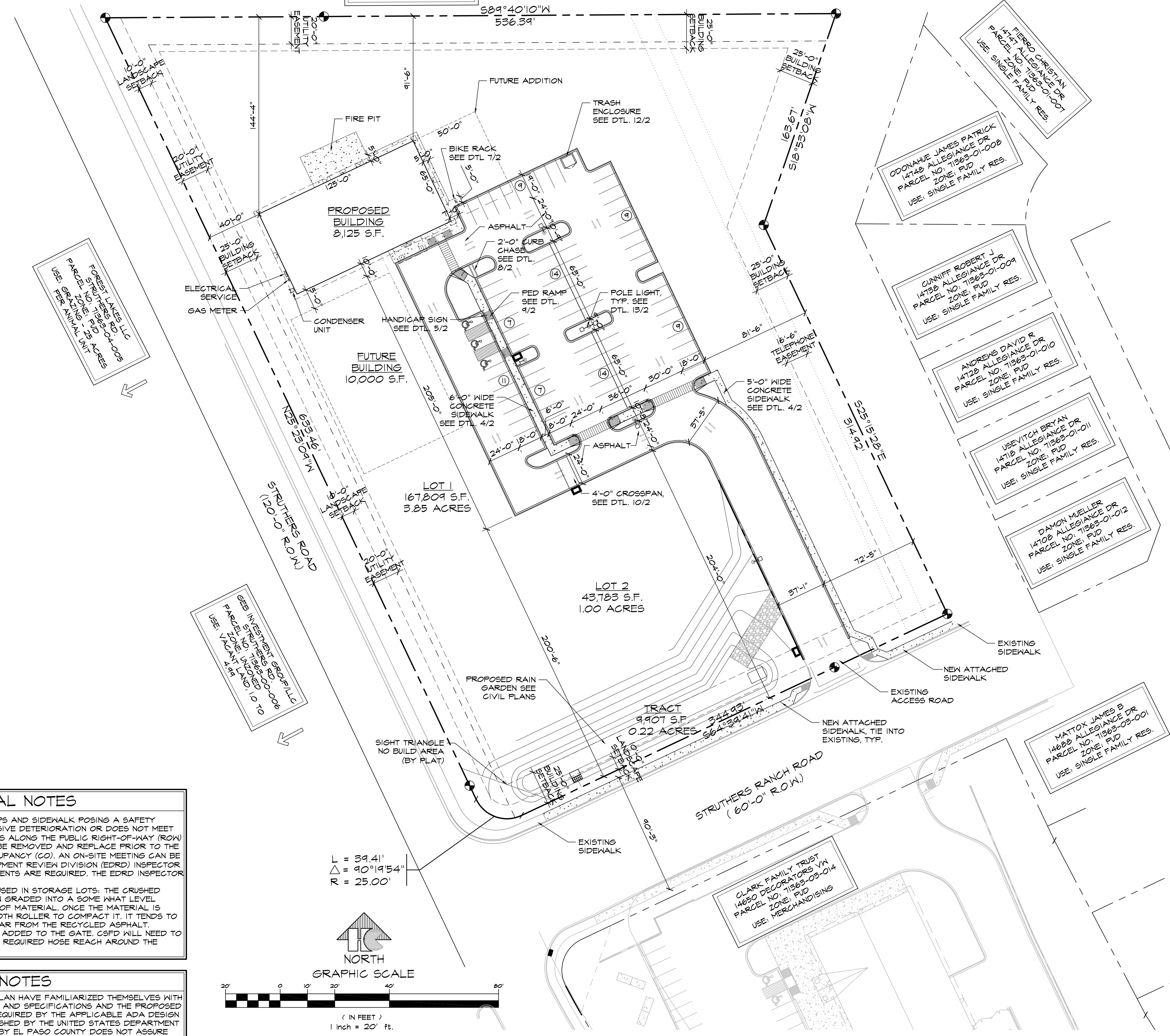
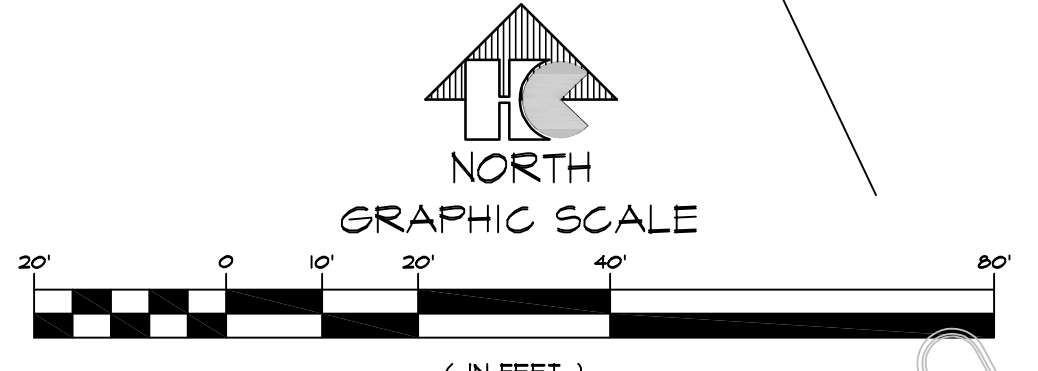


ELITE PROPERTIES OF AMERICA INC.  
SPANISH BIT DR  
PARCEL NO. 71360-01-045  
ZONE: R-4  
USE: VACANT RES. LOTS



L = 39.41'  
Δ = 90°19'54"  
R = 25.00'



**SITE PLAN**  
SCALE: 1"=40'-0"

**GENERAL NOTES**

- ALL CURB, GUTTER, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARDS ALONG THE PUBLIC RIGHT-OF-WAY (ROW) ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (CO). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW DIVISION (EDRD) INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE EDRD INSPECTOR CAN BE REACHED AT 719-325-5477.  
- APPLICATION OF CRUSHED ASPHALT USED IN STORAGE LOTS: THE CRUSHED ASPHALT IS BROUGHT TO THE SITE THEN GRADED INTO A SOME WHAT LEVEL SURFACE. THIS THICKNESS IS ABOUT 4" OF MATERIAL. ONCE THE MATERIAL IS APPLIED AND LEVELED, WE USE A SMOOTH ROLLER TO COMPACT IT. IT TENDS TO BIND TOGETHER WITH THE LEFT-OVER TAR FROM THE RECYCLED ASPHALT.  
- APPROVED KNOX EQUIPMENT WILL BE ADDED TO THE GATE. CSFD WILL NEED TO GET THROUGH THE GATE TO REACH THE REQUIRED HOSE REACH AROUND THE BUILDING.

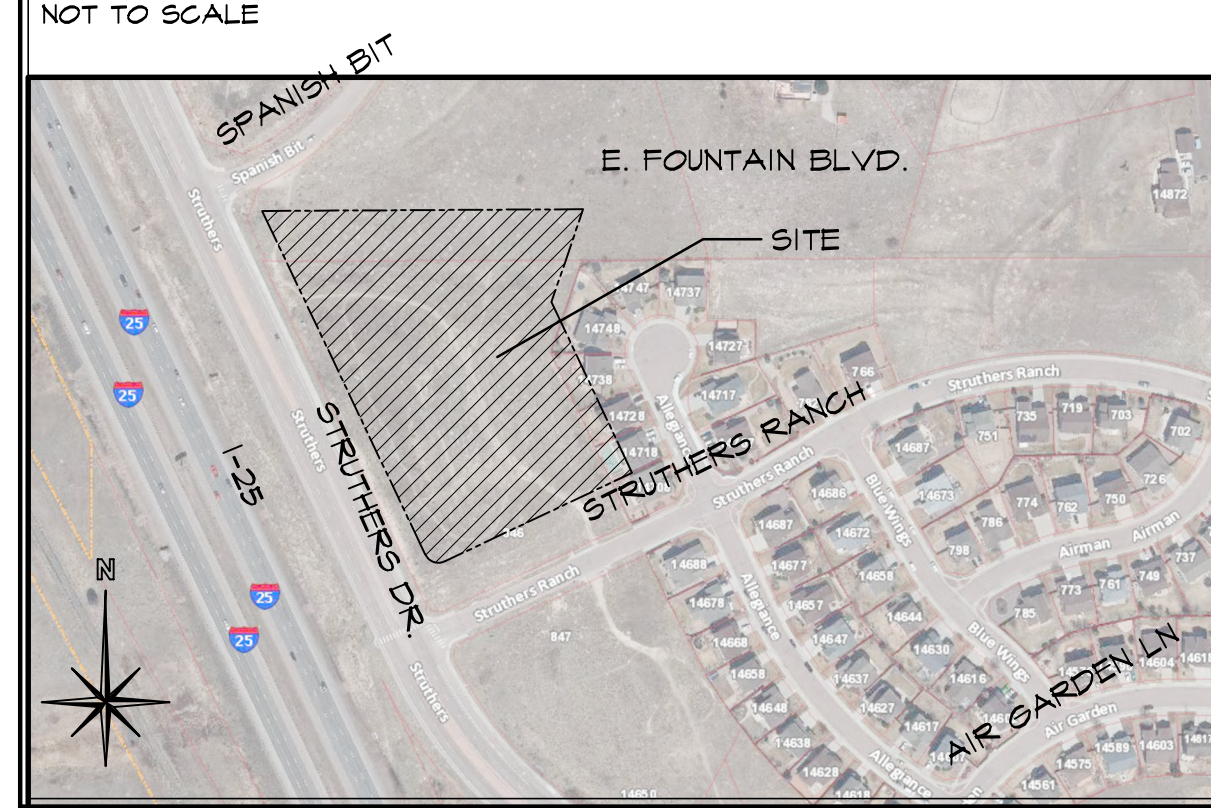
**ADA NOTES**

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR FROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

**DRAWING INDEX**

- 1 OF 16 - SITE PLAN & PROJECT INFORMATION, DRAWING INDEX
- 2 OF 16 - SITE DETAILS
- 3 OF 16 - GRADING & EROSION CONTROL, PLAN TITLE SHEET
- 4 OF 16 - GEC GENERAL NOTES & LEGEND
- 5 OF 16 - SITE GRADING AND EROSION CONTROL PLAN
- 6 OF 16 - RAIN GARDEN PLAN & DETAILS
- 7 OF 16 - CIVIL & EROSION CONTROL DETAILS
- 8 OF 16 - EROSION CONTROL NOTES & DETAILS
- 9 OF 16 - SITE UTILITY PLAN
- 10 OF 16 - LANDSCAPE PLAN - AREA A
- 11 OF 16 - LANDSCAPE PLAN - AREA B AND AREA C
- 12 OF 16 - DETAILS AND NOTES
- 13 OF 16 - DETAILS AND NOTES
- 14 OF 16 - SITE PHOTOMETRIC
- 15 OF 16 - SITE PHOTOMETRIC DETAILS
- 16 OF 16 - BUILDING ELEVATIONS

**VICINITY MAP**



**PROJECT INFORMATION**

<b>PROPERTY INFORMATION</b>	
OWNER NAME:	CATHEDRAL ROCK CHURCH 590 HIGHWAY 103 STE 190 MONUMENT, CO 80132
LEGAL DESCRIPTION:	TRACT A STRUTHERS RANCH SUB PL NO. 2
PARCEL NUMBER:	71360-01-013
ZONING:	VACANT
LOT SIZE:	221,284 SF (5.08 ACRES)
CURRENT USE:	VACANT
FLOODPLAIN STATEMENT:	ZONE X (MAP NO. 08041C02016, DATED DEC 7, 2018)
<b>ZONING CODE STUDY</b>	
PROPOSED PRINCIPAL USE:	RELIGIOUS INSTITUTE
STRUCTURAL COVERAGE:	24%
PAVEMENT COVERAGE:	54%
STREET COVERAGE:	0%
LANDSCAPE COVERAGE:	12%
BUILDING STRUCTURAL HEIGHT:	18'-7 3/8" (40'-0" MAX)
FRONT YARD SETBACK:	25'-0"
SIDE YARD SETBACK:	10'-0"
REAR YARD SETBACK:	25'-0"
<b>BUILDING INFORMATION</b>	
GROSS BUILDING AREA:	8,125 SF
BUILDING FOOTPRINT:	8,125 SF
BUILDING OCCUPANCY:	A-3
TYPE OF CONSTRUCTION:	II-B
FIRE SYSTEMS:	NONE
AREA SEPARATION WALLS:	NONE
<b>REQUIRED PARKING SPACES</b>	
RELIGIOUS (1 SPACE/4 SEATS)	
(276 SEATS / 4 SEATS)	69
H.C. (1 SPACE/25 REQ'D)	3
TOTAL PARKING SPACES REQUIRED:	69
TOTAL PARKING PROVIDED:	81
STANDARD SPACES PROVIDED:	81
H.C. SPACES PROVIDED:	3
(SEE DETAIL 1/2 FOR DIMENSIONS)	1
<b>DEVELOPMENT SCHEDULE</b>	
CONSTRUCTION:	SPRING 2025
LANDSCAPING:	SUMMER 2025
<b>DEVELOPMENT APPLICANT/PREPARER</b>	
COMPANY:	HAMMERS CONSTRUCTION, INC. 1411 WOOLSEY HEIGHTS COLO. SPGS., CO 80915
PHONE NUMBER:	(719)-570-1544
FAX NUMBER:	(719)-570-1008
APPLICANT NAME:	LISA PETERSON
APPLICANT E-MAIL:	lpeterson@hammersconstruction.com

**SITE LEGEND**

---	PROPERTY LINE
- - -	RIGHT OF WAY
---	BUILDING SETBACK
- - -	LANDSCAPE SETBACK
- - -	UTILITY/DRAINAGE EASEMENT
- - -	TELEPHONE EASEMENT
- - -	ACCESS EASEMENT
x x x x x x x x	OPAQUE CHAINLINK FENCE
o o o o o o o o	6" HIGH WROUGHT IRON FENCE
- - -	STORM SEWER LINE
- - -	RETAINING WALL
- - -	NEW SIDEWALK LOCATIONS W/ CONTROL JOINTS @ 5'-0" O.C.
●	PROPERTY CORNER
—	SIGN
○	EXISTING FIRE HYDRANT
→	TRAFFIC FLOW
○	MANHOLE
○	PROPOSED FIRE HYDRANT
□	WALL PACK LIGHTING
□	ELECTRICAL TRANSFORMER
□	WALK DOOR OR OVERHEAD DOOR LOCATIONS

**HAMMERS CONSTRUCTION INC.**  
COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD  
PRESIDENT: STEVE R. HAMMERS  
VICE PRES: DAVID J. HAMMERS  
1411 WOOLSEY HEIGHTS  
COLORADO SPRINGS, CO 80915  
(719) 570-1544 FAX (719) 570-1008  
www.hammersconstruction.com

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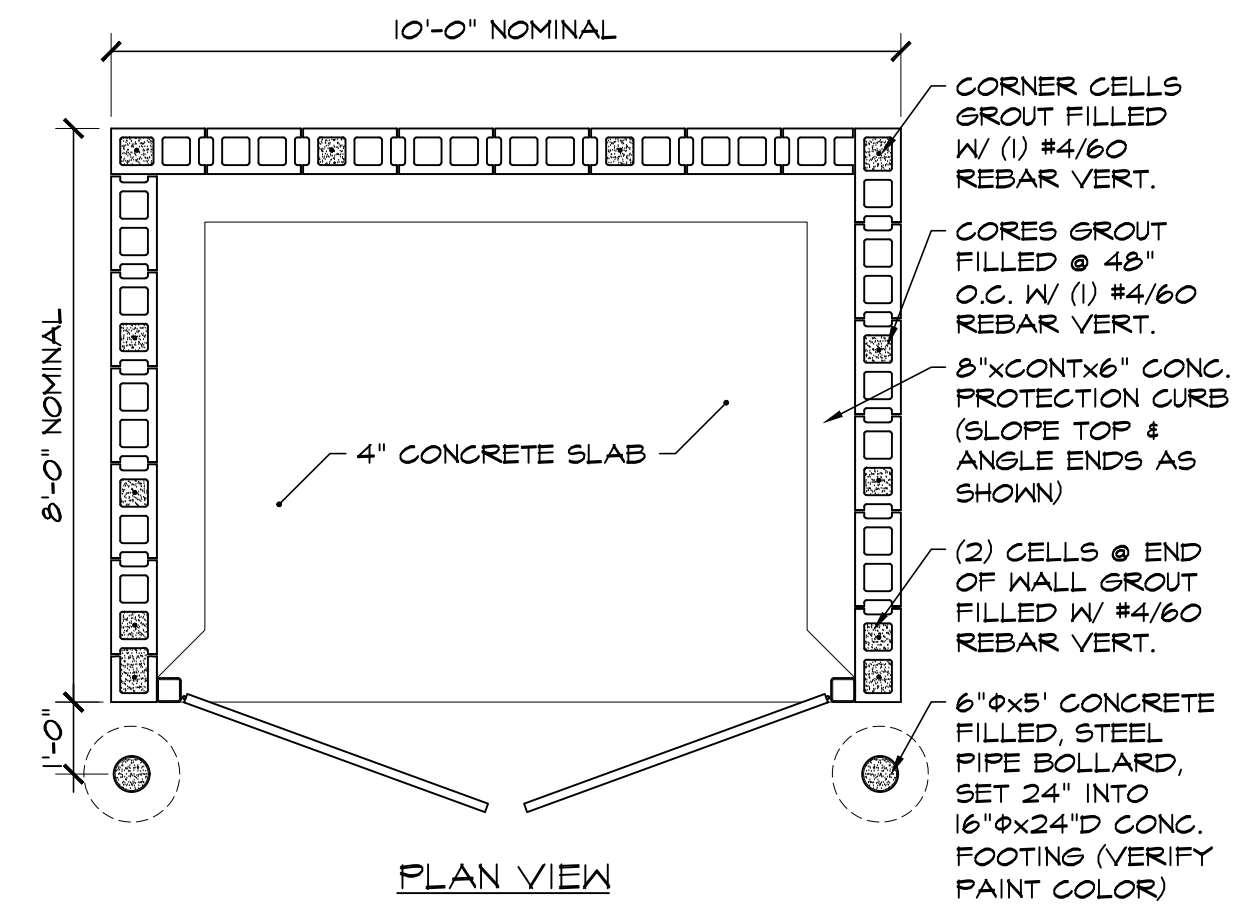
**CATHEDRAL ROCK CHURCH**  
846 STRUTHERS RANCH RD.  
COLORADO SPRINGS, CO 80921  
EL PASO COUNTY, COLORADO

NOT FOR CONSTRUCTION

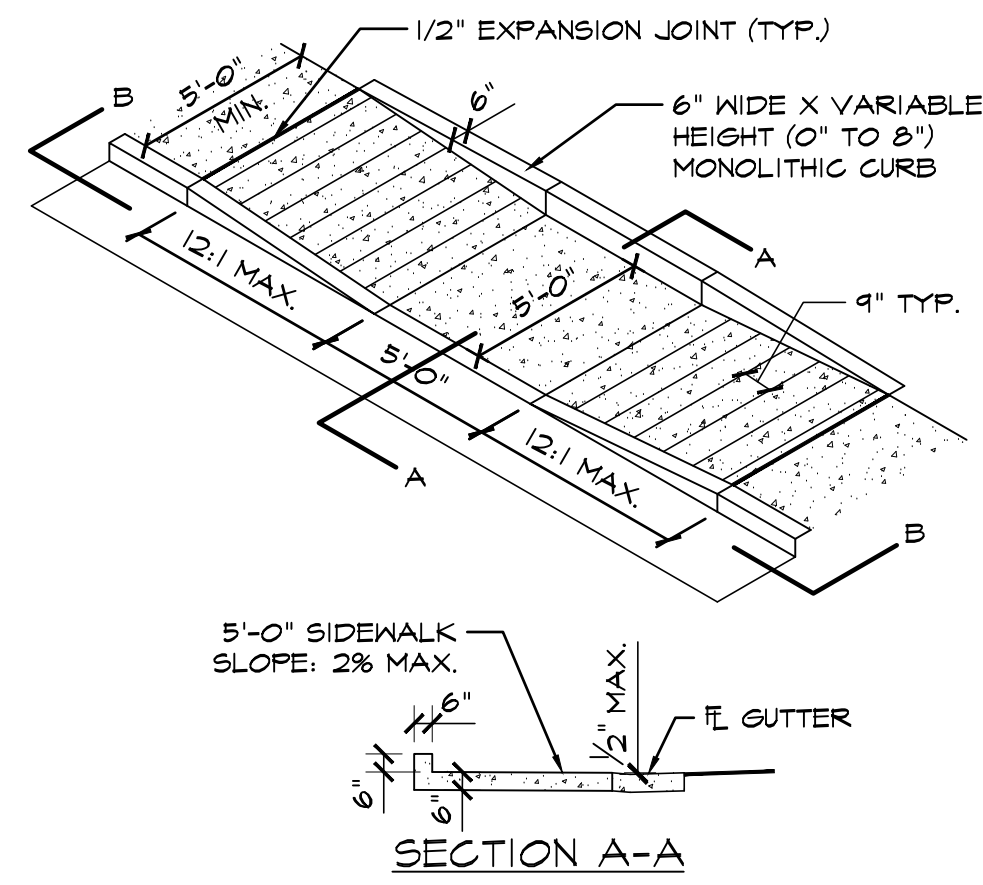
DATE: SEPT 27, 2024  
DRAWN BY: D. AGUIÑO  
PROJ. MGR: J. BUTLER  
SCALE: SEE PLAN  
APPROVED BY:  
JOB NO: 1374

RESUBMITTALS:

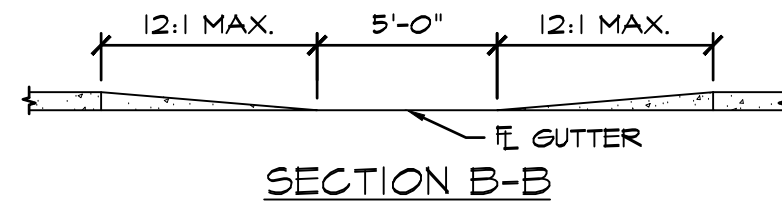




PLAN VIEW



SECTION A-A

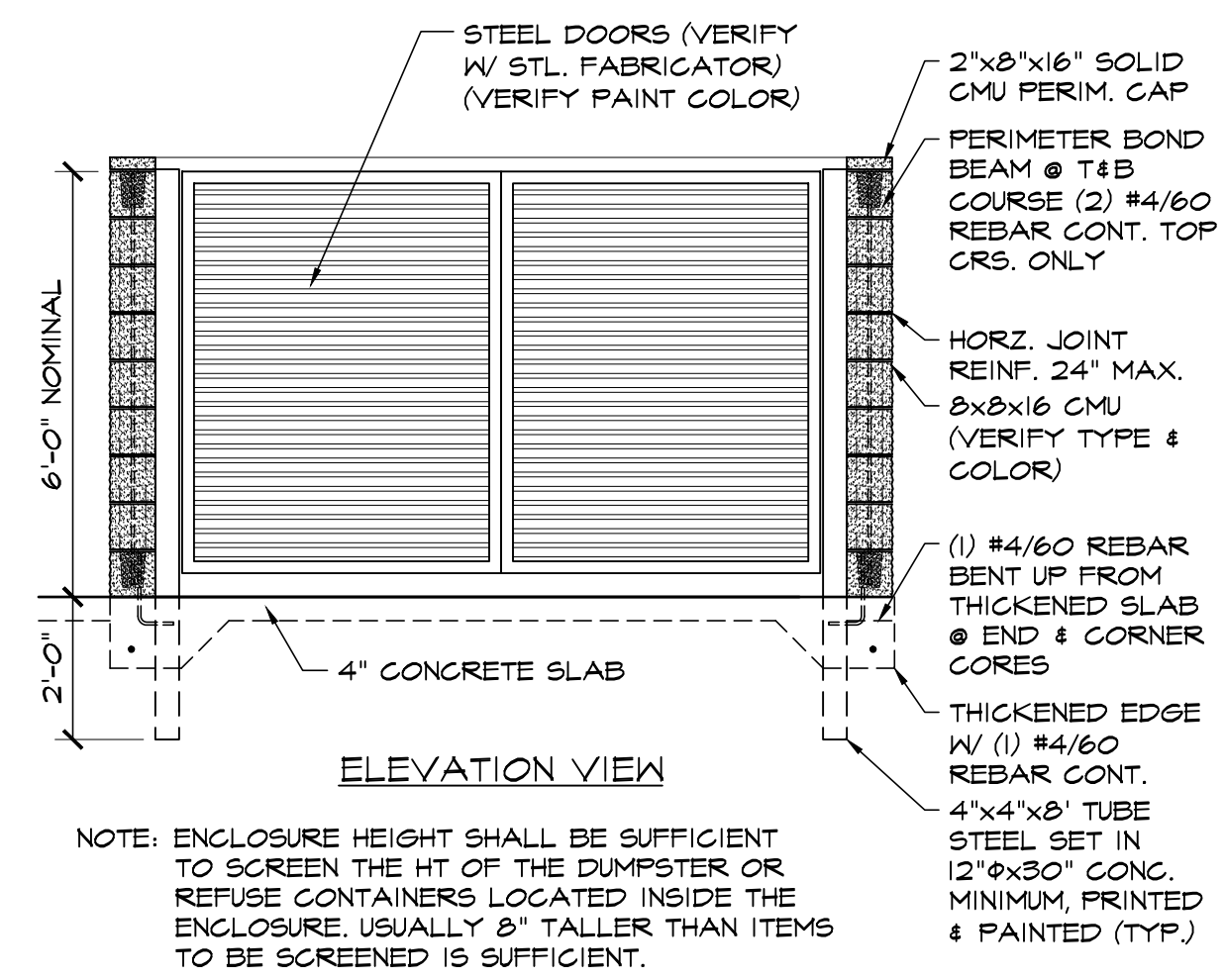


SECTION B-B

**GENERAL NOTES:**

- ALL WORK TO BE DONE IN ACCORDANCE WITH CURRENT EL PASO COUNTY ENGINEERING DIVISION STANDARD SPECIFICATIONS.
- SIDEWALK CROSS-SLOPE: 1/4" FT.
- CONTRACTOR TO OBTAIN REQUIRED CONCRETE PERMIT AND RAMP PERMIT AT ENGINEERING DIVISION INSPECTION OFFICE PRIOR TO CONSTRUCTION.
- CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION OFFICE AT LEAST 24 HOURS PRIOR TO PLACEMENT OF ANY CONCRETE.
- THE RAMP SURFACES SHALL BE FINISHED WITH A COARSE BROOM FINISH PARALLEL WITH THE SCORING, IN ACCORDANCE WITH SECTION 504.03E OF THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL STAMP THE COMPANY NAME AND CONSTRUCTION DATE WITHIN THE PEDESTRIAN RAMP AREA.
- PEDESTRIAN TRAVELWAY AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMPS ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMPS. NEW RAMPS SHALL ALIGN WITH EXISTING RAMPS AND PEDESTRIAN TRAVELWAY.
- SHADED AREA: 6" THICK CONCRETE

9 PEDESTRIAN RAMP DETAIL D-8J  
SCALE: 3/16"=1'-0"



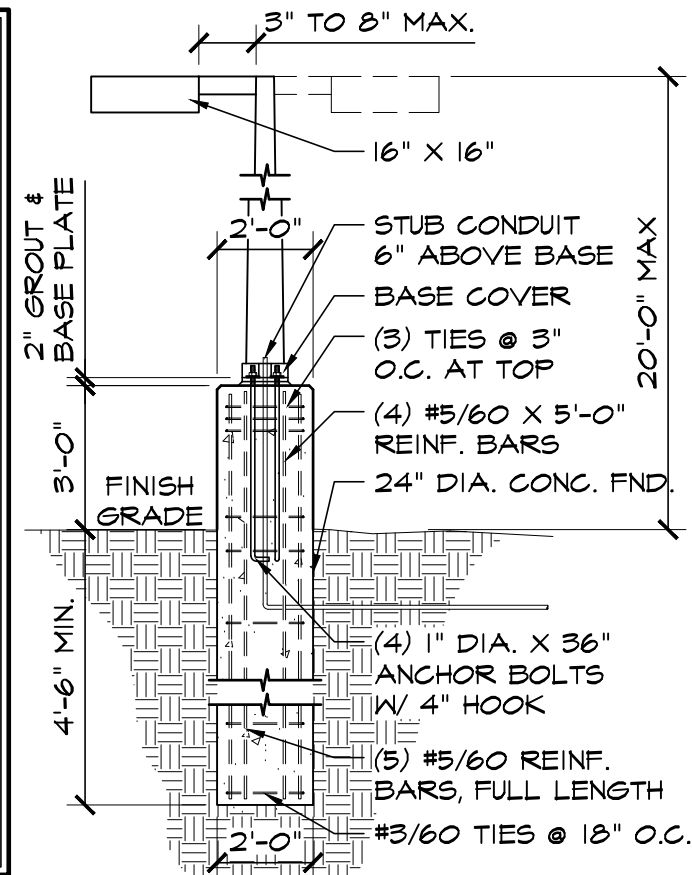
ELEVATION VIEW

NOTE: ENCLOSURE HEIGHT SHALL BE SUFFICIENT TO SCREEN THE HT OF THE DUMPSTER OR REFUSE CONTAINERS LOCATED INSIDE THE ENCLOSURE. USUALLY 8' TALLER THAN ITEMS TO BE SCREENED IS SUFFICIENT.

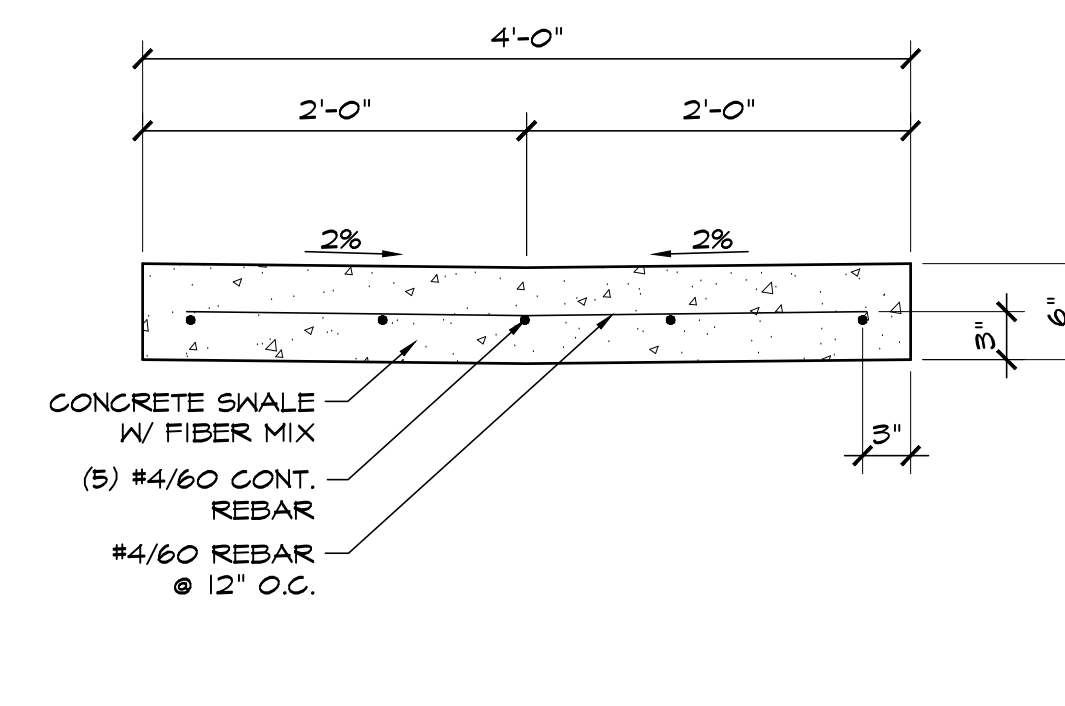
12 CMU TRASH ENCLOSURE DTL  
SCALE: 3/8"=1'-0"

**NOTES:**

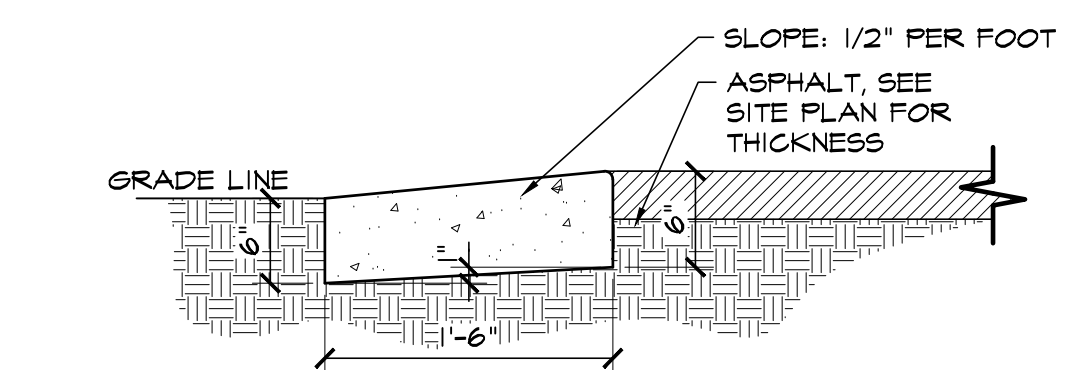
- LIGHTING LEVELS SHALL NOT EXCEED 15 FOOTCANDLES WHEN MEASURED @ GROUND LEVEL.
- PROVIDE CONG. 36" ABOVE GRADE, WITHIN 36" OF CURB OR DRIVE.
- LIGHTING WILL BE HIGH-PRESSURE SODIUM DOWNCAST ON ROUND TAPERED POLE W/ ROUND LIGHT HOUSING. (SEE SITE PLAN FOR LOCATIONS)
- ALL POLES, LIGHTS, & HOUSING TO BE PAINTED TO MATCH BLDG. STRFT. TYP. ON ALL POLE LIGHTS.
- NO LIGHTING WILL SHINE OFF SITE.
- IF LIGHT POLE BASE IS WITHIN 36" OF A DRIVE ISLE THEN THE BASE WILL STICK UP 36" ABOVE FIN. GRADE. OTHERWISE THE BASE WILL STICK UP 6" ABOVE GRADE.



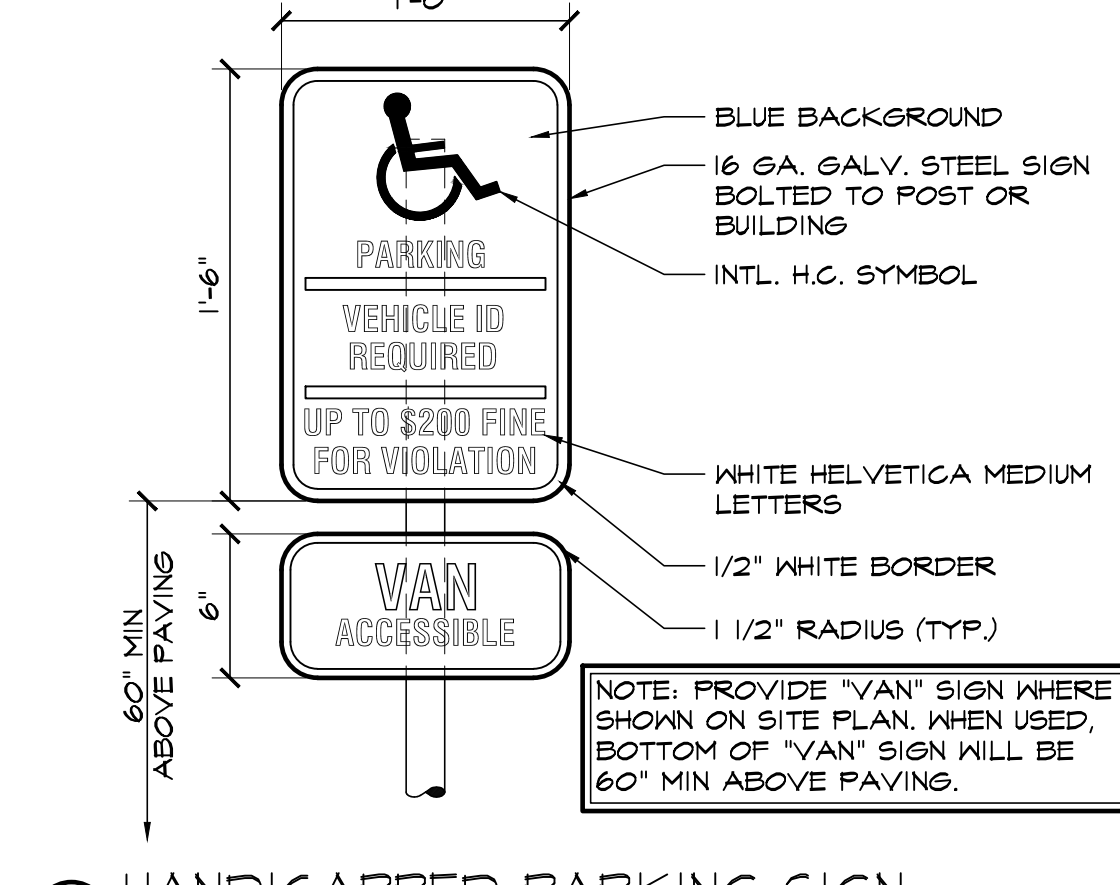
13 LIGHT POLE BASE DETAIL  
SCALE: 1/4"=1'-0"



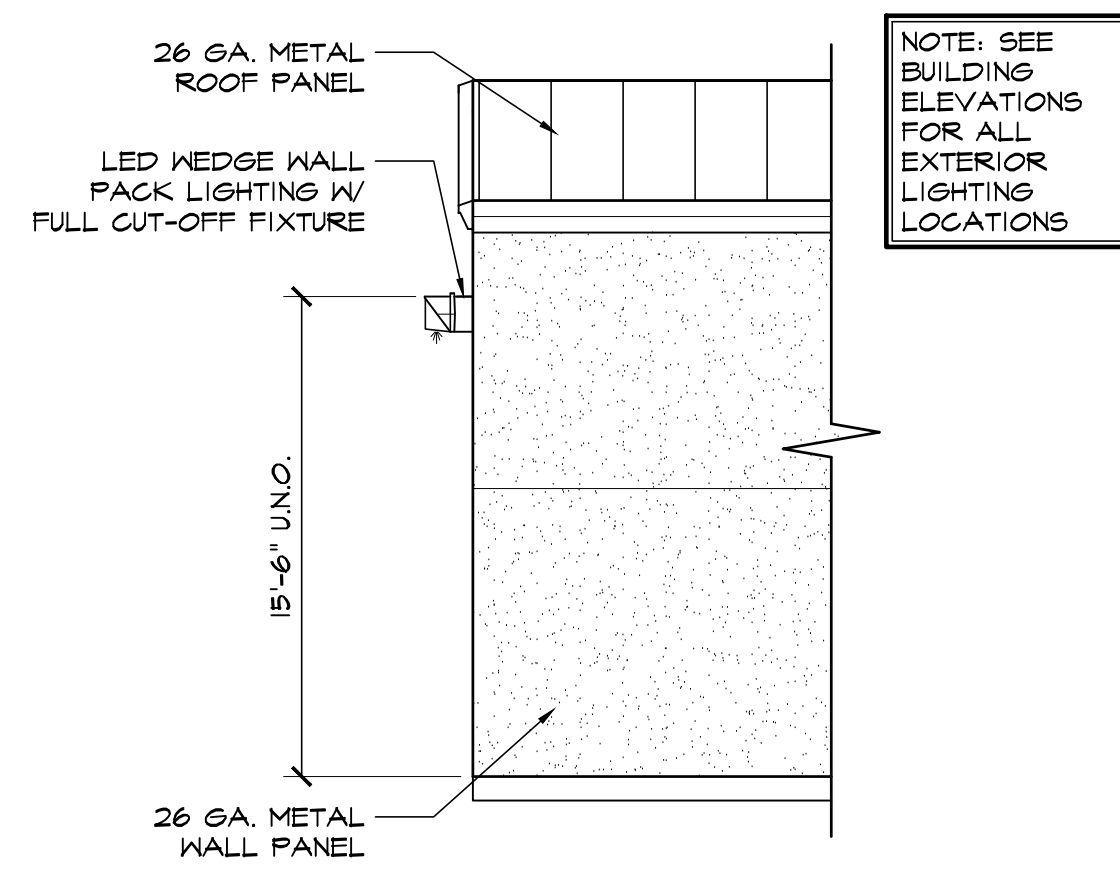
10 4'-0" CROSSSPAN DETAIL  
SCALE: 1"=1'-0"



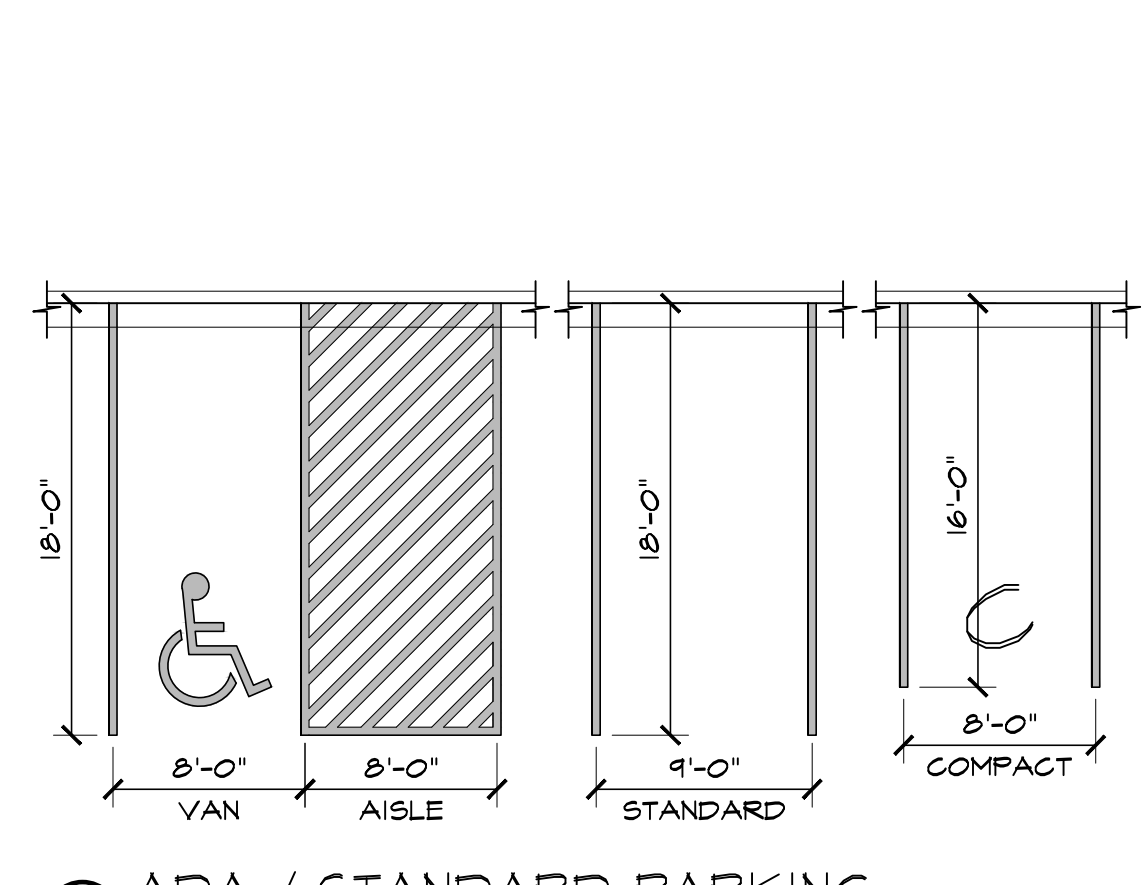
11 FLUSH CURB  
SCALE: 1"=1'-0"



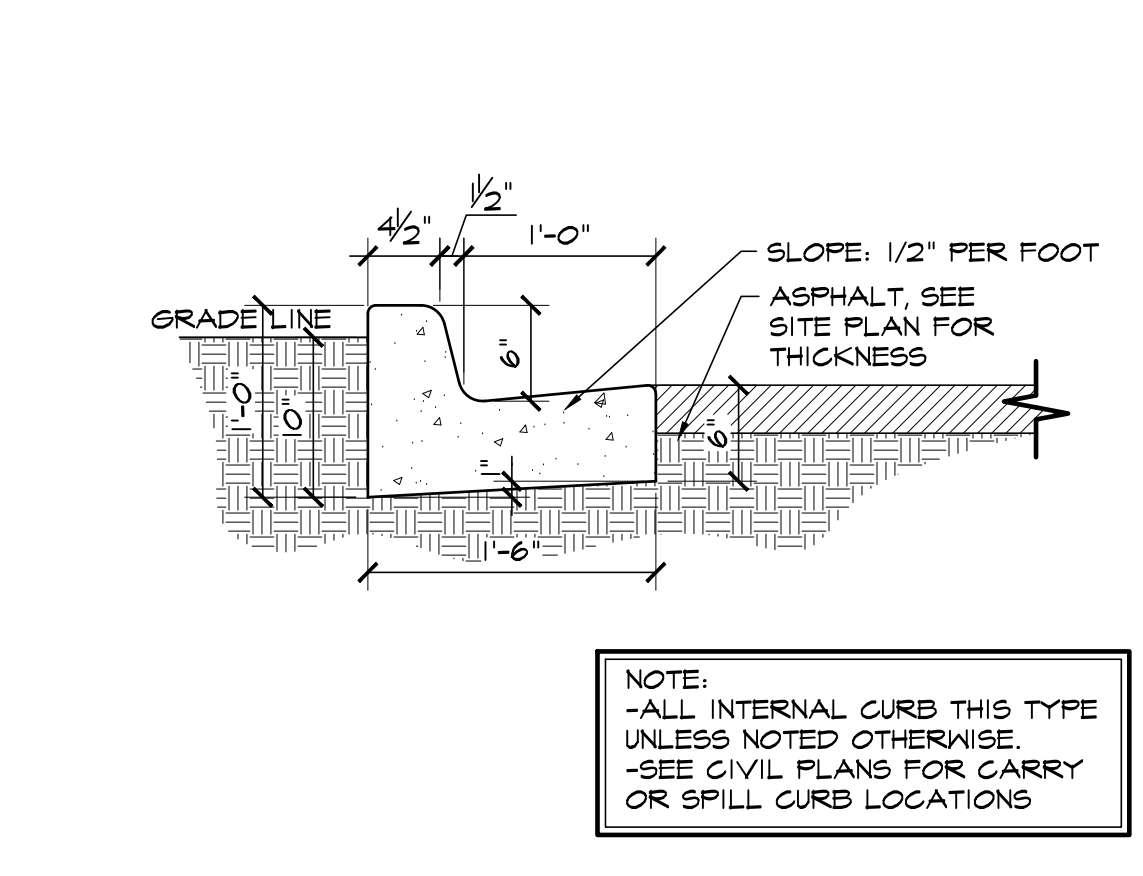
5 HANDICAPPED PARKING SIGN  
SCALE: 1/2"=1'-0"



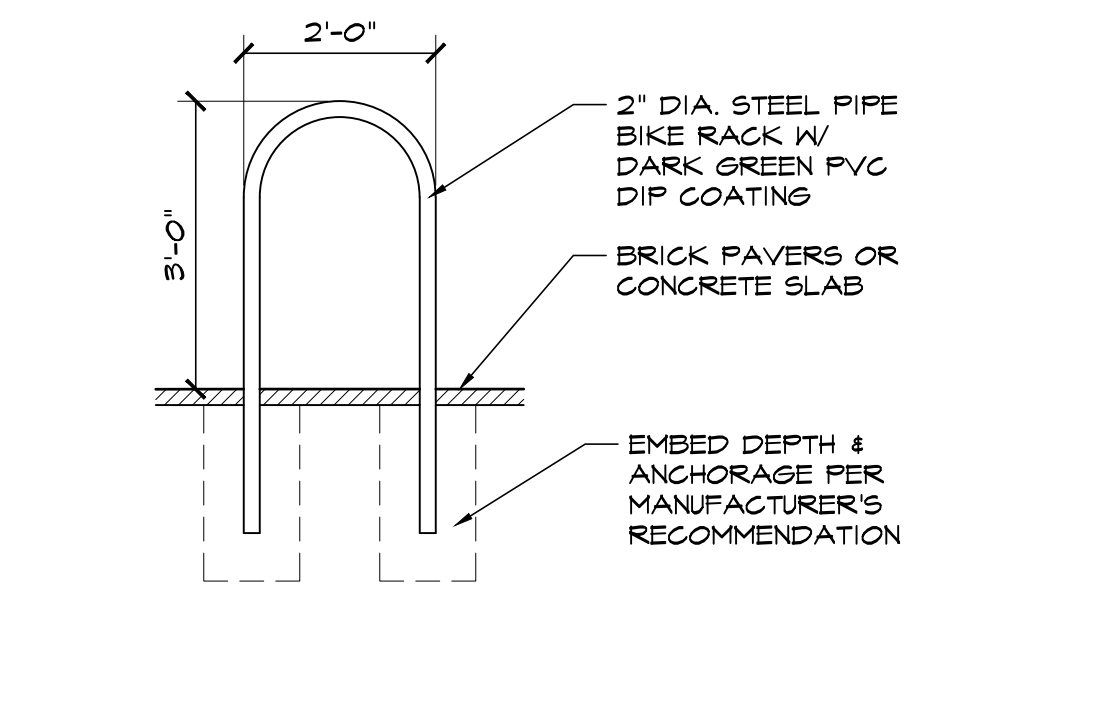
6 WALL PACK LIGHT DETAIL  
SCALE: 1/4"=1'-0"



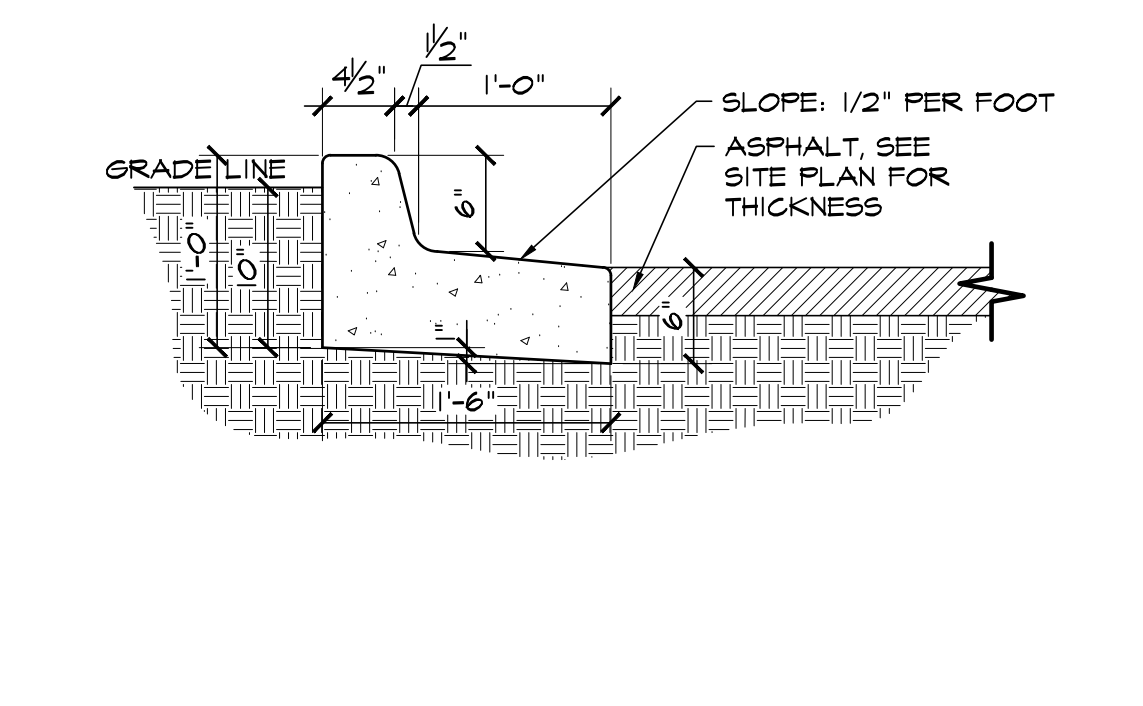
1 ADA / STANDARD PARKING  
SCALE: 1/8"=1'-0"



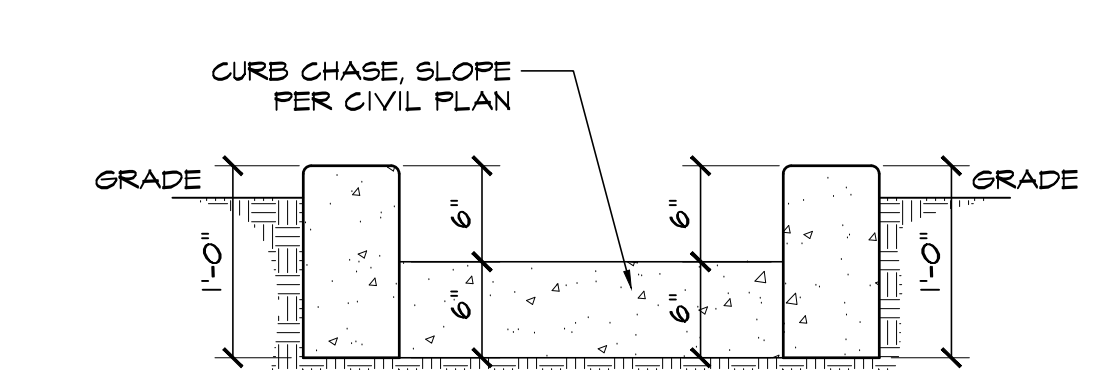
2 TYPE 3 CARRY CURB  
SCALE: 1"=1'-0"



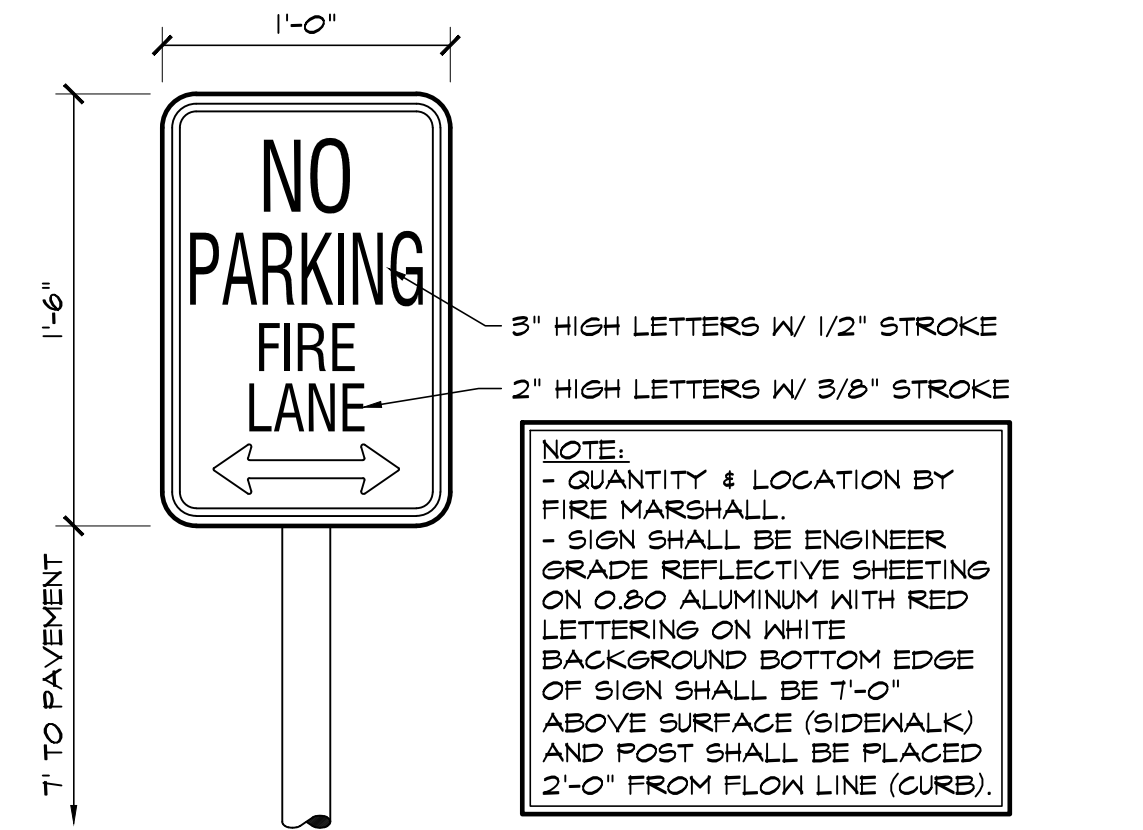
7 BIKE RACK DETAIL  
SCALE: 1/2"=1'-0"



3 TYPE 3 SPILL CURB  
SCALE: 1"=1'-0"



8 CURB CHASE DETAIL  
SCALE: 1"=1'-0"



4 FIRE LANE SIGN  
SCALE: 1 1/2"=1'-0"

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**CATHEDRAL ROCK CHURCH**  
846 STRUTHERS RANCH RD.  
COLORADO SPRINGS, CO 80921  
EL PASO COUNTY, COLORADO

DATE: SEPT 27, 2024  
DRAWN BY: D. AQUINO  
PROJ. MGR: J. BUTLER  
SCALE: SEE PLAN  
APPROVED BY:  
JOB NO: 1379

RESUBMITTALS:
