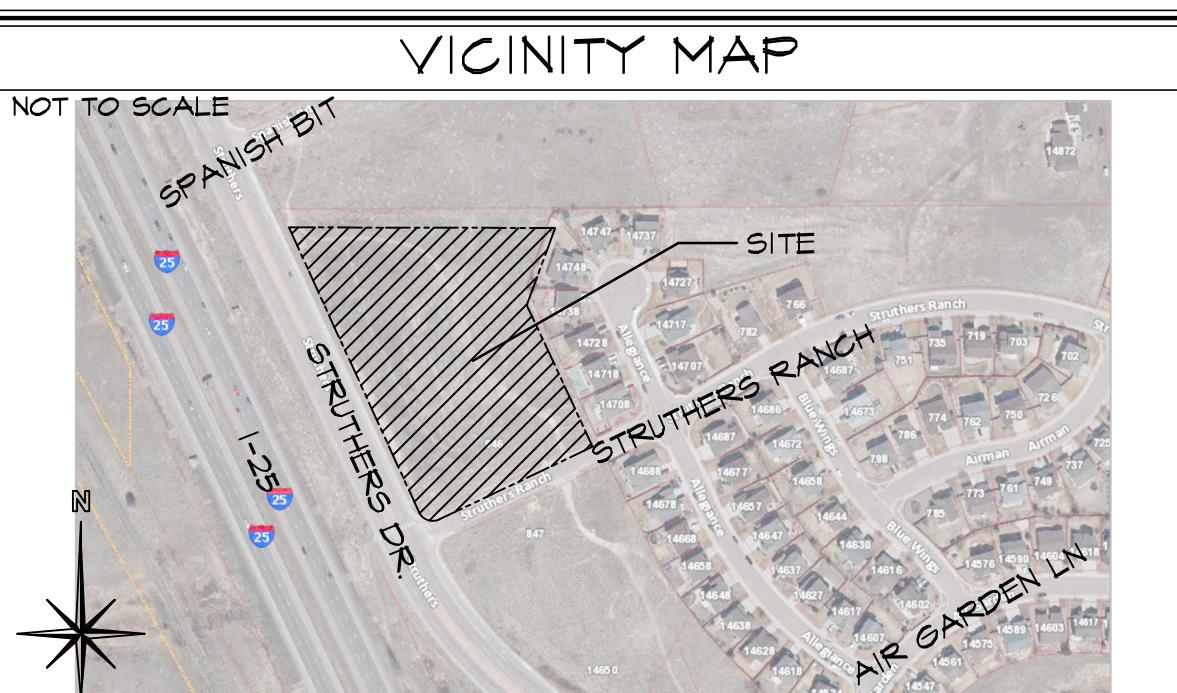


### DRAWING INDEX

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4	OF 19 - GEC GENERAL NOTES & LEGEND
5	OF 19 - SITE GRADING AND EROSION CONTROL PLAN
6	OF 19 - RAIN GARDEN PLAN & DETAILS
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### PROJECT INFORMATION

<b>PROPERTY INFORMATION</b>	
OWNER NAME:	CATHEDRAL ROCK CHURCH 530 HIGHWAY 103 SITE 190 MONUMENT, CO 80132
LEGAL DESCRIPTION:	TRACT A STRUTHERS RANCH SUB FIL NO. 2 11363-01-013
PARCEL NUMBER:	11363-01-013
LOT SIZE:	221,284 SF (5.08 ACRES)
CURRENT USE:	VACANT
FLOODPLAIN STATEMENT:	ZONE X (MAP NO. 08041C02876, DATED DEC 7, 2018)
<b>ZONING CODE STUDY</b>	
PROPOSED PRINCIPAL USE:	RELIGIOUS INSTITUTE
STRUCTURAL COVERAGE:	05%
PAVEMENT COVERAGE:	21%
STREET COVERAGE:	0%
LANDSCAPE COVERAGE:	75%
BUILDING STRUCTURAL HEIGHT:	18'-7 3/8" (40'-0" MAX)
FRONT YARD SETBACK:	25'-0"
SIDE YARD SETBACK:	10'-0"
REAR YARD SETBACK:	25'-0"
<b>BUILDING INFORMATION</b>	
GROSS BUILDING AREA:	11,375 SF
BUILDING FOOTPRINT:	11,375 SF
BUILDING OCCUPANCY:	A-3
TYPE OF CONSTRUCTION:	II-B
FIRE SYSTEMS:	NONE
AREA SEPARATION WALLS:	NONE
<b>REQUIRED PARKING SPACES</b>	
RELIGIOUS-(1 SPACE/4 SEATS) (276 SEATS / 4 SEATS):	69
OFFICE-(1 SPACE/200 S.F.)	3
H.C.-(1 SPACE/25 REQ'D)	3
TOTAL PARKING SPACES REQUIRED:	75
TOTAL PARKING PROVIDED:	83
STANDARD SPACES PROVIDED:	83
BICYCLE PARKING (5% OF REQUIRED PARKING SPACES)	4
H.C. SPACES PROVIDED (SEE DETAIL 1/2 FOR DIMENSIONS)	3
<b>DEVELOPMENT SCHEDULE</b>	
CONSTRUCTION:	SPRING 2025
LANDSCAPING:	SUMMER 2025
<b>DEVELOPMENT APPLICANT/PREPARER</b>	
COMPANY:	HAMMERS CONSTRUCTION, INC. 1411 WOOLSEY HEIGHTS COLO. SPGS., CO 80915
PHONE NUMBER:	(719)-570-1544
FAX NUMBER:	(719)-570-7008
APPLICANT NAME:	LISA PETERSON
APPLICANT E-MAIL:	lpeterson@hammersconstruction.com

### GENERAL NOTES

- ALL CURB, GUTTER, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARDS ALONG THE PUBLIC RIGHT-OF-WAY (ROW) ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (CO). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW DIVISION (EDRD) INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE EDRD INSPECTOR CAN BE REACHED AT 719-385-5411.
- APPLICATION OF CRUSHED ASPHALT USED IN STORAGE LOTS. THE CRUSHED ASPHALT IS BROUGHT TO THE SITE THEN GRADED INTO A SOME WHAT LEVEL SURFACE. THIS THICKNESS IS ABOUT 4" OF MATERIAL. ONCE THE MATERIAL IS APPLIED AND LEVELED, WE USE A SMOOTH ROLLER TO COMPACT IT. IT TENDS TO BIND TOGETHER WITH THE LEFT-OVER TAR FROM THE RECYCLED ASPHALT.
- APPROVED KNOX EQUIPMENT WILL BE ADDED TO THE GATE. CSFD WILL NEED TO GET THROUGH THE GATE TO REACH THE REQUIRED HOSE REACH AROUND THE BUILDING.
- THE OWNER AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED.

L = 39.41'  
 $\Delta = 90^\circ 19' 54''$   
 R = 25.00'

NORTH  
 GRAPHIC SCALE  
 ( IN FEET )  
 1 inch = 20' ft.

### ADA NOTES

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

### APPROVAL SIGNATURE

\_\_\_\_\_

### SITE LEGEND

---	PROPERTY LINE
- - - -	RIGHT OF WAY
---	BUILDING SETBACK
---	LANDSCAPE SETBACK
---	UTILITY/DRAINAGE EASEMENT
---	TELEPHONE EASEMENT
---	ACCESS EASEMENT
---	OPAQE CHAINLINK FENCE
---	6' HIGH WROUGHT IRON FENCE
---	STORM SEWER LINE
---	RETAINING WALL
---	NEW SIDEWALK LOCATIONS
---	W/ CONTROL JOINTS @ 5'-0" O.C.
⊙	PROPERTY CORNER
+	SIGN
⊙	EXISTING FIRE HYDRANT
⊙	PROPOSED FIRE HYDRANT
⊙	MANHOLE
⊙	WALK DOOR OR OVERHEAD DOOR LOCATIONS
⊙	TRAFFIC FLOW
⊙	ELECTRICAL TRANSFORMER
⊙	WALL PACK LIGHTING

EL PASO COUNTY FILE NO. PPR-2436

## HAMMERS CONSTRUCTION INC.

COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD

PRESIDENT: STEVE R. HAMMERS  
 VICE PRES: DAVID J. HAMMERS  
 1411 WOOLSEY HEIGHTS  
 COLORADO SPRINGS, CO 80915  
 (719) 570-1599 FAX (719) 570-7008  
 www.hammersconstruction.com

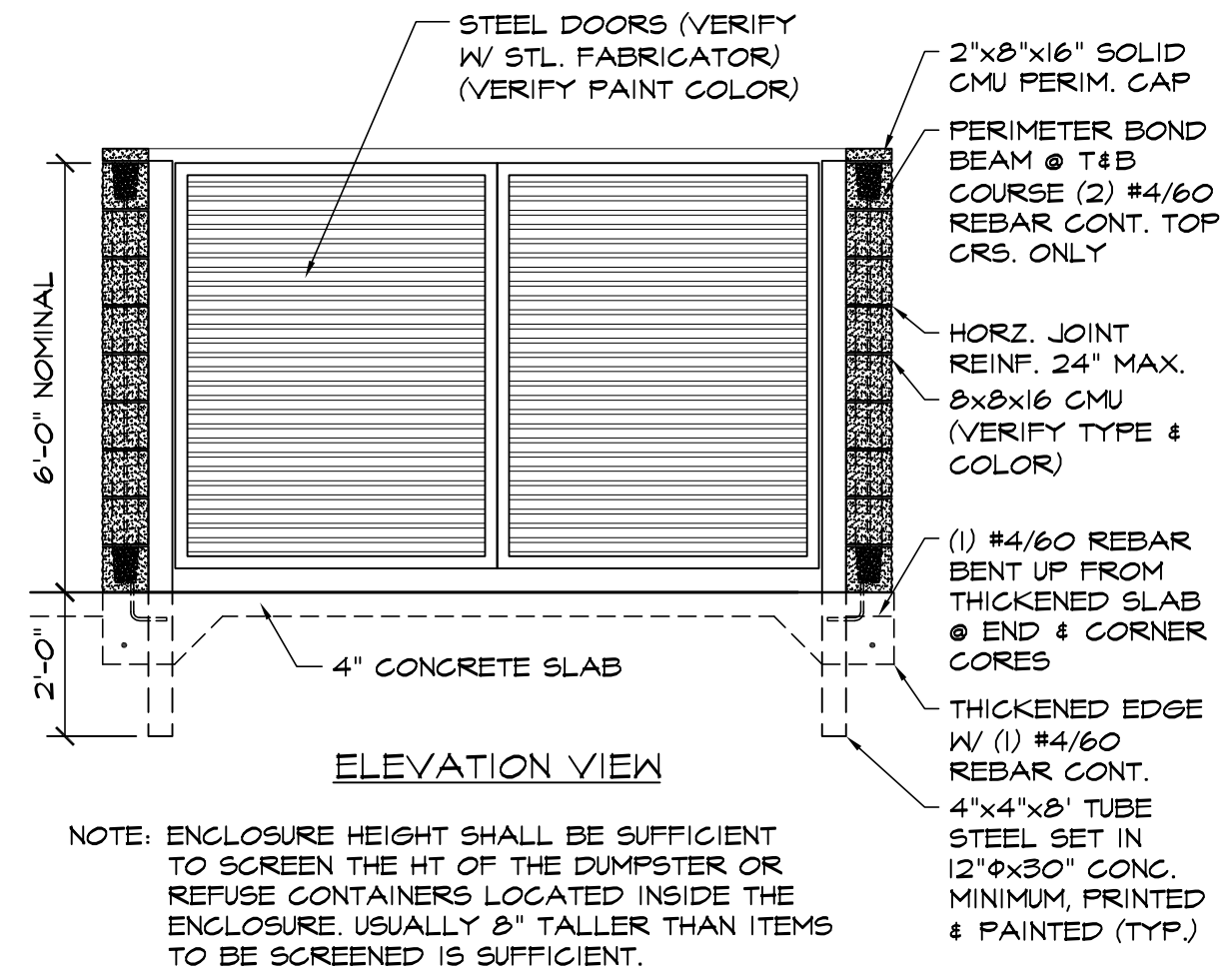
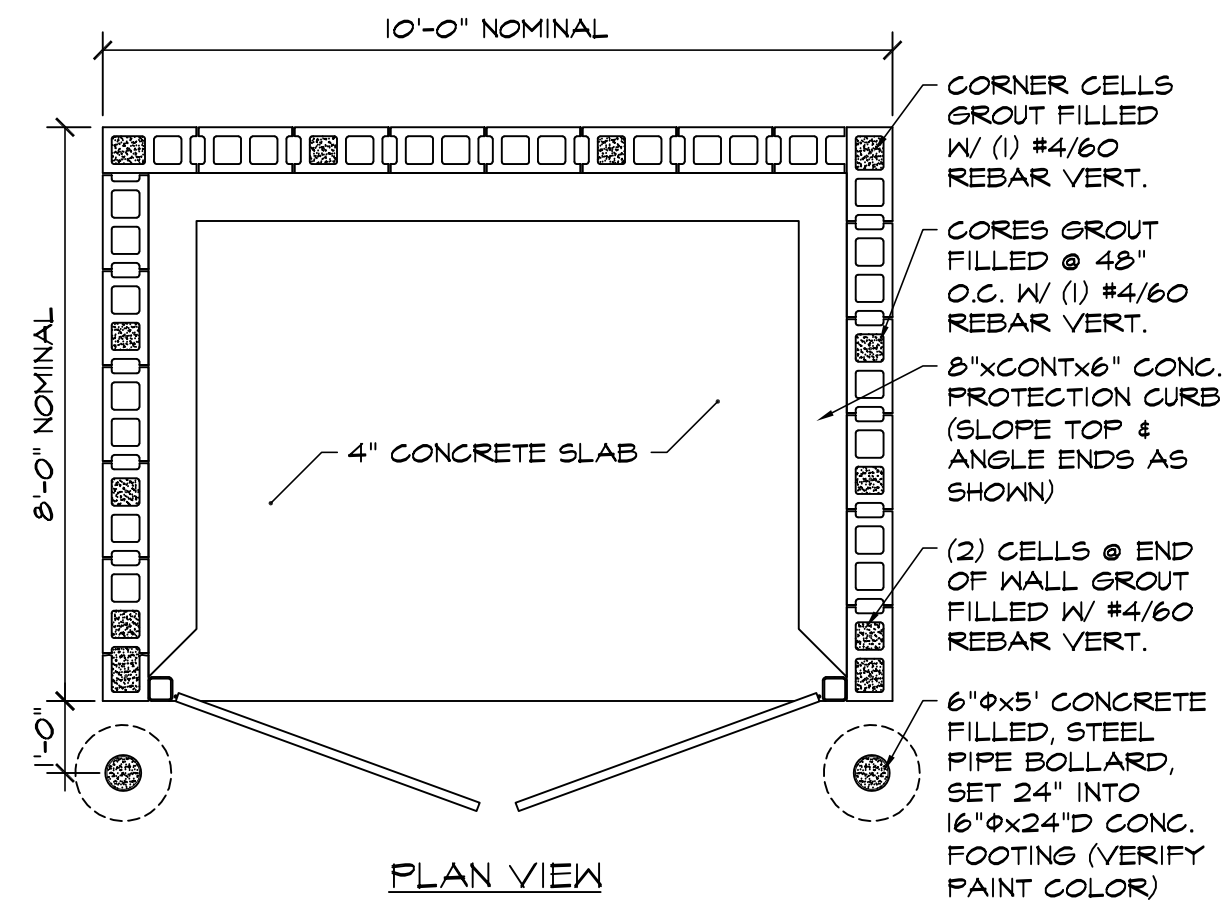
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## CATHEDRAL ROCK CHURCH

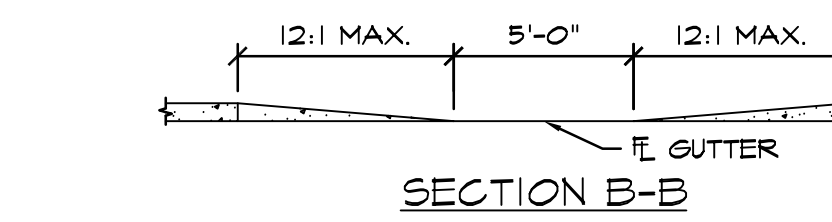
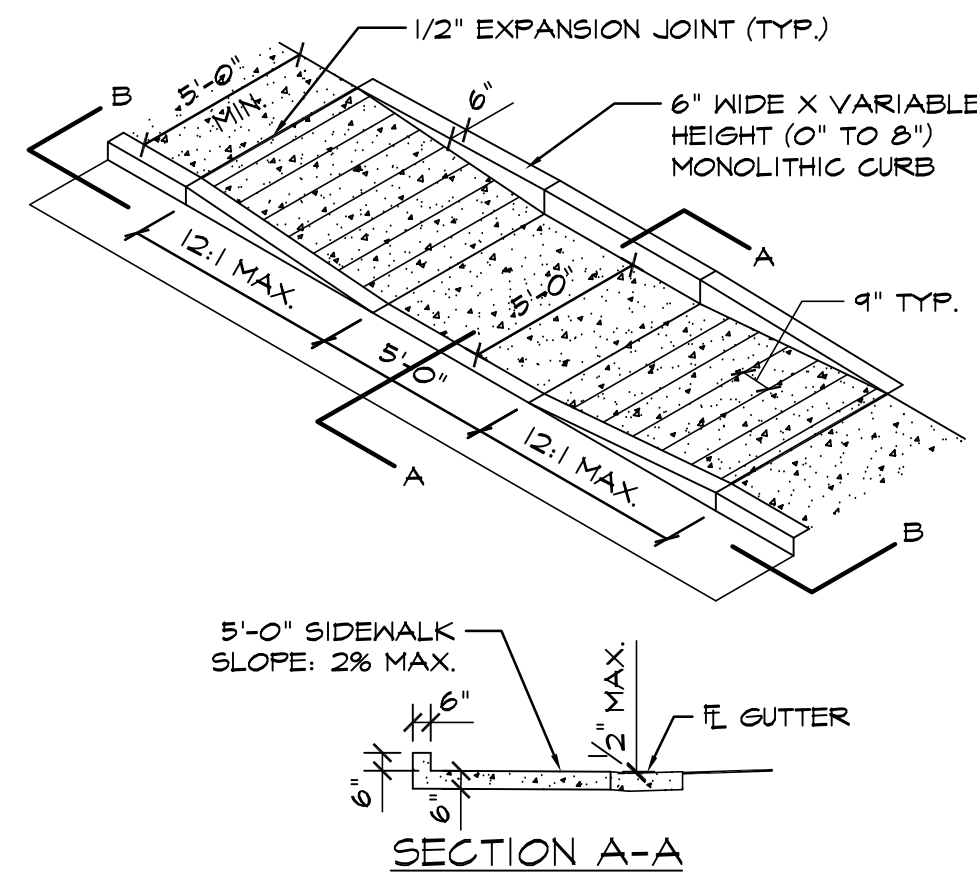
846 STRUTHERS RANCH RD.  
 COLORADO SPRINGS, CO 80921  
 EL PASO COUNTY, COLORADO

DATE: NOV 21, 2024  
 DRAWN BY: D. AQUINO  
 PROJ. MNGR: J. BUTLER  
 SCALE: SEE PLAN  
 APPROVED BY:  
 JOB NO: 1379

RESUBMITTALS:  
 2-14-25 EPC COMMENTS 10-18-24



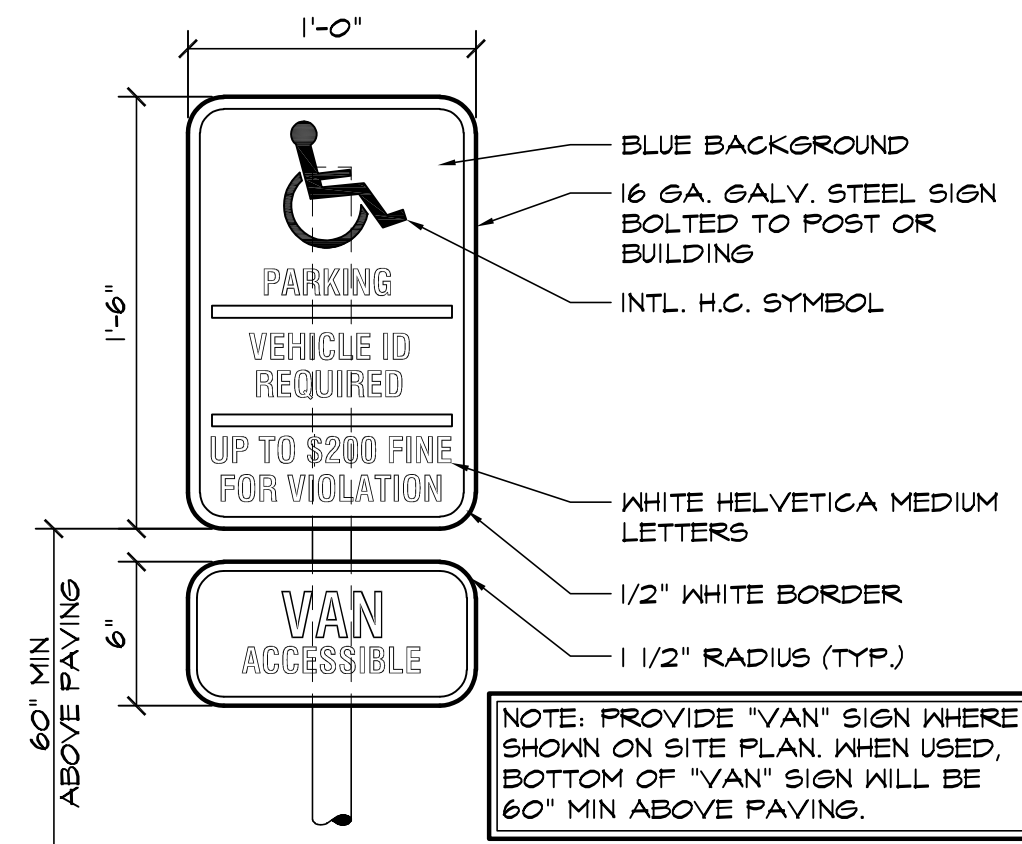
**12 CMU TRASH ENCLOSURE DTL**  
SCALE: 3/8"=1'-0"



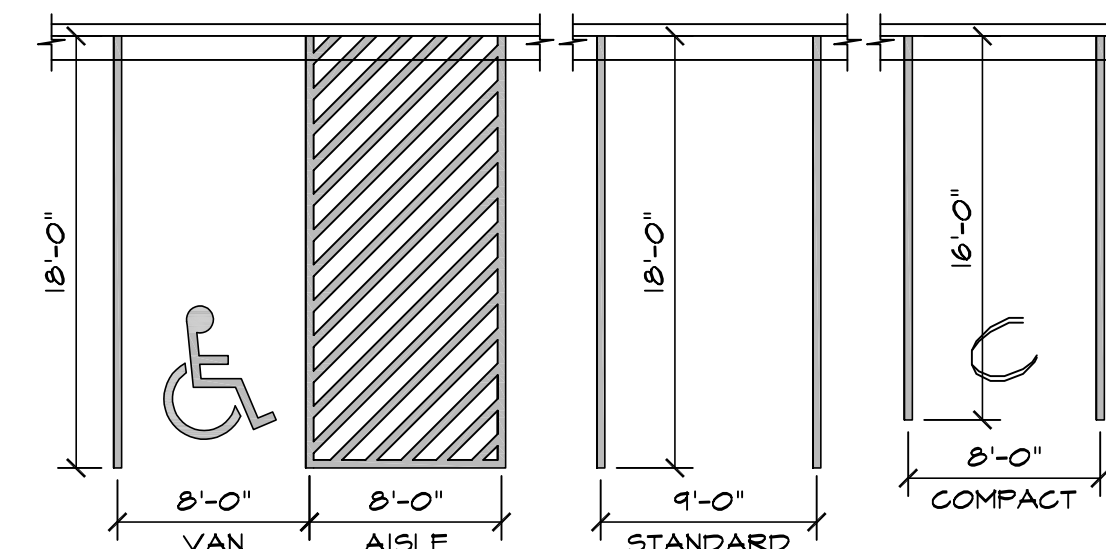
**GENERAL NOTES:**

- ALL WORK TO BE DONE IN ACCORDANCE WITH CURRENT EL PASO COUNTY ENGINEERING DIVISION STANDARD SPECIFICATIONS.
- SIDEWALK CROSS-SLOPE: 1/4"/FT.
- CONTRACTOR TO OBTAIN REQUIRED CONCRETE PERMIT AND RAMP PERMIT AT ENGINEERING DIVISION INSPECTION OFFICE PRIOR TO CONSTRUCTION.
- CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION OFFICE AT LEAST 24 HOURS PRIOR TO PLACEMENT OF ANY CONCRETE.
- THE RAMP SURFACES SHALL BE FINISHED WITH A COARSE BROOM FINISH, PARALLEL WITH THE SCORING, IN ACCORDANCE WITH SECTION 504.09E OF THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL STAMP THE COMPANY NAME AND CONSTRUCTION DATE WITHIN THE PEDESTRIAN RAMP AREA.
- PEDESTRIAN TRAVELWAY AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMPS ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMPS. NEW RAMPS SHALL ALIGN WITH EXISTING RAMPS AND PEDESTRIAN TRAVELWAY.
- SHADED AREA: 6" THICK CONCRETE

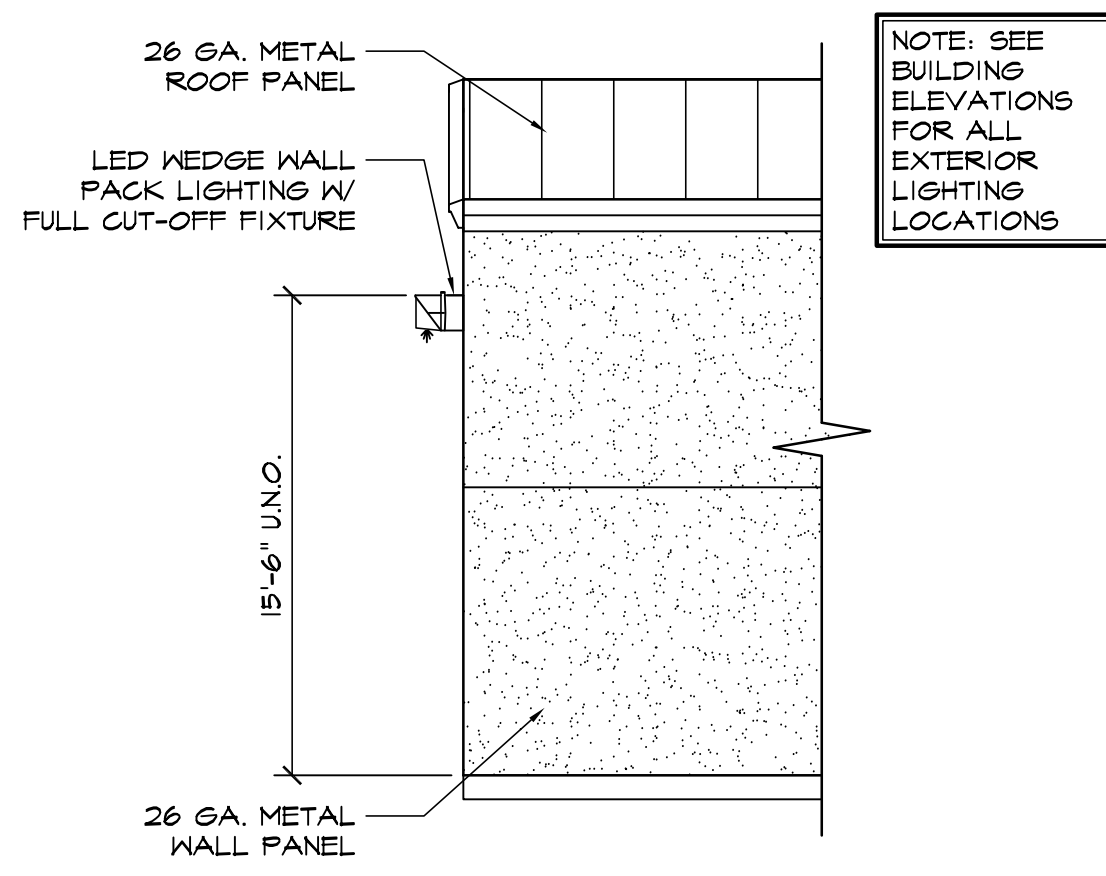
**9 PEDESTRIAN RAMP DETAIL D-BJ**  
SCALE: 3/16"=1'-0"



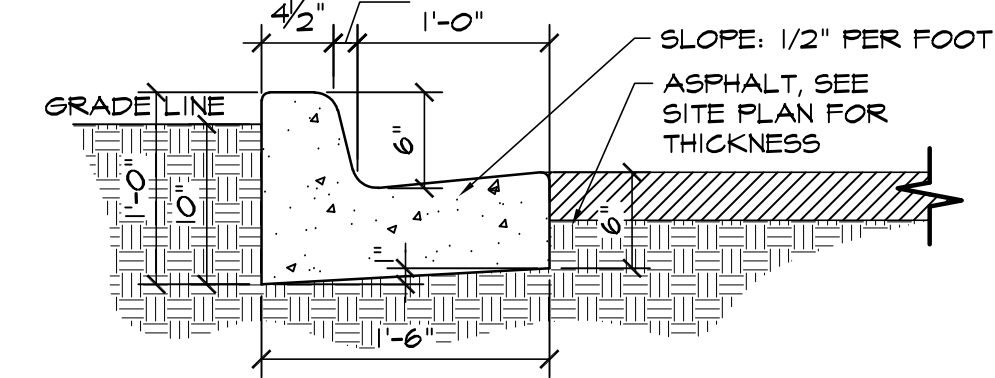
**5 HANDICAPPED PARKING SIGN**  
SCALE: 1 1/2"=1'-0"



**1 ADA / STANDARD PARKING**  
SCALE: 1/8"=1'-0"

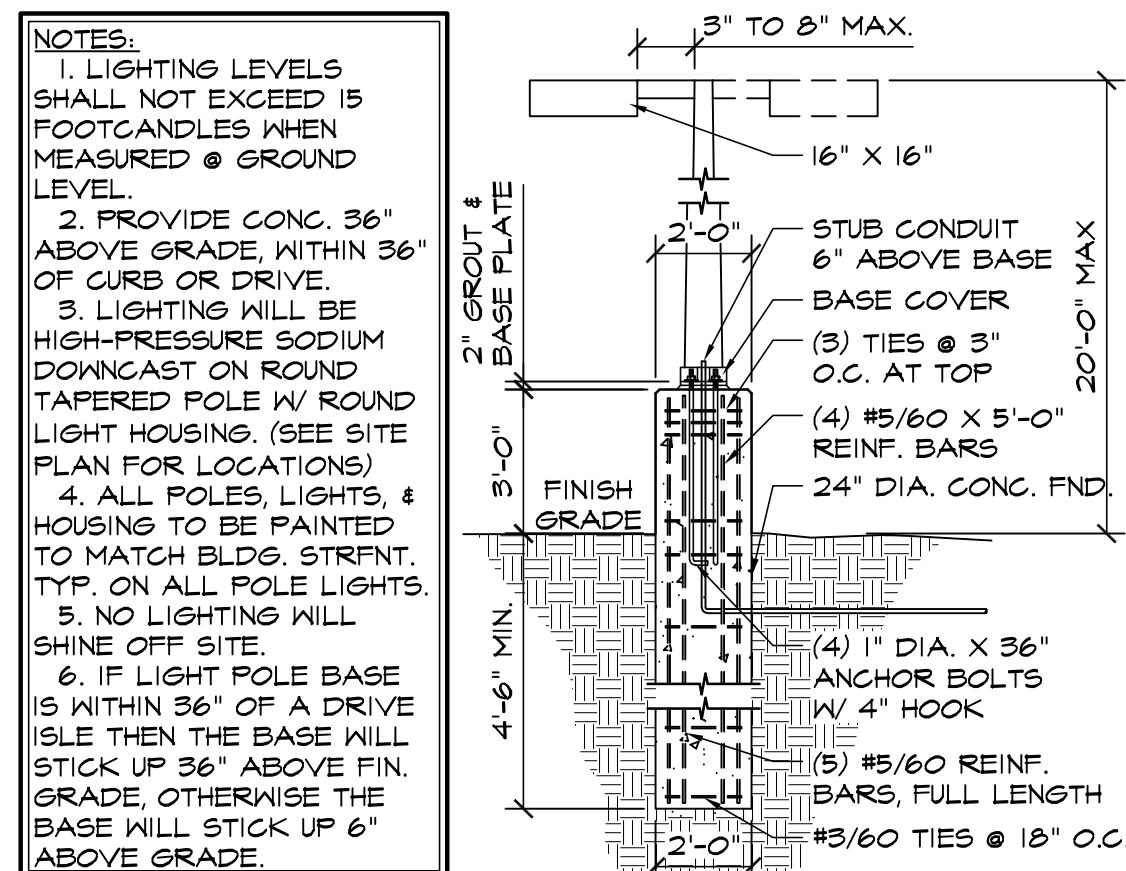


**6 WALL PACK LIGHT DETAIL**  
SCALE: 1/4"=1'-0"

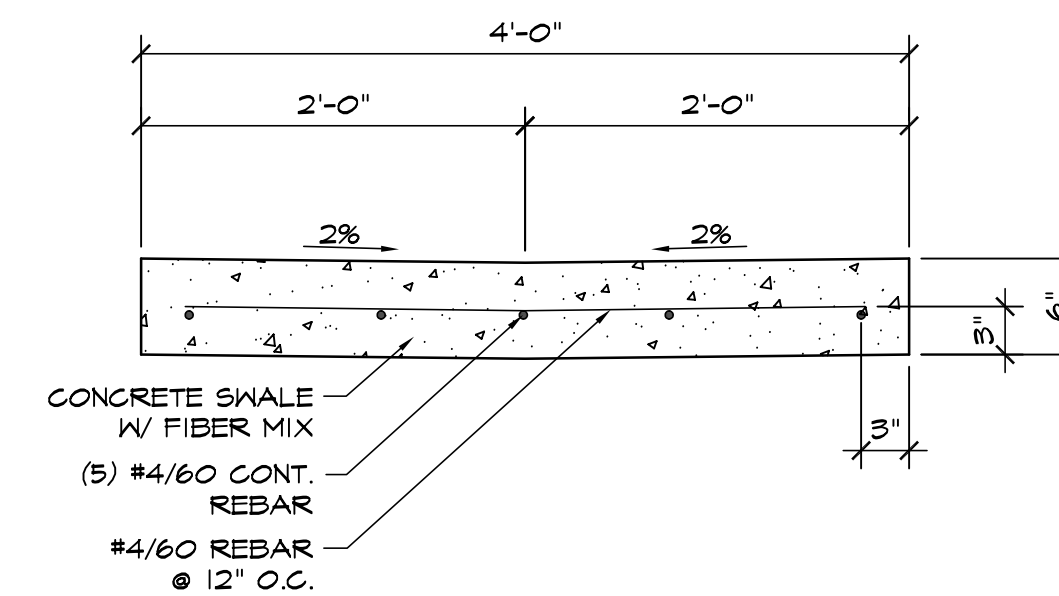


NOTE:  
-ALL INTERNAL CURB THIS TYPE UNLESS NOTED OTHERWISE.  
-SEE CIVIL PLANS FOR CARRY OR SPILL CURB LOCATIONS

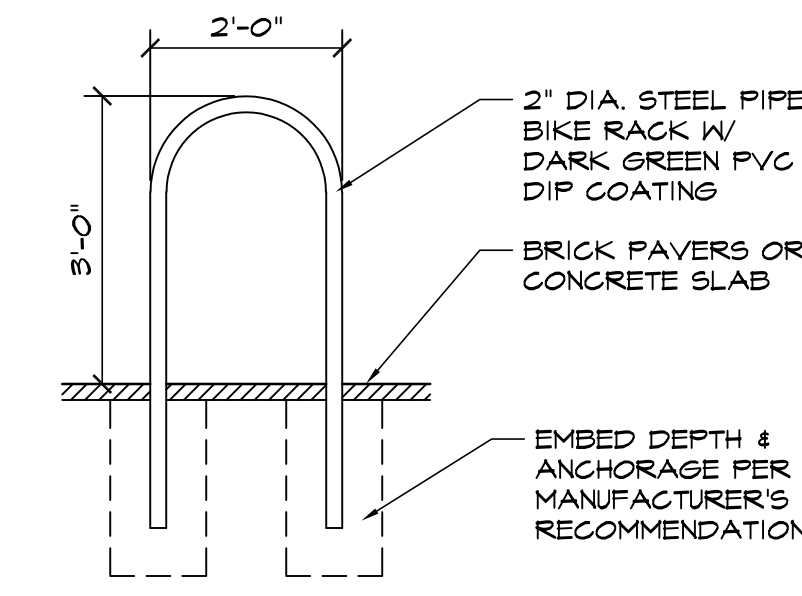
**2 EPC TYPE B CURB**  
SCALE: 1"=1'-0"



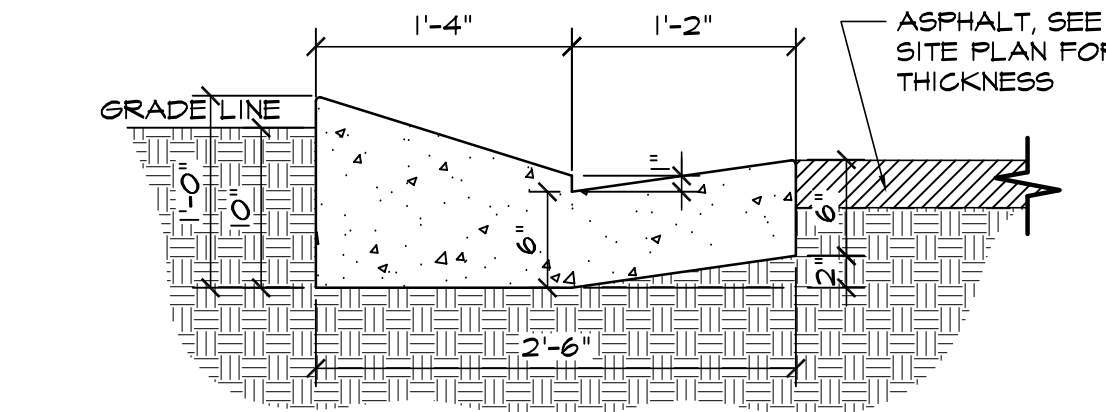
**13 LIGHT POLE BASE DETAIL**  
SCALE: 1/4"=1'-0"



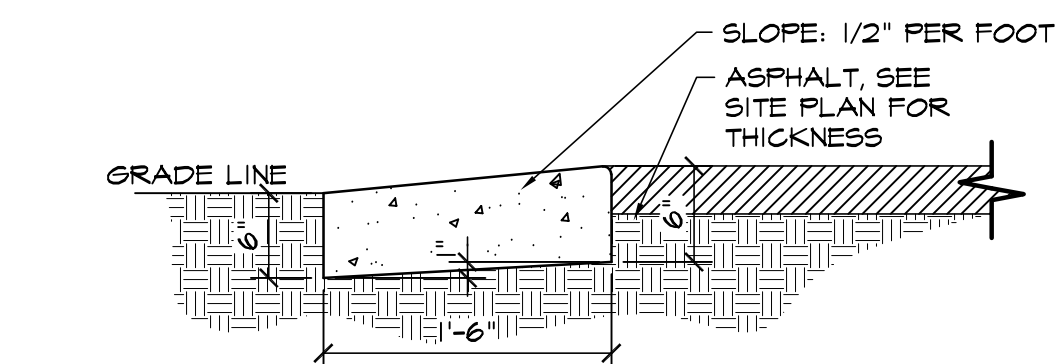
**10 4'-0" INTERIOR CROSSSPAN DTL**  
SCALE: 1"=1'-0"



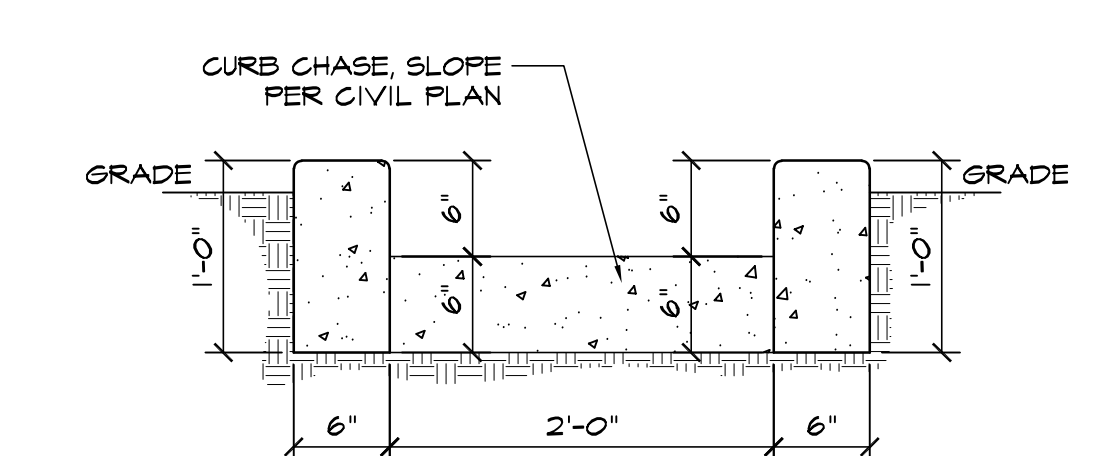
**7 BIKE RACK DETAIL**  
SCALE: 1/2"=1'-0"



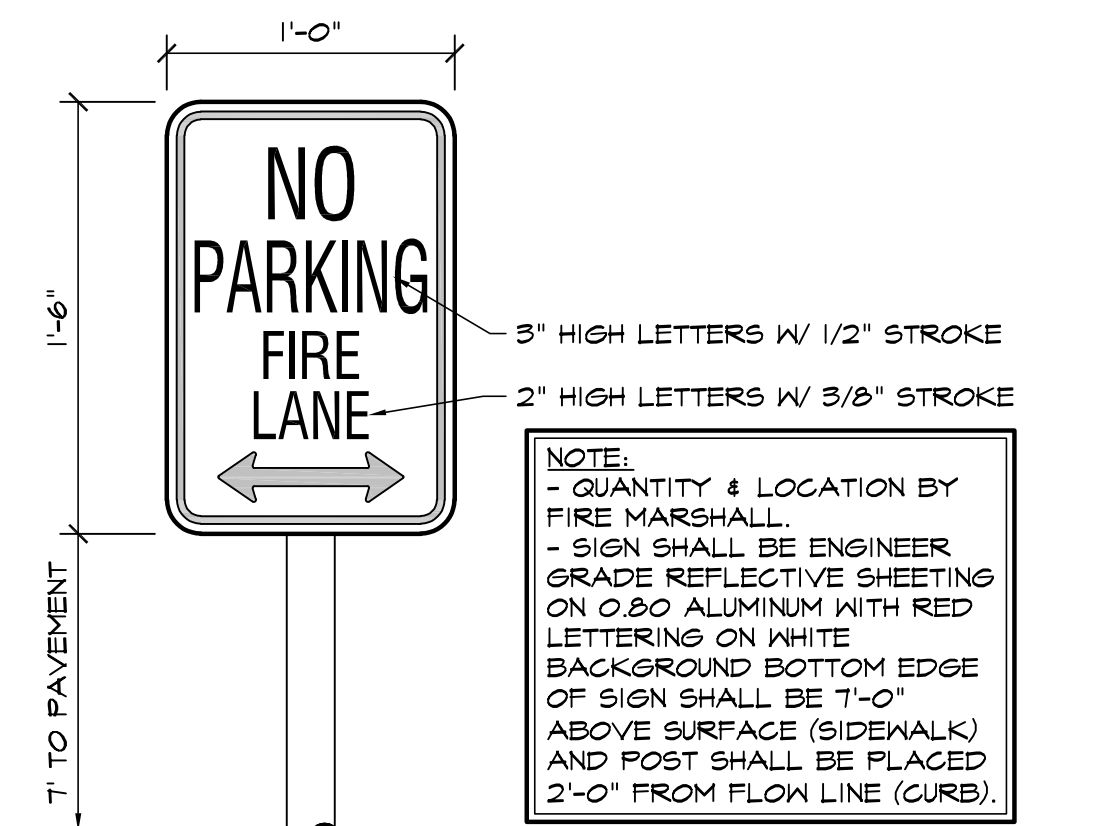
**3 EPC TYPE C CURB**  
SCALE: 1"=1'-0"



**11 FLUSH CURB**  
SCALE: 1"=1'-0"



**8 CURB CHASE DETAIL**  
SCALE: 1"=1'-0"



**4 FIRE LANE SIGN**  
SCALE: 1 1/2"=1'-0"  
EL PASO COUNTY FILE NO. PPR-2436

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**CATHEDRAL ROCK CHURCH**  
846 STRUTHERS RANCH RD.  
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EL PASO COUNTY, COLORADO

DATE: NOV 21, 2024  
DRAWN BY: D. AQUINO  
PROJ. MNGR: J. BUTLER  
SCALE: SEE PLAN  
APPROVED BY:  
JOB NO: 1379

**RESUBMITTALS:**

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