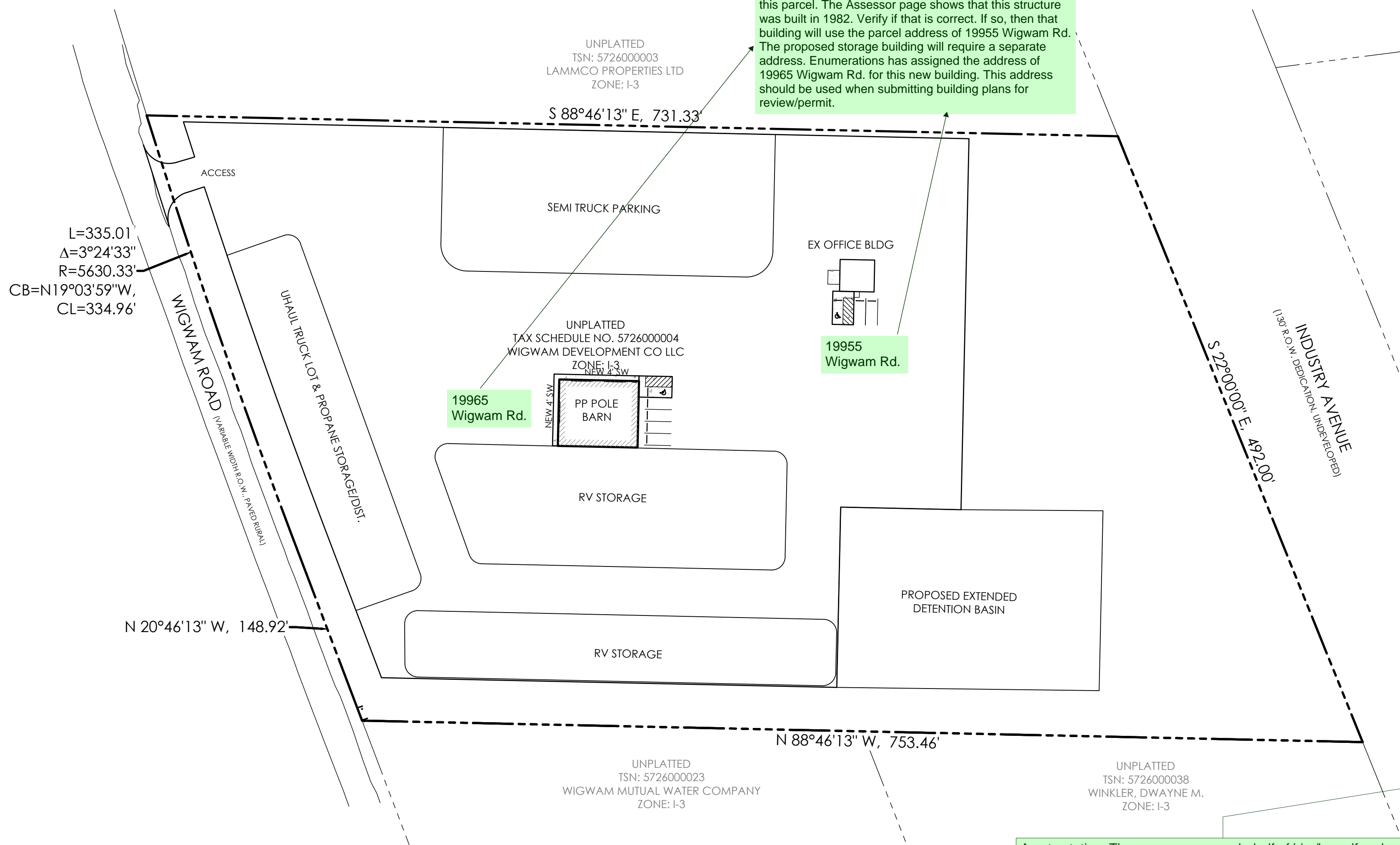


# SITE DEVELOPMENT PLAN FOR 19955 WIGWAM ROAD

A PORTION OF LAND IN THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 17 SOUTH,  
RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
EL PASO COUNTY, COLORADO

Please indicate locations of the following:  
- garbage receptacles and screening mechanisms  
- existing and proposed utility lines  
- existing and proposed easements

Enumerations has the following comments:  
1. We have no permit history for the existing building on this parcel. The Assessor page shows that this structure was built in 1982. Verify if that is correct. If so, then that building will use the parcel address of 19955 Wigwam Rd. The proposed storage building will require a separate address. Enumerations has assigned the address of 19965 Wigwam Rd. for this new building. This address should be used when submitting building plans for review/permit.



## SITE DATA

**OWNER/DEVELOPER**  
WIGWAM DEVELOPMENT CO., LLC  
2565 MOUNT VERNON DR  
COLORADO SPRINGS, CO 80909  
(719) 896-0866

**CONSULTANT/ENGINEER**  
M.V.E. INC.  
1903 LELARAY STREET, SUITE 200  
COLORADO SPRINGS, CO 80909  
(719) 635-5736

**SURVEYOR**  
POLARIS SURVEYING, INC.  
1903 LELARAY STREET, SUITE 102  
COLORADO SPRINGS, CO 80909  
(719) 448-0844

**ZONING**  
HEAVY INDUSTRIAL (I-3)

**BUILDING USE**  
VEHICLE STORAGE & OFFICE

**CONSTRUCTION SCHEDULE**  
START: SPRING 2023  
FINISH: FALL 2023

**TAX SCHEDULE NO.**  
57260-00-004

**PROPERTY ADDRESS**  
19955 WIGWAM RD

## COVERAGE DATA

GRAVEL/ROAD BASE	201,476 SF	59.8%
LANDSCAPING / POND:	71,797 SF	21.3%
UNDISTURBED PASTURE/MEADOW:	56,440 SF	16.8%
BUILDINGS (EXISTING/PROPOSED):	3,624 SF	1.1%
PAVEMENT (PARKING/WALK):	3,607 SF	1.1%

TOTAL AREA: 336,944 SF 100.0% = 7.735 ± ACRES

## PARKING SCHEDULE

REQUIRED:		
VEHICLE STORAGE: 3 SPACES PER SITE		= 3
OFFICE: 2 SPACES PER 200 SF (624/200)		= 3
VAN ACCESSIBLE ADA SPACE:		= 1
TOTAL SPACES REQUIRED:		= 7
PROVIDED:		
STANDARD SPACES:		= 6
VAN ACCESSIBLE ADA SPACE:		= 2
TOTAL SPACES PROVIDED:		= 8 SPACES

## BUILDING TYPE

EXISTING: (TO REMAIN)  
BUILDING AREA - 624 SF  
ONE STORY - TYPE V  
NOT FIRE SPRINKLED / NO FIRE WALLS

PROPOSED:  
BUILDING AREA - 3,000 SF  
ONE STORY - TYPE II-B  
FIRE SPRINKLED / NO FIRE WALLS

**BUILDING HEIGHT**  
40 FT MAX.

## SETBACKS

30' FRONT  
30' SIDE  
30' REAR

## LIGHTING

LIGHTING WILL BE PROVIDED FROM EXTERIOR WALL MOUNTED FIXTURES.

**Comments from MVEA:** MVEA has existing facilities near and within this parcel of land. If there is any damage, removal or relocation of facilities it will be at the expense of the applicant. MVEA will work with the developer on the design of the electric service and to acquire any needed utility easements. MVEA also requests the platting of MVEA's existing facilities with easements on the plat.

## DEVELOPMENT NOTES

- NO DOMESTIC WATER SERVICE OR SEWER SERVICE IS PROVIDED TO THE PROPERTY.
- ELECTRIC SERVICE IS PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION (MVEA).
- SEWER SERVICE PROVIDED BY HANOVER FIRE PROTECTION DISTRICT.
- FIRE SERVICE PROVIDED BY HANOVER FIRE PROTECTION DISTRICT.

**Comments from Hanover Fire Protection District:**  
1. Knox box attached to the Pole barn and office.  
2. Propane fill station No Smoking signs within 50ft and fire extinguishers.  
3. Fire mitigation plan for interior and exterior of the lot needs to be addressed.  
4. Water cistern minimal requirements and locations will need to be calculated based on number of UHaul rental, RV storage spaces, buildings, size of Propane tanks and semi-truck parking.

## LEGAL DESCRIPTION

THAT WIGWAM DEVELOPMENT CO., LLC, IS THE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND SITUATED IN THE NORTHWEST 1/4 OF SECTION 26, TOWNSHIP 17 S, RANGE 65 WEST, EL PASO COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION, THENCE S 52°11'15" THENCE N 88°46'13" W, 406.14 FEET;  
THENCE S 22°00'00" E, 410.00 FEET ALONG THE WESTERLY LINE OF INDUSTRY AVENUE TO THE TRUE POINT OF BEGINNING;  
THENCE CONTINUING S 22°00'00" E, 492.00 FEET ALONG THE WESTERLY LINE OF INDUSTRY AVENUE;  
THENCE N 88°46'13" W, 753.46 FEET TO A POINT ON THE EASTERLY LINE OF WIGWAM ROAD;  
THENCE N 20°46'13" W, 148.92 FEET TO A POINT OF CURVE TO THE RIGHT;  
THENCE NORTHWESTERLY, 335.01 FEET ALONG THE ARC OF SAID CURVE WITH A CHORD ANGLE OF 03°24'33" AND A RADIUS OF 5630.33 FEET;  
THENCE S 88°46'13" E, 731.33 FEET TO THE TRUE POINT OF BEGINNING;  
SAID EXISTING TRACT CONTAINS 336,944 SF (7.735 ACRES) MORE OR LESS.

## SHEET INDEX

SITE DEVELOPMENT PLAN	
DP-1	COVER SHEET
DP-2	SITE PLAN
GRADING & EROSION CONTROL	
C1.1	COVER SHEET
C1.2	GRADING PLAN
C1.3	POND PLAN / DETAILS
C1.4	EROSION CONTROL PLAN
C1.5	EROSION CONTROL DETAILS
C1.6	EROSION CONTROL DETAILS
LIGHTING PLAN	
E-1	LIGHTING PLAN
LANDSCAPE PLAN	
L1	LANDSCAPE PLAN
L2	LANDSCAPE PLAN
BUILDING FLOOR PLAN	
A1.01	FLOOR PLANS
BUILDING ELEVATIONS	
A2.01	EXTERIOR ELEVATIONS

## SITE LOCATION MAP

1" = 60'

A note stating: The owner agrees on behalf of him/herself and any developer or builder successors and assignees that Subdivider and/or said successors and assigns shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program Resolution (Resolution No. 19-471), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on plat notes to ensure that a title search would find the fee obligation before sale of the property.

## ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

## FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C1170G, EFFECTIVE DECEMBER 7, 2018.

## MAP NOTES

- BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE NORTH PROPERTY LINE BEARING S 88°46'13" E UNDER THE RECORDS OF EL PASO COUNTY, COLORADO.
- THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE CITY OF COLORADO SPRINGS CONTROL NETWORK (RMS DATUM)
- ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.

## LEGEND

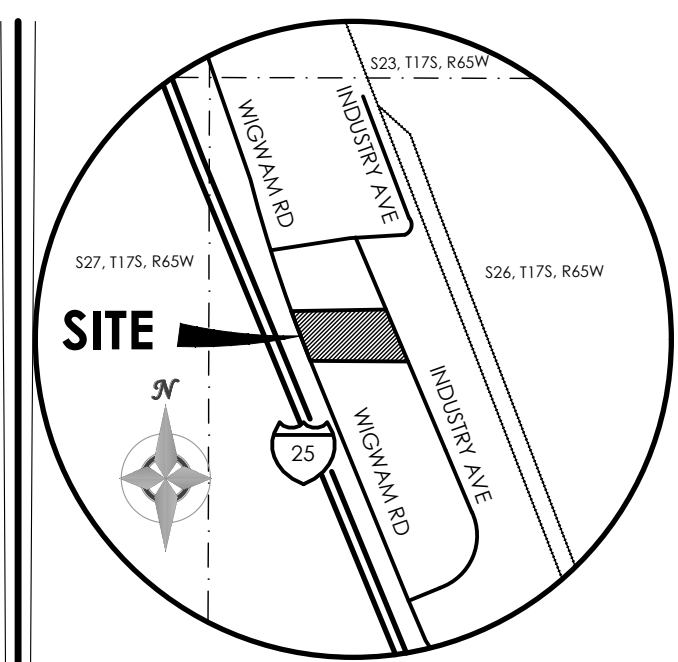
- PROPERTY LINE
- EASEMENT LINE
- LOT LINE
- BUILDING SETBACK LINE
- ADJACENT PROPERTY LINE

- EXISTING**
- INDEX CONTOUR
  - INTERMEDIATE CONTOUR
  - CONCRETE AREA
  - ASPHALT AREA
  - CURB AND GUTTER
  - BUILDING/ BUILDING OVERHANG
  - DECK
  - RETAINING WALL - SOLID/ ROCK
  - SIGN
  - BOLLARD
  - WOOD FENCE
  - CHAIN LINK FENCE
  - BARBED WIRE FENCE
  - TREE (EVERGREEN/DECIDUOUS)
  - SHRUB
  - ROCK

- PROPOSED**
- INDEX CONTOUR
  - INTERMEDIATE CONTOUR
  - CONCRETE AREA
  - ASPHALT AREA
  - CURB AND GUTTER
  - BUILDING/ BUILDING OVERHANG
  - DECK
  - RETAINING WALL - SOLID/ ROCK
  - SIGN
  - BOLLARD
  - 2515 LARAMIE DRIVE BUILDING ADDRESS (100) UNIT ADDRESS
  - FIRE LANE

## ABBREVIATION LEGEND

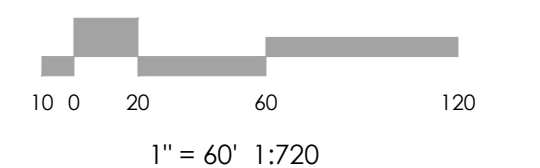
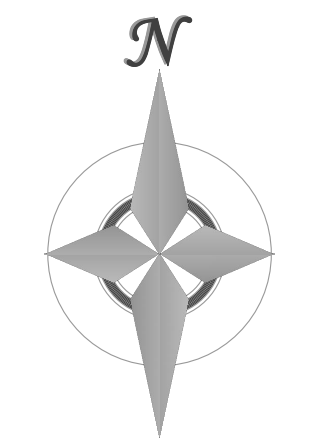
- |           |                  |
|-----------|------------------|
| ASPH      | ASPHALT          |
| CONC      | CONCRETE         |
| C & G     | CURB & GUTTER    |
| DET.      | DETAIL           |
| ESMT      | EASEMENT         |
| ME        | MATCH EXISTING   |
| P.B., PG. | PLAT BOOK, PAGE  |
| PVMT      | PAVEMENT         |
| RET. WALL | RETAINING WALL   |
| REC. NO.  | RECEPTION NUMBER |
| R.O.W.    | RIGHT-OF-WAY     |
| SF        | SQUARE FOOT      |
| STBK      | SETBACK          |
| SW        | SIDEWALK         |
| UTIL      | UTILITY          |
| C         | CATCH CURB       |
| S         | SPILL CURB       |



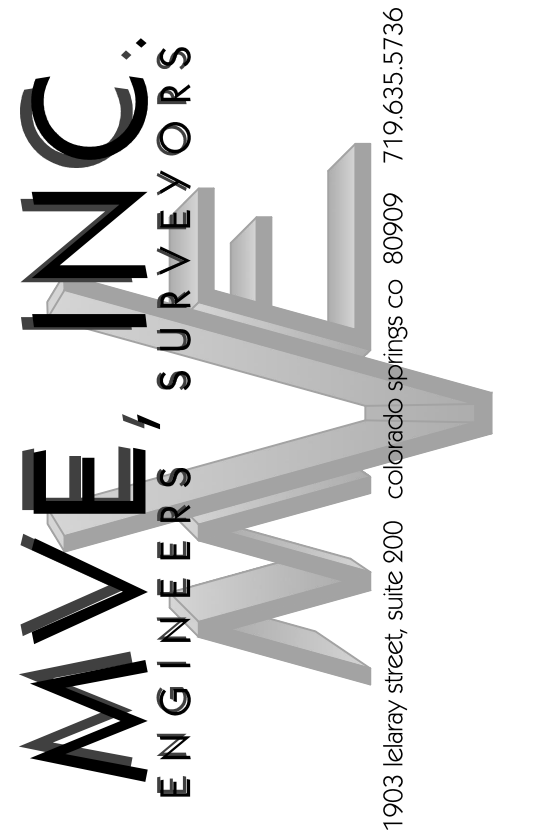
## VICINITY MAP

NOT TO SCALE

BENCHMARK  
THE BENCHMARK FOR THESE PLANS IS A NAIL W/ ALUM WASHER FOUND AT THE SW CORNER OF SITE. TOP OF NW RAILROAD TIE WALL ELEV. = 5232.19' (COLORADO CENTRAL, NAVD 88)



1" = 60' 1:720



## REVISIONS

DESIGNED BY JO  
CHECKED BY  
AS-BUILTS BY  
CHECKED BY

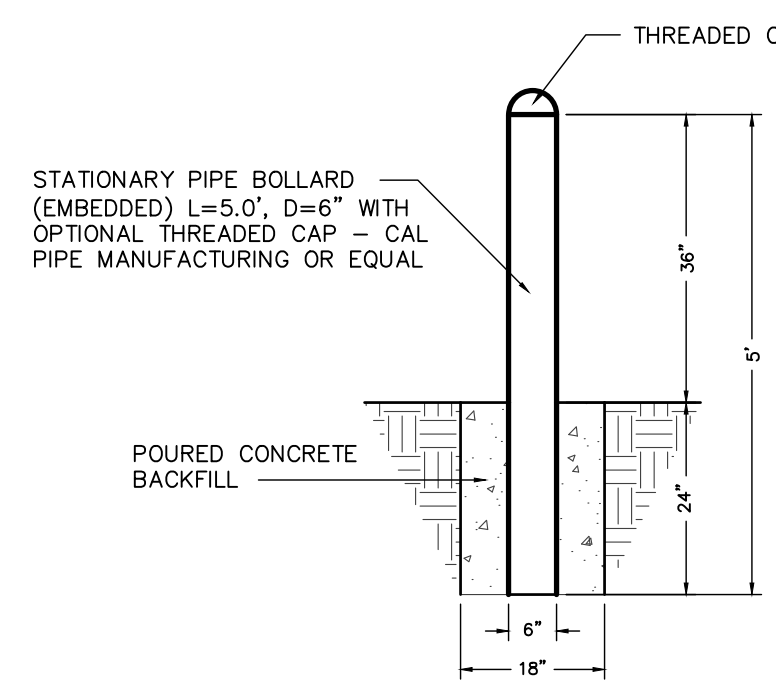
19955 WIGWAM RD  
EL PASO COUNTY, CO

SITE DEVELOPMENT PLAN  
COVER SHEET

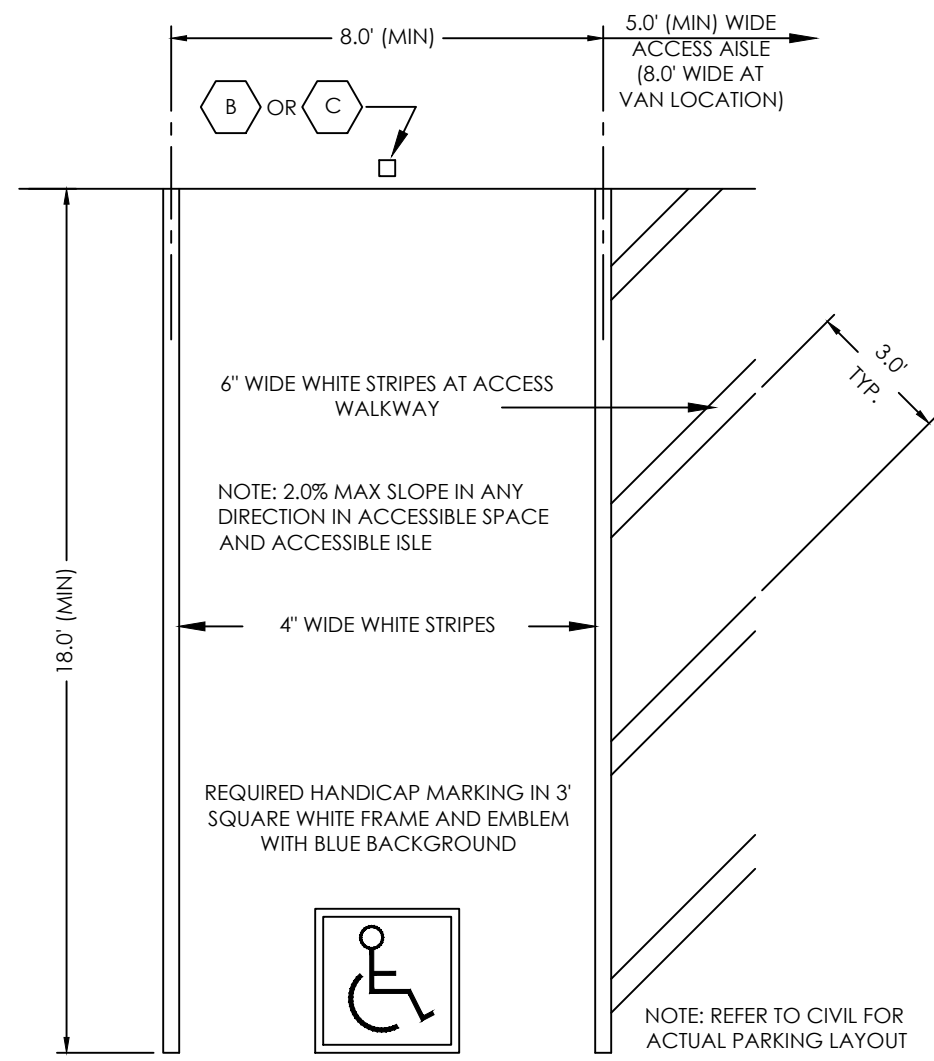
DP-1 MVE PROJECT 61180  
MVE DRAWING DEV-CS

MARCH 31, 2023  
SHEET 1 OF 2

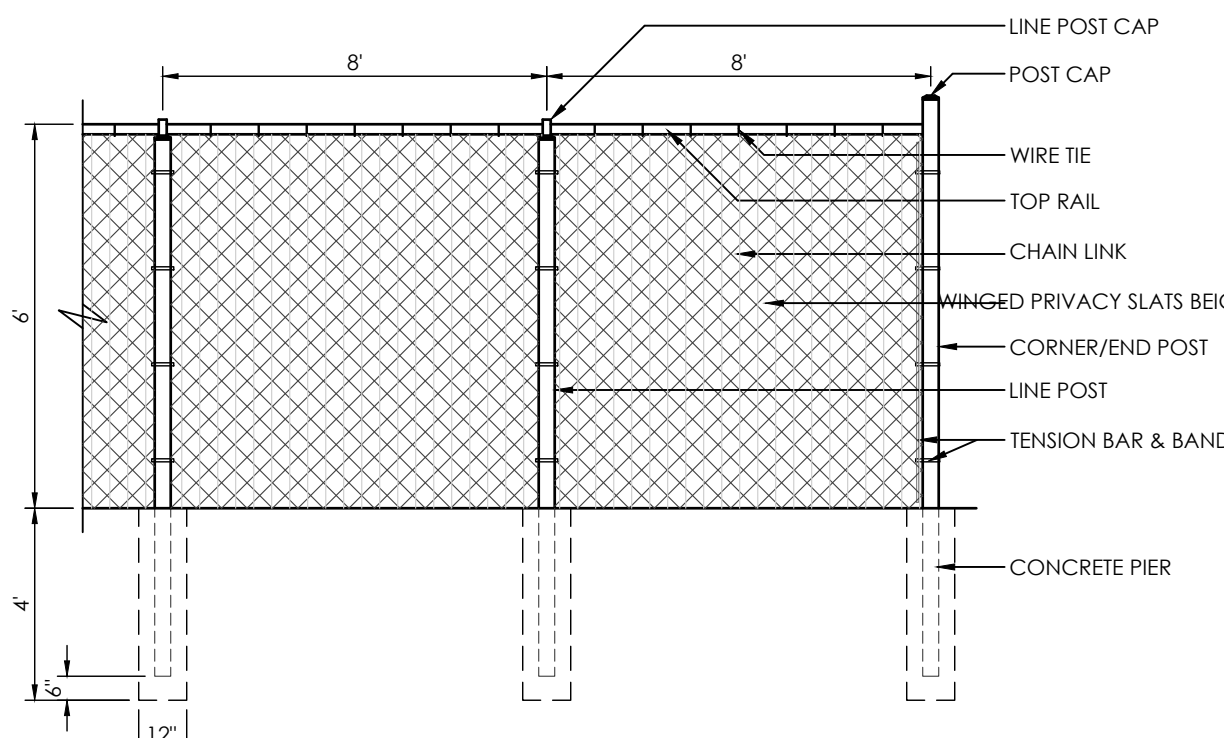




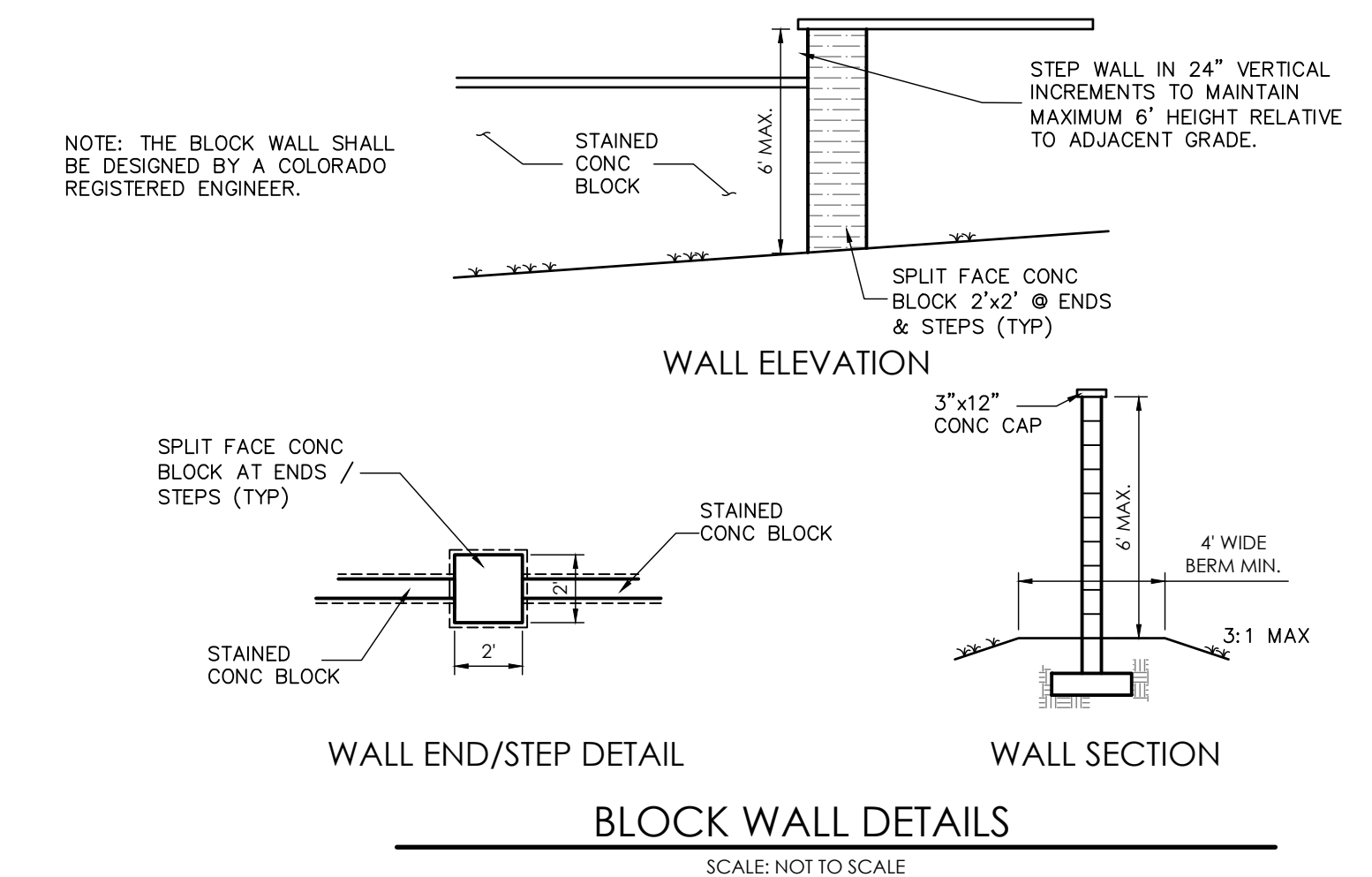
**BOLLARD DETAIL**  
SCALE 1" = 2.0'



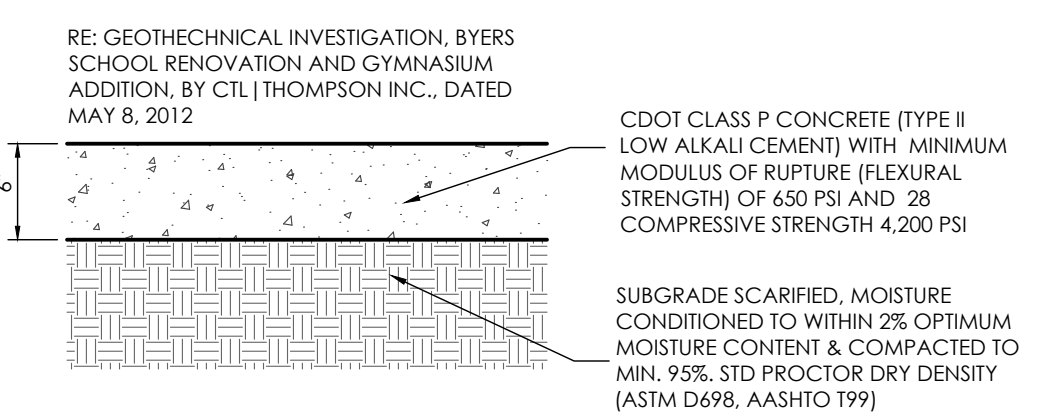
**TYPICAL HANDICAP PARKING SPACE**  
SCALE 1" = 4.0'



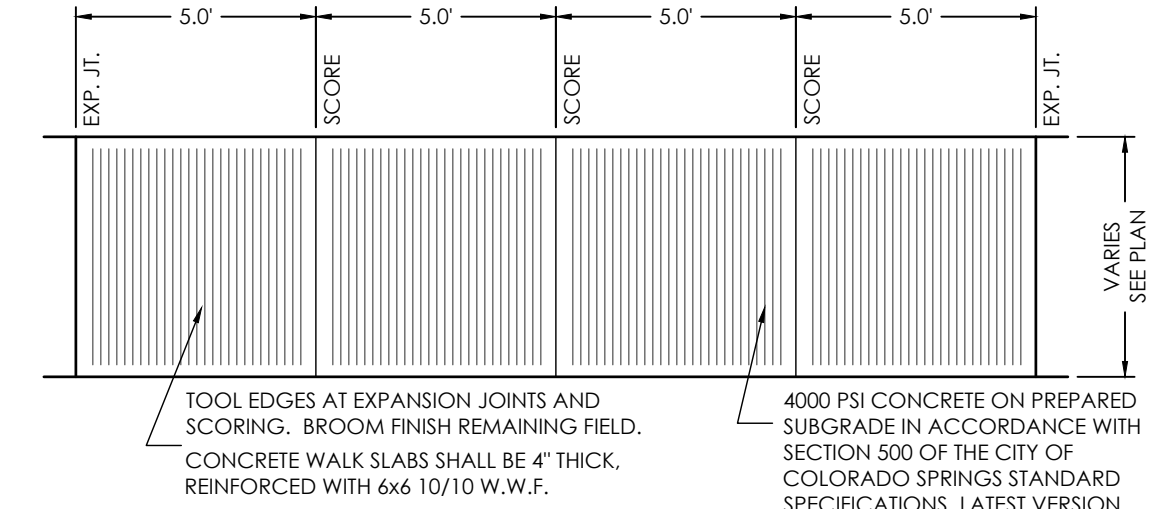
**6' OPAQUE CHAIN LINK FENCE DETAIL**  
SCALE 1/4" = 1.0'



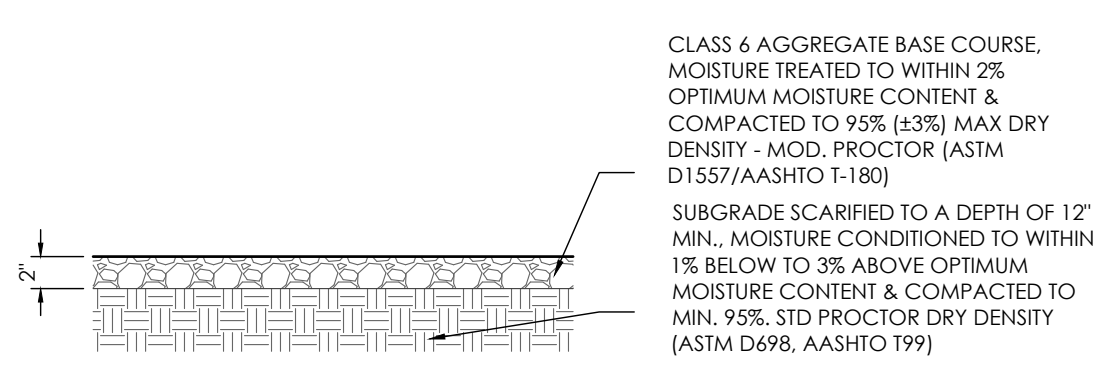
**BLOCK WALL DETAILS**  
SCALE: NOT TO SCALE



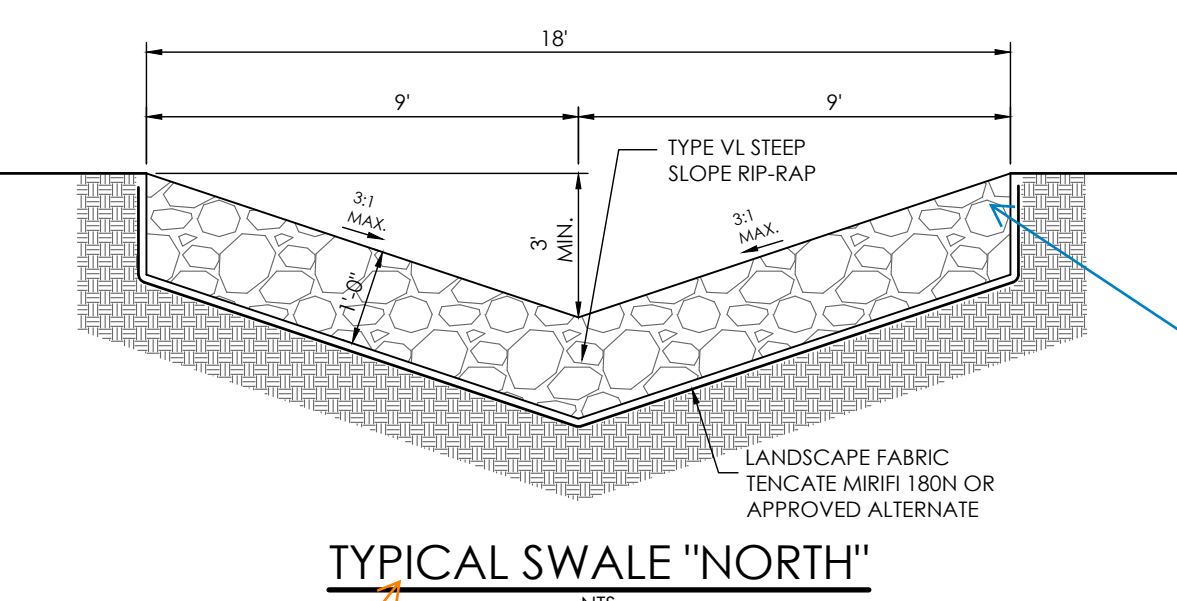
**PARKING LOT PAVEMENT SECTION (CONCRETE)**  
SCALE 1" = 1.0'



**TYPICAL SIDEWALK DETAIL**  
SCALE 1" = 4.0'

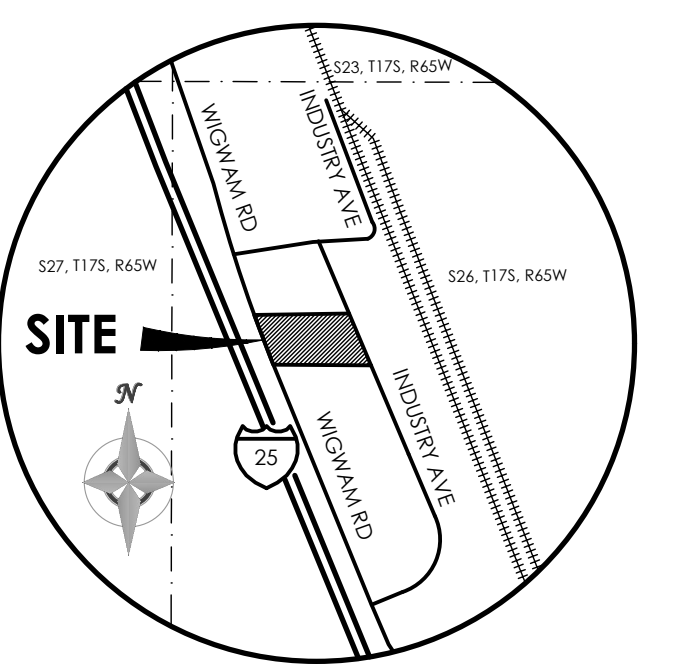
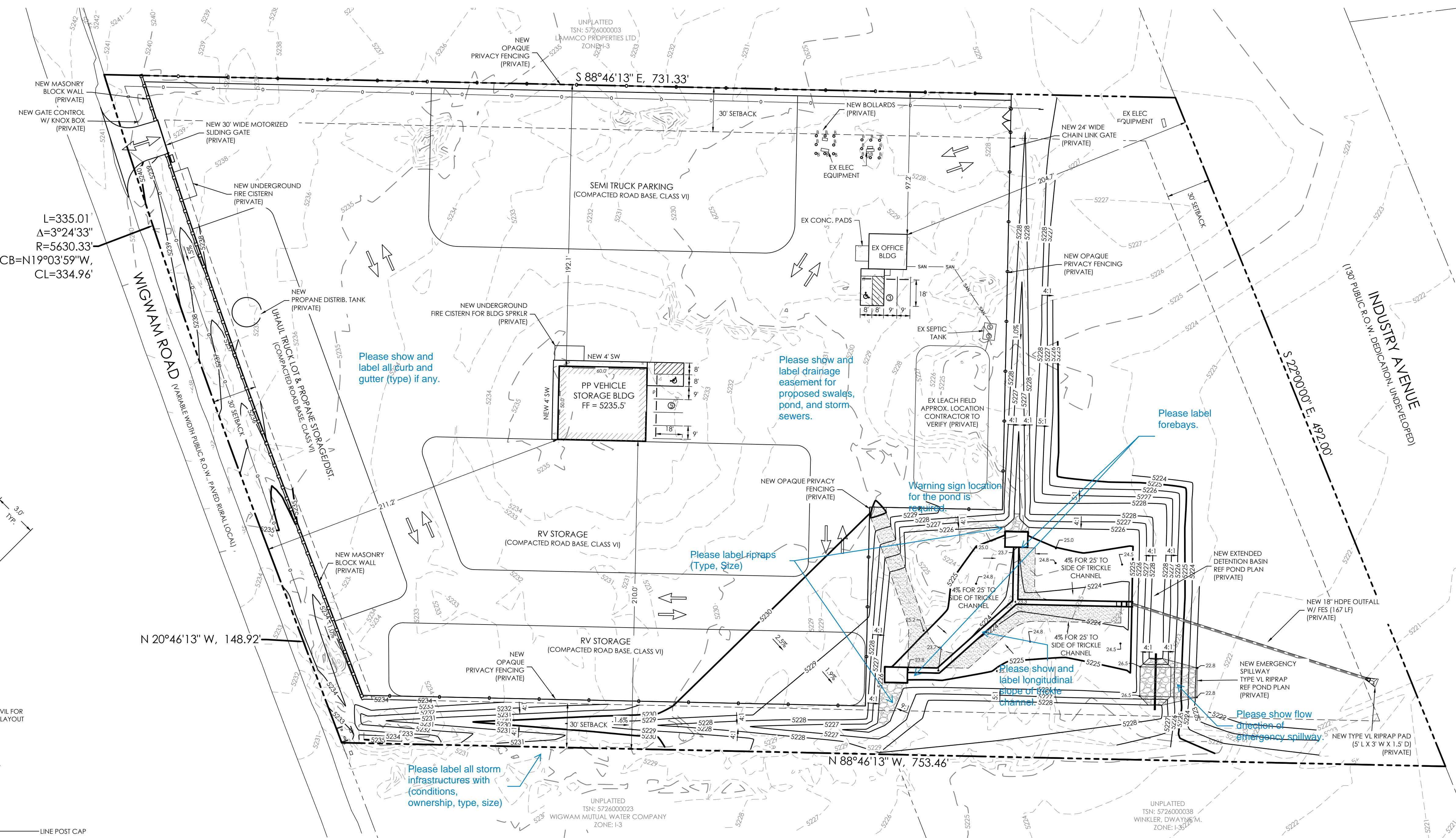


**STORAGE AREA BASE COURSE**  
SCALE 1" = 1.0'

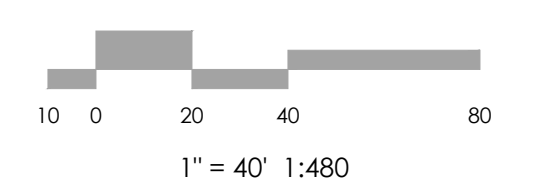
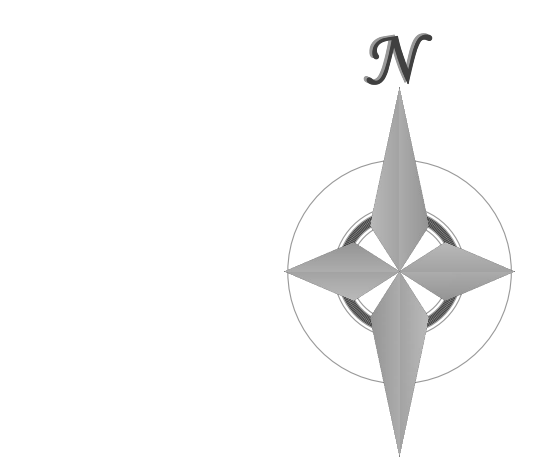


**TYPICAL SWALE "NORTH"**  
NHS

Provide detail for the "south" swale as well or clarify this applies to both.



**VICINITY MAP**  
NOT TO SCALE



**MVE, INC.**  
ENGINEERS & SURVEYORS  
1903 Leary Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS

DESIGNED BY: JO  
DRAWN BY: JO  
CHECKED BY:  
AS-BUILTS BY:  
CHECKED BY:

19955 WIGWAM RD  
EL PASO COUNTY, CO

**SITE DEVELOPMENT PLAN**  
**SITE PLAN**

**DP-2** MVE PROJECT 61180  
MVE DRAWING DEV-CS

**MARCH 31, 2023**  
**SHEET 2 OF 2**