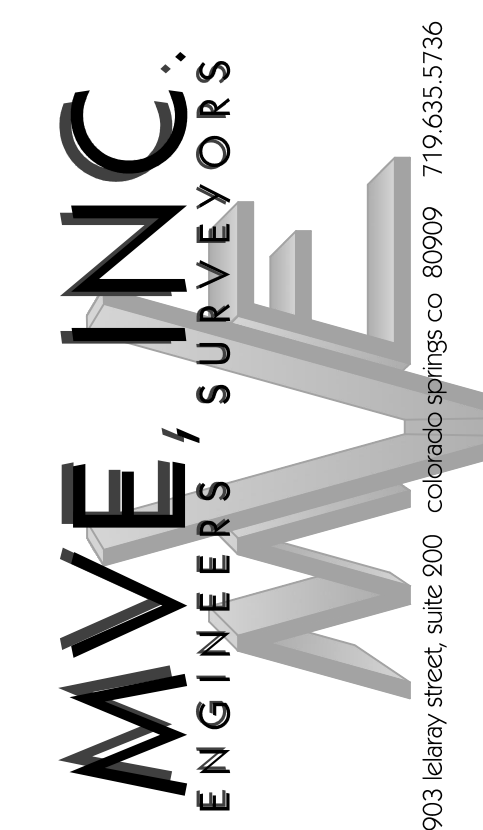
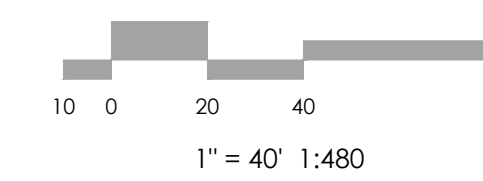
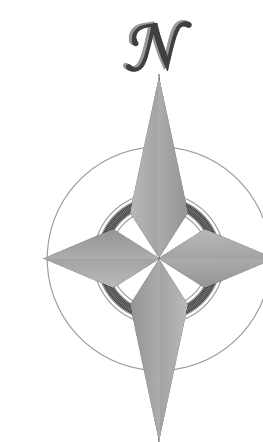


VICINITY MAP
NOT TO SCALE

BENCHMARK



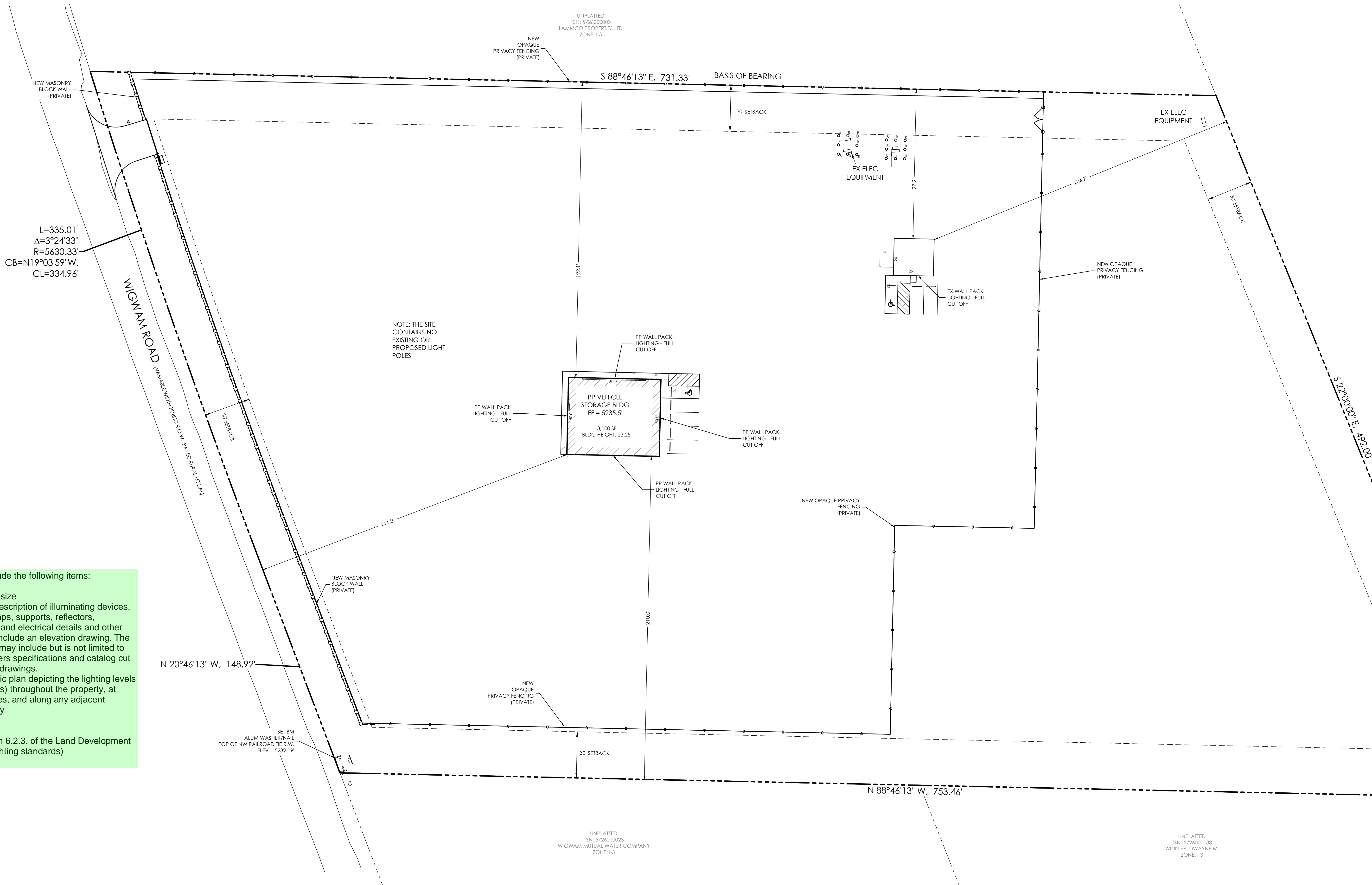
REVISIONS

DESIGNED BY _____ JO
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

19955 WIGWAM RD
EL PASO COUNTY, CO

SITE LIGHTING PLAN

E-1 MVE PROJECT 61180
MVE DRAWING LIGHT-PS
FEBRUARY 1, 2024
SHEET 1 OF 1



Please include the following items:

- Lot/parcel size
- Detailed description of illuminating devices, fixtures, lamps, supports, reflectors, installation, and electrical details and other devices to include an elevation drawing. The description may include but is not limited to manufacturers specifications and catalog cut sheets and drawings.
- Photometric plan depicting the lighting levels (foot candles) throughout the property, at property lines, and along any adjacent rights-of-way

(See section 6.2.3. of the Land Development Code for lighting standards)

- NOTES**
1. THERE ARE NO EXISTING OR PROPOSED LIGHT POLES ON THE SITE.
 2. PROPOSED LIGHTING TO BE FULL CUT OFF WALL PACK LIGHTING MOUNTED UNDER 8' IN HEIGHT.
 3. NO LIGHT FROM PROPOSED LIGHTING SHALL EXTEND BEYOND THE PROPERTY LINE.

OWNER/APPLICANT
JOHN TAYLOR
WIGWAM DEVELOPMENT CO LLC
2565 MOUNT VERNON DR
COLORADO SPRINGS CO, 80908
PH (719) 876-0866
Midcityrepairs@gmail.com

CONSULTANT/PREPARER
M.V.E., INC.
DAVID R. GORMAN, P.E.
1903 LELARAY ST., STE 200
COLORADO SPRINGS, CO 80909
PH (719) 635-5736
daveg@mvecivil.com

PCD FILE NO. _____

UNPLATTED
TSN: 5726000003
LAMMCO PROPERTIES LTD
ZONE: I-3

UNPLATTED
TSN: 5726000023
WIGWAM MUTUAL WATER COMPANY
ZONE: I-3

UNPLATTED
TSN: 5726000038
WINKLER, DWAYNE M.
ZONE: I-3

NOTE: THE SITE
CONTAINS NO
EXISTING OR
PROPOSED LIGHT
POLES