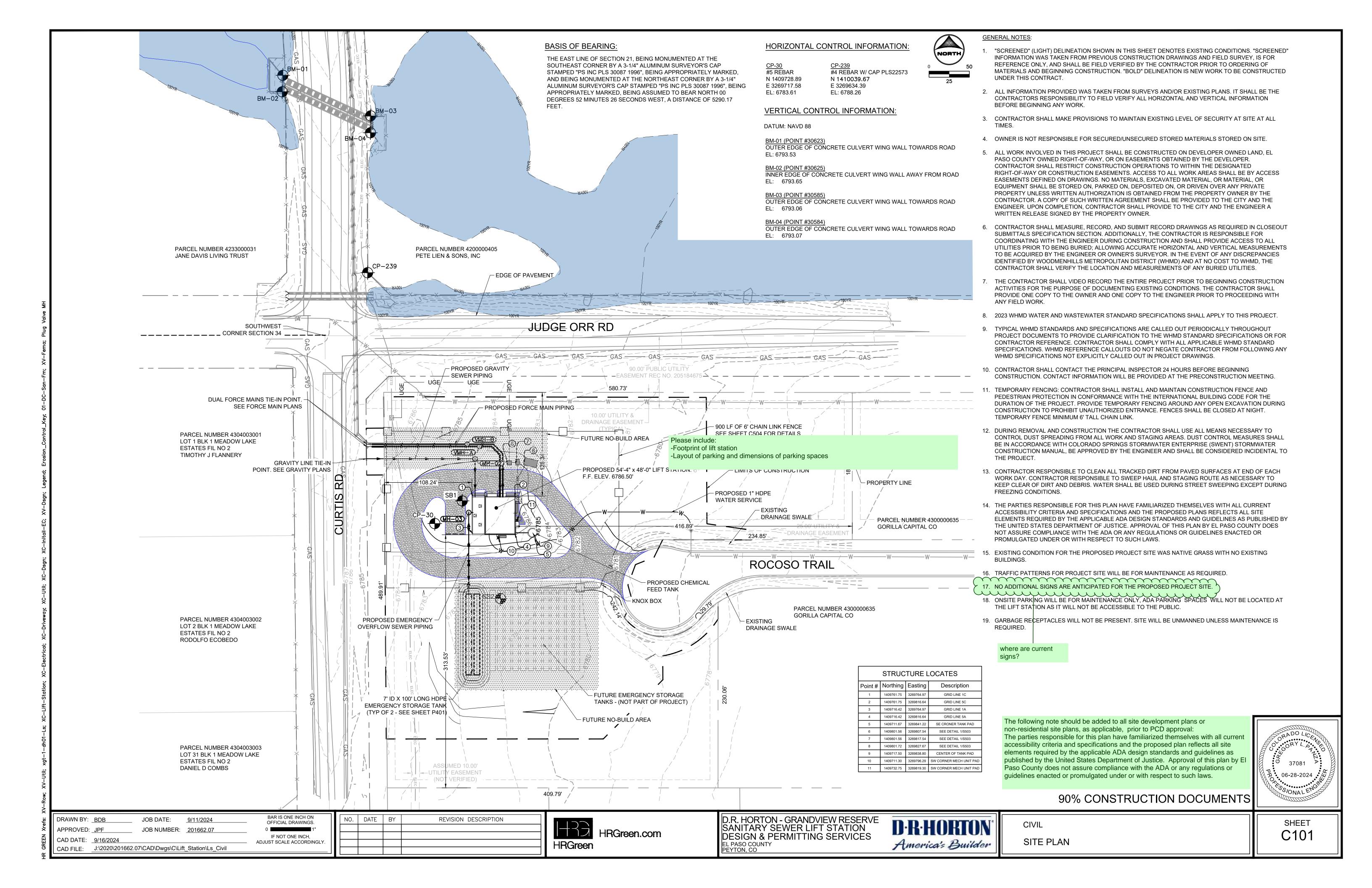


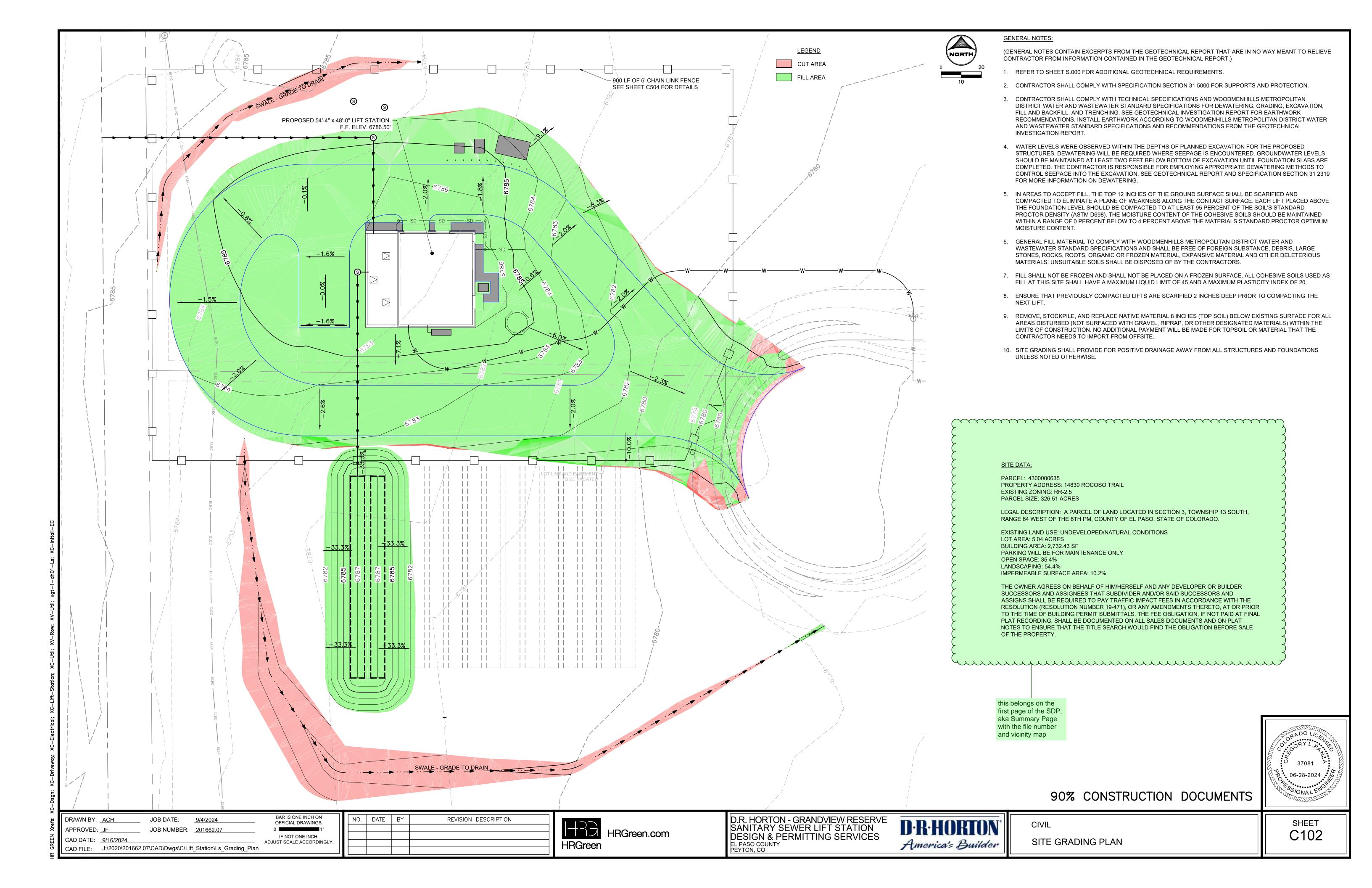


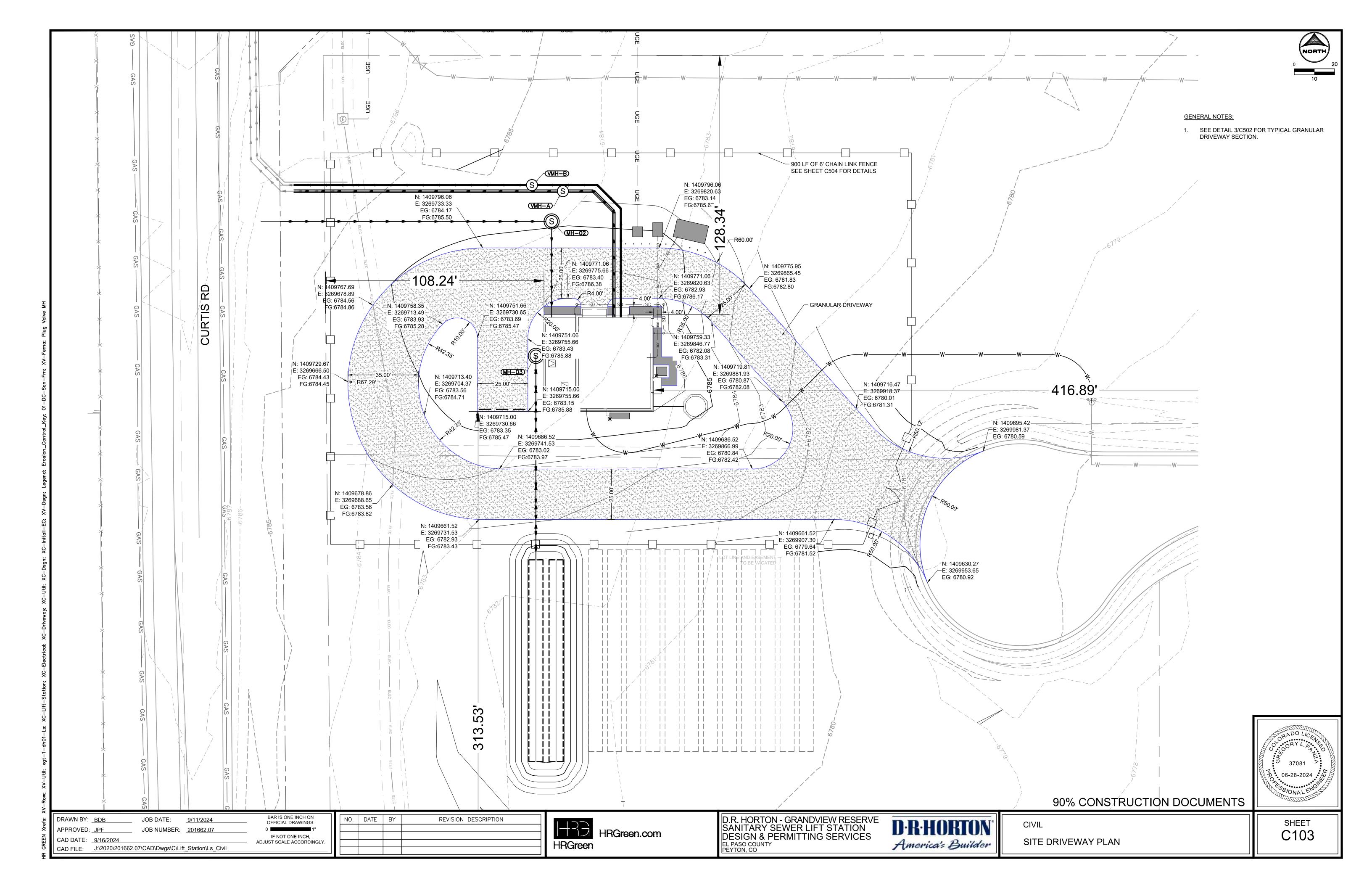


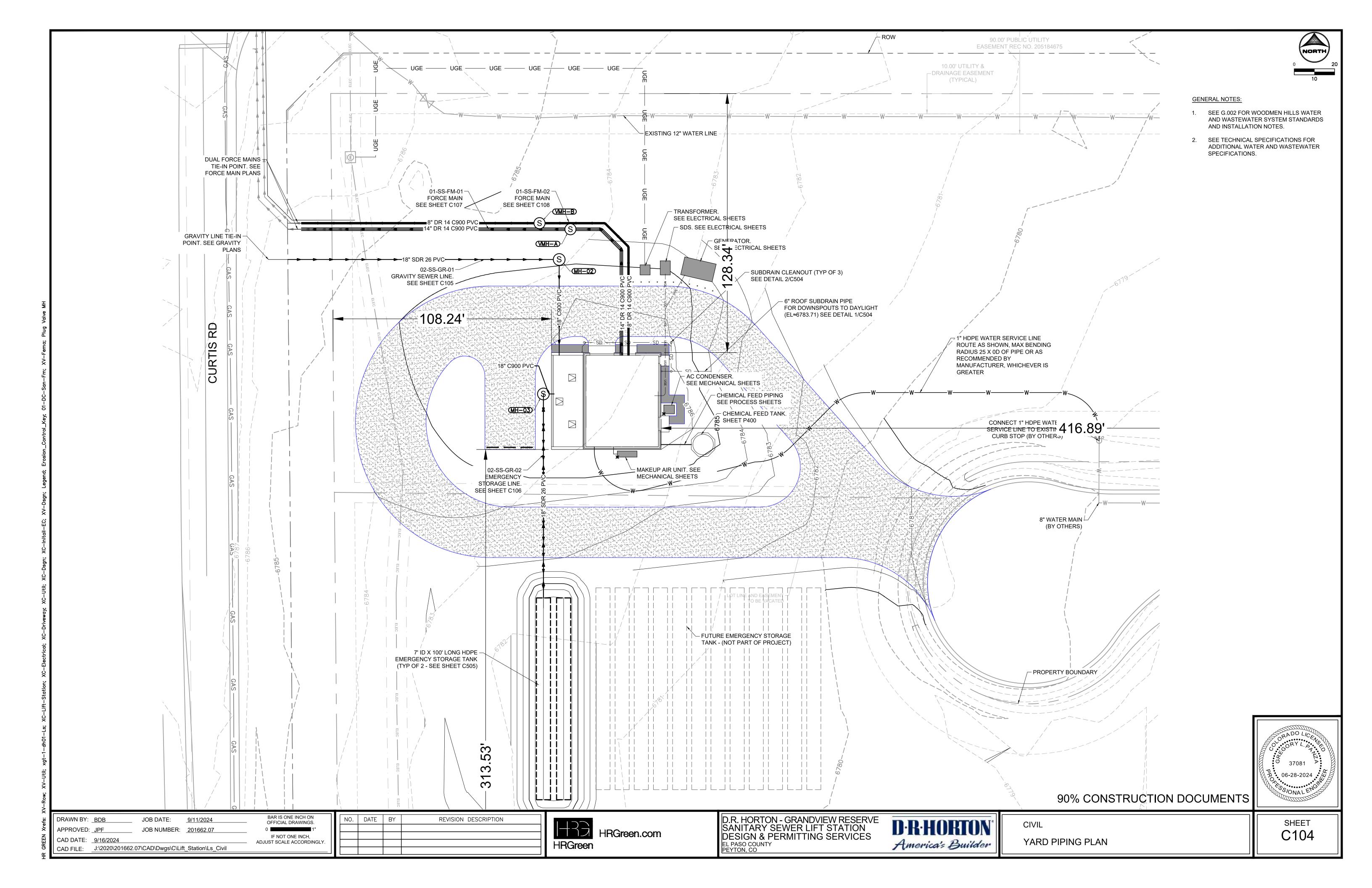
LEGENDS

SHEET C100









Grandview Lift Station - SDP - Submital 1 Comment Response						
Page Label	Comments	Author	Date	HR Green Response		
10	PPR-24-21	CDurham	7/24/2024	Added		
10	Change to Josh Palmer	CDurham	7/24/2024	Changed		
10	Please include: -Zoning -Parcel number -Legal description -Parcel size -Lot area coverage calculation -Existing/proposed land use and zoning -Total gross building square footage -Open space, landscaping, and impermeable surface percentage -A note stating: The owner agrees on behalf of him/herself and any developer or builder successors and assignees that Subdivider and/or said successors and assigns shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program Resolution (Resolution No. 19-471), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on plat notes to ensure that a title search would find the fee obligation before sale of the propertyParking computations	ashmathy	7/30/2024	Data added to Site Grading Plan sheet (C102). Note: open space was considered area within the property boundary that was outside the limits of disturbance.		

Grandview Lift Station - SDP - Submital 1 Comment Response						
Page Label	Comments	Author	Date	HR Green Response		
C101	Please include: -Setback distances of all structures to all property lines -Traffic circulation into and off the property -Location and dimensions of all existing and proposed signs, if none, please specify -Footprint of all existing buildings -Dimensions of property lines -Location of easements -Layout of parking and dimensions of parking spaces -Location of all ADA spaces -Location of all no-build areas, floodplain, drainageways and facilities -Location of all garbage receptacles with a graphical depiction of the screening mechanism -Location of all existing and proposed utility lines and associated infrastructure	ashmathy	7/30/2024	Acknowledged. Distances and dimensions were added to the SDP. Notes 15-19 were added to the SDP sheet to address parking, existing conditions, signs, and garbage receptacles.		