

HR GREEN Xrns: XV-Row; XV-Util; xgl-1-dh01-Ls; XC-Lift-Station; XC-Electrical; XC-Driveway; XC-Util; XC-Dagn; XC-Initial-EC; XV-Dagn; Legend; Erosion_Control_Key; 01-DC-San-Fm; XV-Fema; Plug Valve MH

LEGEND

	EXISTING	PROPOSED		
MATCH LINE				
PHASE LINE				
SECTION LINE				
PROPERTY LINE				
EASEMENT LINE				
ASSUMED EASEMENT				
RIGHT OF WAY				
CENTERLINE				
CHAIN LINK FENCE				
WOODEN FENCE				
ROD IRON FENCE				
GUARDRAIL				
CABLE TV				
U.G. ELECTRIC				
OVERHEAD ELECTRIC				
FIBER OPTIC				
GAS MAIN				
SANITARY SEWER				
STORM DRAIN				
TELEPHONE				
WATER MAIN				
SWALE				
TRAIL				
CURB & GUTTER				
DRAINAGE BASIN				
INDEX CONTOUR				
INTER. CONTOUR				
100-YR FLOODPLAIN				
FLOODWAY				
EDGE OF WETLANDS				
DRAINAGE				
DRAINAGE BASIN				
BASIN TAG				
DESIGN POINT				
ASPHALT				
GRAVEL				
100 YR FLOOD				
PENDING 100 YR FLOOD				
WETLANDS				

BMP LEGEND:

	(CWA)	CONCRETE WASHOUT AREA
	(CF)	CONSTRUCTION FENCE
	(DD)	DIVERSION DITCH
	(IP)	INLET PROTECTION
	(OP)	OUTLET PROTECTION
	(SF)	SILT FENCE
	(VTC)	VEHICLE TRACKING CONTROL
	(SSA)	STABILIZED STAGING AREA
	(LOC)	LIMITS OF CONSTRUCTION/DISTURBANCE
	(CD)	CHECK DAM
	(SM)	SEEDING AND MULCHING
	(SB)	SEDIMENT BASIN
	(SR)	SURFACE ROUGHENING
	(ECB)	EROSION CONTROL BLANKET
	(CIP)	CULVERT INLET PROTECTION
	(RS)	ROCK SOCK
	(SBB)	STRAW BALE BARRIER

STORM SEWER

	EXISTING	PROPOSED
MANHOLE		
STORM INLET		
FLARED END SECTION		
RIPRAP		

SANITARY SEWER

	EXISTING	PROPOSED
CLEAN OUT		
MANHOLE		
PLUG		

WATER

	EXISTING	PROPOSED
FIRE HYDRANT		
FIRE DEPT. CONNECTION		
GATE VALVE		
MANHOLE		
METER		
TEE		
REDUCER		

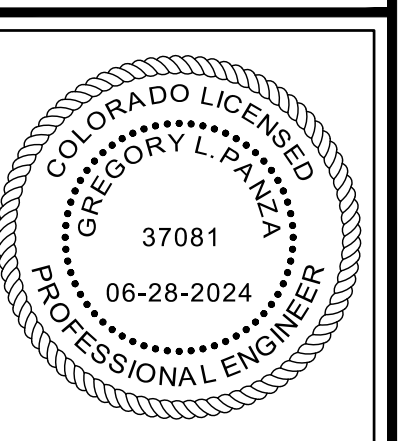
DRY UTILITIES

	EXISTING	PROPOSED
ELECTRIC METER		
ELECTRIC PEDESTAL		
ELECTRICAL CABINET		
ELECTRIC VAULT		
FIBER OPTIC PULL BOX		
FIBER OPTIC MANHOLE		
FIBER OPTIC PEDESTAL		
FIBER OPTIC SIGN		
FIBER OPTIC VAULT		
GAS METER		
GAS SIGN		
GAS VAULT		
TELEPHONE CABINET		
TELEPHONE MANHOLE		
TELEPHONE SIGNAL/MAST		
TELEPHONE SIGN		
TELEPHONE PEDESTAL		
TRANSFORMER		
LIGHT POLE		
FIBER OPTIC VAULT		

MISCELLANEOUS

	EXISTING	PROPOSED
SIGN		
BOLLARD		
ACCESSIBLE PARKING		

90% CONSTRUCTION DOCUMENTS



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APPROVED: JPF	JOB NUMBER: 201662.07	0
CAD DATE: 9/16/2024		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2020\201662.07\CAD\Drawings\Civil_Station\LS_Civil		

NO.	DATE	BY	REVISION DESCRIPTION



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SANITARY SEWER LIFT STATION
DESIGN & PERMITTING SERVICES
EL PASO COUNTY
PEYTON, CO



CIVIL
LEGENDS

SHEET
C100

HR GREEN Xrns: XV-Row; XV-Util; xq1-1-dh01-Ls; XC-Lift-Station; XC-Electrical; XC-Driveway; XC-Utility; XC-Degrn; XC-Initial-EC; XV-Degrn; Legend; Erosion_Control_Key; 01-DC-San-Fm; XV-Fema; Plug Valve MH

BASIS OF BEARING:

THE EAST LINE OF SECTION 21, BEING MONUMENTED AT THE SOUTHEAST CORNER BY A 3-1/4" ALUMINUM SURVEYOR'S CAP STAMPED "PS INC PLS 30087 1996", BEING APPROPRIATELY MARKED, AND BEING MONUMENTED AT THE NORTHEAST CORNER BY A 3-1/4" ALUMINUM SURVEYOR'S CAP STAMPED "PS INC PLS 30087 1996", BEING APPROPRIATELY MARKED, BEING ASSUMED TO BEAR NORTH 00 DEGREES 52 MINUTES 26 SECONDS WEST, A DISTANCE OF 5290.17 FEET.

HORIZONTAL CONTROL INFORMATION:

CP-30
 #5 REBAR
 N 1409728.89
 E 3269717.58
 EL: 6783.61

CP-239
 #4 REBAR W/ CAP PLS22573
 N 1410039.67
 E 3269634.39
 EL: 6788.26

VERTICAL CONTROL INFORMATION:

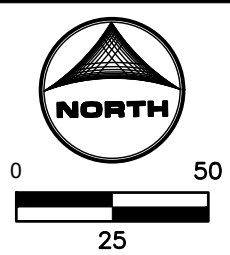
DATUM: NAVD 88

BM-01 (POINT #30623)
 OUTER EDGE OF CONCRETE CULVERT WING WALL TOWARDS ROAD
 EL: 6793.53

BM-02 (POINT #30625)
 INNER EDGE OF CONCRETE CULVERT WING WALL AWAY FROM ROAD
 EL: 6793.65

BM-03 (POINT #30585)
 OUTER EDGE OF CONCRETE CULVERT WING WALL TOWARDS ROAD
 EL: 6793.06

BM-04 (POINT #30584)
 OUTER EDGE OF CONCRETE CULVERT WING WALL TOWARDS ROAD
 EL: 6793.07

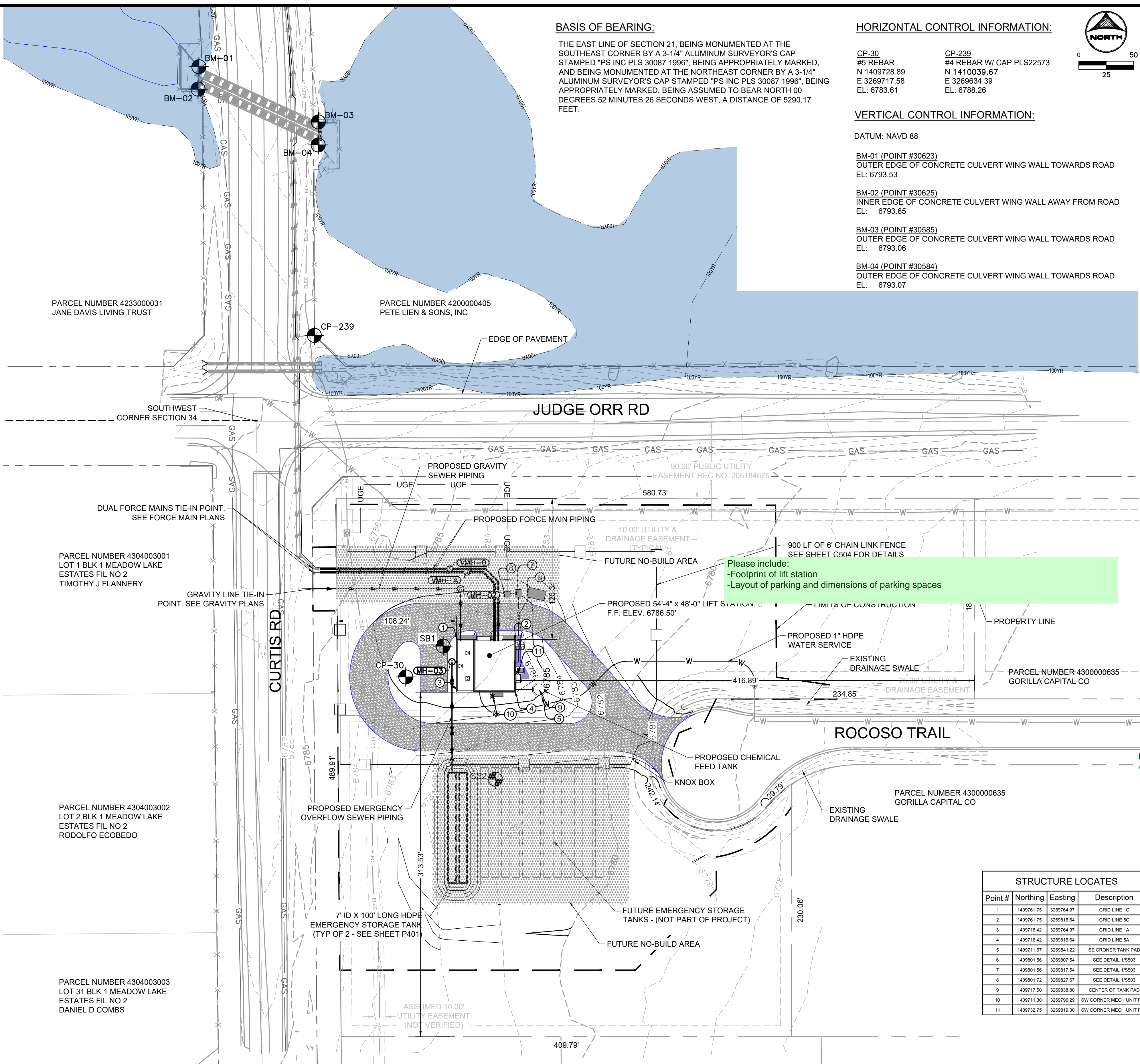


GENERAL NOTES:

- "SCREENED" (LIGHT) DELINEATION SHOWN IN THIS SHEET DENOTES EXISTING CONDITIONS. "SCREENED" INFORMATION WAS TAKEN FROM PREVIOUS CONSTRUCTION DRAWINGS AND FIELD SURVEY, IS FOR REFERENCE ONLY, AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING OF MATERIALS AND BEGINNING CONSTRUCTION. "BOLD" DELINEATION IS NEW WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.
- ALL INFORMATION PROVIDED WAS TAKEN FROM SURVEYS AND/OR EXISTING PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL HORIZONTAL AND VERTICAL INFORMATION BEFORE BEGINNING ANY WORK.
- CONTRACTOR SHALL MAKE PROVISIONS TO MAINTAIN EXISTING LEVEL OF SECURITY AT SITE AT ALL TIMES.
- OWNER IS NOT RESPONSIBLE FOR SECURED/UNSECURED STORED MATERIALS STORED ON SITE.
- ALL WORK INVOLVED IN THIS PROJECT SHALL BE CONSTRUCTED ON DEVELOPER OWNED LAND, EL PASO COUNTY OWNED RIGHT-OF-WAY, OR ON EASEMENTS OBTAINED BY THE DEVELOPER. CONTRACTOR SHALL RESTRICT CONSTRUCTION OPERATIONS TO WITHIN THE DESIGNATED RIGHT-OF-WAY OR CONSTRUCTION EASEMENTS. ACCESS TO ALL WORK AREAS SHALL BE BY ACCESS EASEMENTS DEFINED ON DRAWINGS. NO MATERIALS, EXCAVATED MATERIAL, OR MATERIAL, OR EQUIPMENT SHALL BE STORED ON, PARKED ON, DEPOSITED ON, OR DRIVEN OVER ANY PRIVATE PROPERTY UNLESS WRITTEN AUTHORIZATION IS OBTAINED FROM THE PROPERTY OWNER BY THE CONTRACTOR. A COPY OF SUCH WRITTEN AGREEMENT SHALL BE PROVIDED TO THE CITY AND THE ENGINEER. UPON COMPLETION, CONTRACTOR SHALL PROVIDE TO THE CITY AND THE ENGINEER A WRITTEN RELEASE SIGNED BY THE PROPERTY OWNER.
- CONTRACTOR SHALL MEASURE, RECORD, AND SUBMIT RECORD DRAWINGS AS REQUIRED IN CLOSEOUT SUBMITTALS SPECIFICATION SECTION. ADDITIONALLY, THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE ENGINEER DURING CONSTRUCTION AND SHALL PROVIDE ACCESS TO ALL UTILITIES PRIOR TO BEING BURIED; ALLOWING ACCURATE HORIZONTAL AND VERTICAL MEASUREMENTS TO BE ACQUIRED BY THE ENGINEER OR OWNER'S SURVEYOR. IN THE EVENT OF ANY DISCREPANCIES IDENTIFIED BY WOODMENHILLS METROPOLITAN DISTRICT (WHMD) AND AT NO COST TO WHMD, THE CONTRACTOR SHALL VERIFY THE LOCATION AND MEASUREMENTS OF ANY BURIED UTILITIES.
- THE CONTRACTOR SHALL VIDEO RECORD THE ENTIRE PROJECT PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS. THE CONTRACTOR SHALL PROVIDE ONE COPY TO THE OWNER AND ONE COPY TO THE ENGINEER PRIOR TO PROCEEDING WITH ANY FIELD WORK.
- 2023 WHMD WATER AND WASTEWATER STANDARD SPECIFICATIONS SHALL APPLY TO THIS PROJECT.
- TYPICAL WHMD STANDARDS AND SPECIFICATIONS ARE CALLED OUT PERIODICALLY THROUGHOUT PROJECT DOCUMENTS TO PROVIDE CLARIFICATION TO THE WHMD STANDARD SPECIFICATIONS OR FOR CONTRACTOR REFERENCE. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE WHMD STANDARD SPECIFICATIONS. WHMD REFERENCE CALLOUTS DO NOT NEGATE CONTRACTOR FROM FOLLOWING ANY WHMD SPECIFICATIONS NOT EXPLICITLY CALLED OUT IN PROJECT DRAWINGS.
- CONTRACTOR SHALL CONTACT THE PRINCIPAL INSPECTOR 24 HOURS BEFORE BEGINNING CONSTRUCTION. CONTACT INFORMATION WILL BE PROVIDED AT THE PRECONSTRUCTION MEETING.
- TEMPORARY FENCING: CONTRACTOR SHALL INSTALL AND MAINTAIN CONSTRUCTION FENCE AND PEDESTRIAN PROTECTION IN CONFORMANCE WITH THE INTERNATIONAL BUILDING CODE FOR THE DURATION OF THE PROJECT. PROVIDE TEMPORARY FENCING AROUND ANY OPEN EXCAVATION DURING CONSTRUCTION TO PROHIBIT UNAUTHORIZED ENTRANCE. FENCES SHALL BE CLOSED AT NIGHT. TEMPORARY FENCE MINIMUM 6' TALL CHAIN LINK.
- DURING REMOVAL AND CONSTRUCTION THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS. DUST CONTROL MEASURES SHALL BE IN ACCORDANCE WITH COLORADO SPRINGS STORMWATER ENTERPRISE (SWENT) STORMWATER CONSTRUCTION MANUAL, BE APPROVED BY THE ENGINEER AND SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
- CONTRACTOR RESPONSIBLE TO CLEAN ALL TRACKED DIRT FROM PAVED SURFACES AT END OF EACH WORK DAY. CONTRACTOR RESPONSIBLE TO SWEEP HAUL AND STAGING ROUTE AS NECESSARY TO KEEP CLEAR OF DIRT AND DEBRIS. WATER SHALL BE USED DURING STREET SWEEPING EXCEPT DURING FREEZING CONDITIONS.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLANS REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
- EXISTING CONDITION FOR THE PROPOSED PROJECT SITE WAS NATIVE GRASS WITH NO EXISTING BUILDINGS.
- TRAFFIC PATTERNS FOR PROJECT SITE WILL BE FOR MAINTENANCE AS REQUIRED.
- NO ADDITIONAL SIGNS ARE ANTICIPATED FOR THE PROPOSED PROJECT SITE.**
- ONSITE PARKING WILL BE FOR MAINTENANCE ONLY. ADA PARKING SPACES WILL NOT BE LOCATED AT THE LIFT STATION AS IT WILL NOT BE ACCESSIBLE TO THE PUBLIC.
- GARBAGE RECEPTACLES WILL NOT BE PRESENT. SITE WILL BE UNMANNED UNLESS MAINTENANCE IS REQUIRED.

where are current signs?

The following note should be added to all site development plans or non-residential site plans, as applicable, prior to PCD approval:
 The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.



Please include:
 -Footprint of lift station
 -Layout of parking and dimensions of parking spaces

Point #	Northing	Eastng	Description
1	1409761.75	3269764.97	GRID LINE 1C
2	1409761.75	3269816.64	GRID LINE 5C
3	1409716.42	3269764.97	GRID LINE 1A
4	1409716.42	3269816.64	GRID LINE 5A
5	1409711.67	3269841.22	SEE CROKER TANK PAD
6	1409801.56	3269807.54	SEE DETAIL 1/S503
7	1409801.56	3269817.54	SEE DETAIL 1/S503
8	1409801.72	3269827.67	SEE DETAIL 1/S503
9	1409711.50	3269838.80	CENTER OF TANK PAD
10	1409711.30	3269796.29	SW CORNER MECH UNIT PAD
11	1409732.75	3269819.30	SW CORNER MECH UNIT PAD

90% CONSTRUCTION DOCUMENTS

DRAWN BY: BDB
 APPROVED: JPF
 CAD DATE: 9/16/2024
 CAD FILE: J:\2020\201662.07\CAD\Draws\C\LIft_Station\LS_Civil

JOB DATE: 9/11/2024
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EL PASO COUNTY
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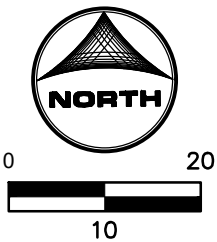
CIVIL
 SITE PLAN

SHEET
 C101

HR GREEN Xrefs: XC-Dwg; XC-Driveway; XC-Electrical; XC-Lift-Station; XC-Utit; XY-Rov; XV-Utit; xgt-1-ph01-Ls; XC-Initial-EC



LEGEND
 CUT AREA
 FILL AREA



GENERAL NOTES:

(GENERAL NOTES CONTAIN EXCERPTS FROM THE GEOTECHNICAL REPORT THAT ARE IN NO WAY MEANT TO RELIEVE CONTRACTOR FROM INFORMATION CONTAINED IN THE GEOTECHNICAL REPORT.)

- REFER TO SHEET S.000 FOR ADDITIONAL GEOTECHNICAL REQUIREMENTS.
- CONTRACTOR SHALL COMPLY WITH SPECIFICATION SECTION 31 5000 FOR SUPPORTS AND PROTECTION.
- CONTRACTOR SHALL COMPLY WITH TECHNICAL SPECIFICATIONS AND WOODMENHILLS METROPOLITAN DISTRICT WATER AND WASTEWATER STANDARD SPECIFICATIONS FOR DEWATERING, GRADING, EXCAVATION, FILL AND BACKFILL, AND TRENCHING. SEE GEOTECHNICAL INVESTIGATION REPORT FOR EARTHWORK RECOMMENDATIONS. INSTALL EARTHWORK ACCORDING TO WOODMENHILLS METROPOLITAN DISTRICT WATER AND WASTEWATER STANDARD SPECIFICATIONS AND RECOMMENDATIONS FROM THE GEOTECHNICAL INVESTIGATION REPORT.
- WATER LEVELS WERE OBSERVED WITHIN THE DEPTHS OF PLANNED EXCAVATION FOR THE PROPOSED STRUCTURES. DEWATERING WILL BE REQUIRED WHERE SEEPAGE IS ENCOUNTERED. GROUNDWATER LEVELS SHOULD BE MAINTAINED AT LEAST TWO FEET BELOW BOTTOM OF EXCAVATION UNTIL FOUNDATION SLABS ARE COMPLETED. THE CONTRACTOR IS RESPONSIBLE FOR EMPLOYING APPROPRIATE DEWATERING METHODS TO CONTROL SEEPAGE INTO THE EXCAVATION. SEE GEOTECHNICAL REPORT AND SPECIFICATION SECTION 31 2319 FOR MORE INFORMATION ON DEWATERING.
- IN AREAS TO ACCEPT FILL, THE TOP 12 INCHES OF THE GROUND SURFACE SHALL BE SCARIFIED AND COMPACTED TO ELIMINATE A PLANE OF WEAKNESS ALONG THE CONTACT SURFACE. EACH LIFT PLACED ABOVE THE FOUNDATION LEVEL SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THE SOIL'S STANDARD PROCTOR DENSITY (ASTM D698). THE MOISTURE CONTENT OF THE COHESIVE SOILS SHOULD BE MAINTAINED WITHIN A RANGE OF 0 PERCENT BELOW TO 4 PERCENT ABOVE THE MATERIALS STANDARD PROCTOR OPTIMUM MOISTURE CONTENT.
- GENERAL FILL MATERIAL TO COMPLY WITH WOODMENHILLS METROPOLITAN DISTRICT WATER AND WASTEWATER STANDARD SPECIFICATIONS AND SHALL BE FREE OF FOREIGN SUBSTANCE, DEBRIS, LARGE STONES, ROCKS, ROOTS, ORGANIC OR FROZEN MATERIAL, EXPANSIVE MATERIAL AND OTHER DELETERIOUS MATERIALS. UNSUITABLE SOILS SHALL BE DISPOSED OF BY THE CONTRACTORS.
- FILL SHALL NOT BE FROZEN AND SHALL NOT BE PLACED ON A FROZEN SURFACE. ALL COHESIVE SOILS USED AS FILL AT THIS SITE SHALL HAVE A MAXIMUM LIQUID LIMIT OF 45 AND A MAXIMUM PLASTICITY INDEX OF 20.
- ENSURE THAT PREVIOUSLY COMPACTED LIFTS ARE SCARIFIED 2 INCHES DEEP PRIOR TO COMPACTING THE NEXT LIFT.
- REMOVE, STOCKPILE, AND REPLACE NATIVE MATERIAL 8 INCHES (TOP SOIL) BELOW EXISTING SURFACE FOR ALL AREAS DISTURBED (NOT SURFACED WITH GRAVEL, RIPRAP, OR OTHER DESIGNATED MATERIALS) WITHIN THE LIMITS OF CONSTRUCTION. NO ADDITIONAL PAYMENT WILL BE MADE FOR TOPSOIL OR MATERIAL THAT THE CONTRACTOR NEEDS TO IMPORT FROM OFFSITE.
- SITE GRADING SHALL PROVIDE FOR POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND FOUNDATIONS UNLESS NOTED OTHERWISE.

SITE DATA:

PARCEL: 4300000635
 PROPERTY ADDRESS: 14830 ROCOSO TRAIL
 EXISTING ZONING: RR-2.5
 PARCEL SIZE: 326.51 ACRES

LEGAL DESCRIPTION: A PARCEL OF LAND LOCATED IN SECTION 3, TOWNSHIP 13 SOUTH, RANGE 64 WEST OF THE 6TH PM, COUNTY OF EL PASO, STATE OF COLORADO.

EXISTING LAND USE: UNDEVELOPED/NATURAL CONDITIONS
 LOT AREA: 5.04 ACRES
 BUILDING AREA: 2,732.43 SF
 PARKING WILL BE FOR MAINTENANCE ONLY
 OPEN SPACE: 35.4%
 LANDSCAPING: 54.4%
 IMPERMEABLE SURFACE AREA: 10.2%

THE OWNER AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE RESOLUTION (RESOLUTION NUMBER 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT THE TITLE SEARCH WOULD FIND THE OBLIGATION BEFORE SALE OF THE PROPERTY.

this belongs on the first page of the SDP, aka Summary Page with the file number and vicinity map

90% CONSTRUCTION DOCUMENTS

DRAWN BY: ACH JOB DATE: 9/4/2024
 APPROVED: JF JOB NUMBER: 201662.07
 CAD DATE: 9/16/2024
 CAD FILE: J:\2020\201662.07\CAD\Dwgs\C\Lift_Station\Ls_Grading_Plan

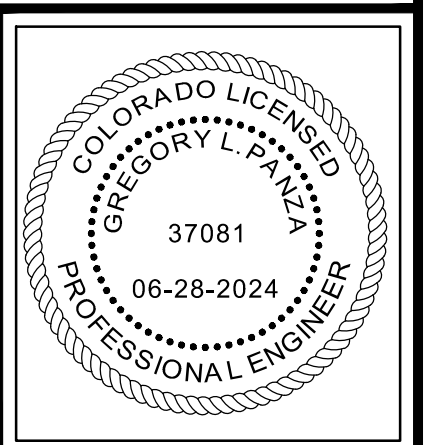
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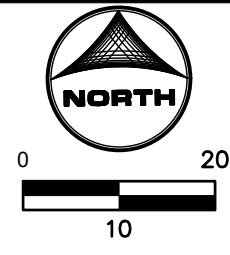


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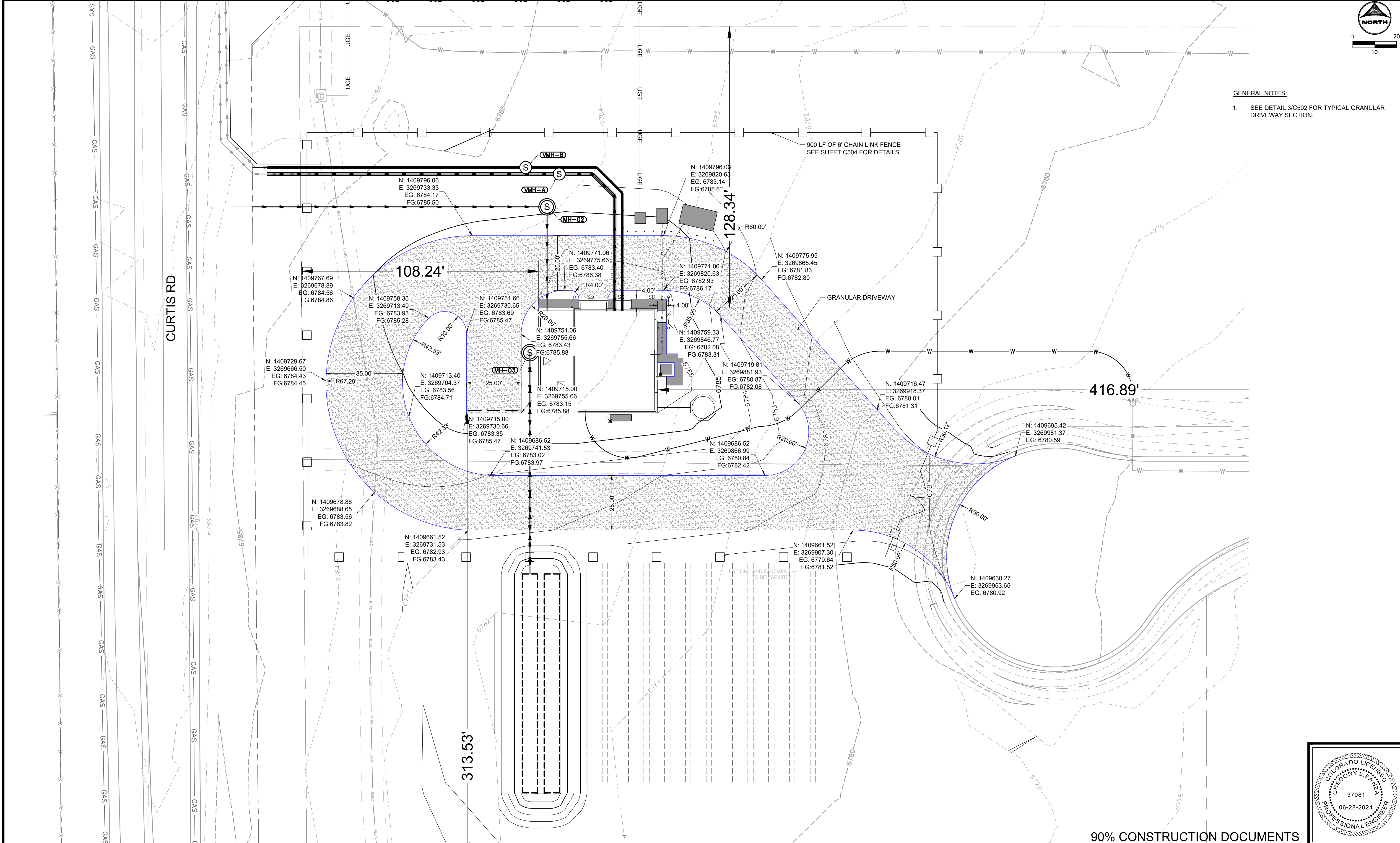
CIVIL
 SITE GRADING PLAN



SHEET
C102



- GENERAL NOTES:**
- SEE DETAIL 3/C502 FOR TYPICAL GRANULAR DRIVEWAY SECTION.



HR GREEN Xrefs: XV-Row; XV-Util; xgl-1-dh01-Ls; XC-Lift-Station; XC-Electrical; XC-Driveway; XC-Utility; XC-Degrn; XC-Initial-EG; XV-Degrn; Legend; Erosion_Control_Key; 01-DC-San-Frn; XV-Fema; Plug Valve MH

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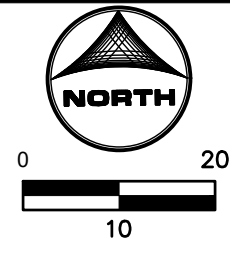
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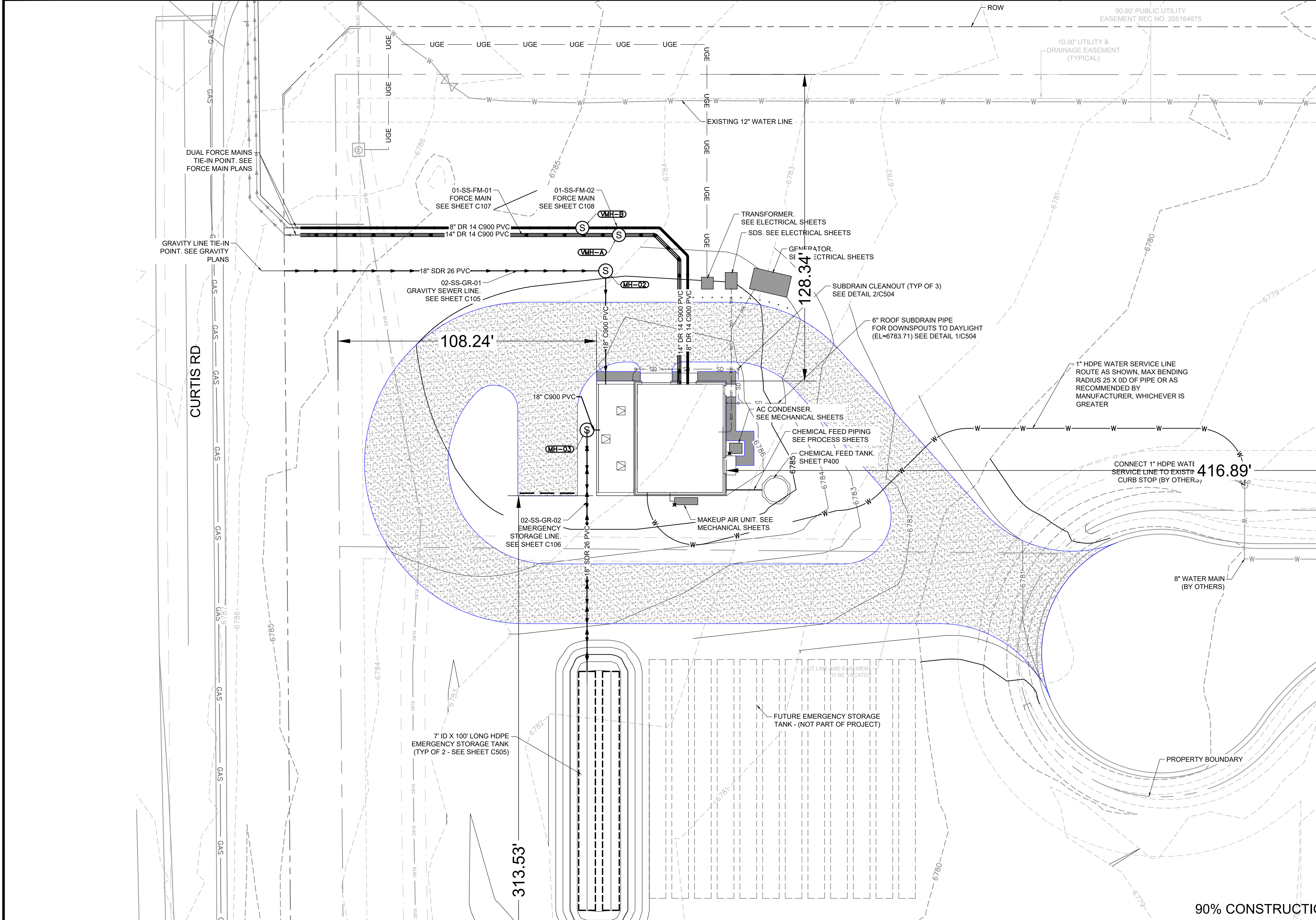
CIVIL
 SITE DRIVEWAY PLAN



SHEET
 C103



- GENERAL NOTES:**
- SEE G.002 FOR WOODMEN HILLS WATER AND WASTEWATER SYSTEM STANDARDS AND INSTALLATION NOTES.
 - SEE TECHNICAL SPECIFICATIONS FOR ADDITIONAL WATER AND WASTEWATER SPECIFICATIONS.



HR GREEN Xrefs: XV-Row; XV-Util; xgl-1-dh01-Ls; XC-Lift-Station; XC-Electrical; XC-Driveway; XC-Util; XC-Degr; XC-Initial-EC; XV-Degr; Legend; Erosion_Control_Key; 01-DC-San-Fm; XV-Fema; Plug Valve MH

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90% CONSTRUCTION DOCUMENTS
 CIVIL
 YARD PIPING PLAN



SHEET
C104

Grandview Lift Station - SDP - Submittal 1 Comment Response

Page Label	Comments	Author	Date	HR Green Response
10	PPR-24-21	CDurham	7/24/2024	Added
10	Change to Josh Palmer	CDurham	7/24/2024	Changed
10	<p>Please include:</p> <ul style="list-style-type: none"> -Zoning -Parcel number -Legal description -Parcel size -Lot area coverage calculation -Existing/proposed land use and zoning -Total gross building square footage -Open space, landscaping, and impermeable surface percentage -A note stating: The owner agrees on behalf of him/herself and any developer or builder successors and assignees that Subdivider and/or said successors and assigns shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program Resolution (Resolution No. 19-471), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on plat notes to ensure that a title search would find the fee obligation before sale of the property. -Parking computations 	ashmathy	7/30/2024	<p>Data added to Site Grading Plan sheet (C102).</p> <p>Note: open space was considered area within the property boundary that was outside the limits of disturbance.</p>

Grandview Lift Station - SDP - Submittal 1 Comment Response

Page Label	Comments	Author	Date	HR Green Response
C101	<p>Please include:</p> <ul style="list-style-type: none"> -Setback distances of all structures to all property lines -Traffic circulation into and off the property -Location and dimensions of all existing and proposed signs, if none, please specify -Footprint of all existing buildings -Dimensions of property lines -Location of easements -Layout of parking and dimensions of parking spaces -Location of all ADA spaces -Location of all no-build areas, floodplain, drainageways and facilities -Location of all garbage receptacles with a graphical depiction of the screening mechanism -Location of all existing and proposed utility lines and associated infrastructure 	ashmathy	7/30/2024	<p>Acknowledged. Distances and dimensions were added to the SDP. Notes 15-19 were added to the SDP sheet to address parking, existing conditions, signs, and garbage receptacles.</p>