

BARNES CENTER APARTMENTS FILING NO. 2

CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

CONDITIONAL USE DEVELOPMENT PLAN

TITLE SHEET
MARCH 2020

LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PORTION OF SECTION 25, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE SOUTHERLY BOUNDARY OF LOT 1 AS PLATTED IN BARNES CENTER APARTMENTS FILING NO. 1 RECORDED UNDER RECEPTION NO. 216713809, RECORDS OF EL PASO COUNTY, COLORADO, BEING MONUMENTED AT THE WESTERLY END BY A 1-1/2" ALUMINUM SURVEYORS CAP STAMPED "CCES LLC PLS 30118" AND AT THE EASTERLY END BY A 1" BRASS DISK STAMPED "PLS 30118", IS ASSUMED TO BEAR N89°50'31"E, A DISTANCE OF 667.87 FEET.

COMMENCING AT THE SOUTHEASTERLY CORNER OF LOT 1 AS PLATTED IN BARNES CENTER APARTMENTS FILING NO. 1 RECORDED UNDER RECEPTION NO. 216713809, RECORDS OF EL PASO COUNTY, COLORADO,

THENCE S89°50'31"W, ON THE SOUTHERLY BOUNDARY OF SAID LOT 1, A DISTANCE OF 13.28 FEET TO THE NORTHWESTERLY CORNER OF A PARCEL OF LAND AS DESCRIBED IN A DOCUMENT RECORDED UNDER RECEPTION NO. 214069728, SAID POINT BEING THE POINT OF BEGINNING;

THENCE S00°04'26"W, ON THE WESTERLY BOUNDARY LINE OF SAID PARCEL OF LAND AS DESCRIBED IN A DOCUMENT RECORDED UNDER RECEPTION NO. 214069728, A DISTANCE OF 586.27 FEET TO A POINT ON THE NORTHERLY BOUNDARY LINE OF NOWELL AND ASSOCIATES AT INTEGRITY CENTER POINT RECORDED UNDER RECEPTION NO. 217714023;

THENCE S89°11'20"W ON THE NORTHERLY BOUNDARY OF SAID NOWELL AND ASSOCIATES AT INTEGRITY CENTER POINT, A DISTANCE OF 334.50 FEET TO A POINT ON CURVE, SAID POINT BEING ON THE EASTERLY BOUNDARY OF TRACT B AS PLATTED IN SAID BARNES CENTER APARTMENTS FILING NO. 1;

THENCE ON THE EASTERLY BOUNDARY OF SAID TRACT B, THE FOLLOWING (7) SEVEN COURSES:

- ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS S52°07'32"W, HAVING A DELTA OF 18°30'07", A RADIUS OF 225.00 FEET AND A DISTANCE OF 72.66 FEET TO A POINT OF TANGENT;
- N56°22'35"W, A DISTANCE OF 96.41 FEET;
- S33°37'25"W, A DISTANCE OF 5.00 FEET;
- N56°22'35"W, A DISTANCE OF 10.00 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 94°42'10", A RADIUS OF 180.00 FEET AND A DISTANCE OF 297.52 FEET TO A POINT OF REVERSE CURVE;
- ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 38°28'53", A RADIUS OF 220.00 FEET AND A DISTANCE OF 147.76 FEET TO A POINT OF TANGENT;
- N00°09'18"W, A DISTANCE OF 87.18 FEET;

THENCE N89°50'31"E, ON THE SOUTHERLY BOUNDARY OF SAID LOT 1, A DISTANCE OF 473.97 FEET TO THE POINT OF BEGINNING.

CONTAINING A CALCULATED AREA 6.664 ACRES.

PROJECT TEAM:

CIVIL ENGINEER

CLASSIC CONSULTING ENGINEERS & SURVEYORS, LLC
619 N. CASCADE AVE, SUITE 200
COLORADO SPRINGS, CO 80903
MR. KYLE CAMPBELL, P.E. (719) 785-0790

LANDSCAPE ARCHITECT

NORRIS DESIGN
1101 BANNOCK STREET
DENVER, CO 80204
MS. KELSEY STEWARD (303) 892-1166

ARCHITECT

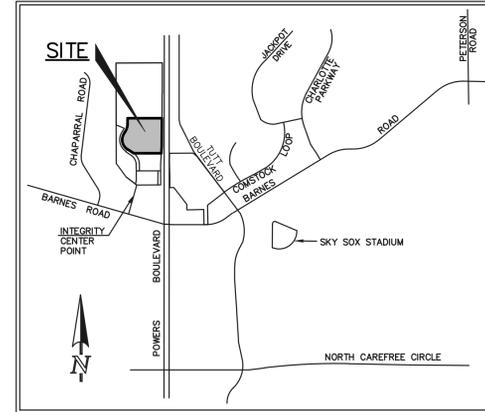
KEPHART
2555 WALNUT STREET
DENVER, CO 80205
MR. CHRIS ROSEPIK (303) 832-4474

GEOTECHNICAL ENGINEER

CTL THOMPSON, INC.
5170 MARK DABLING BLVD
COLORADO SPRINGS, CO 80918
MS. GWENDOLYN EBERHART (719) 528-8300

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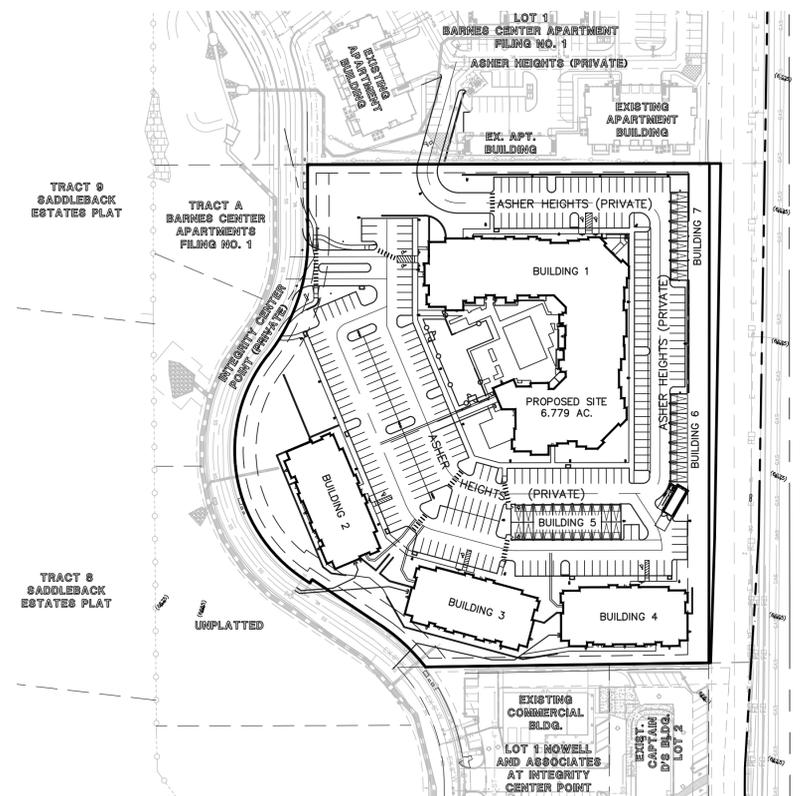


VICINITY MAP
N.T.S.

SIGNAGE IS NOT APPROVED WITH THIS PLAN A SEPARATE SIGN PERMIT IS REQUIRED CONTACT DEVELOPMENT REVIEW AT 2880 INTERNATIONAL CIRCLE STE 200 FOR SIGN PLAN APPLICATIONS.

GENERAL NOTES:

- NO DIRECT VEHICULAR ACCESS FROM LOT 1 SHALL BE PERMITTED TO POWERS BOULEVARD.
- ENT PARKWAY (50' PRIVATE STREET), SUMMIT VIEW PARKWAY (70' PUBLIC ROW).
- ALL ON-SITE UTILITIES ARE PRIVATE.
- ALL INTERNAL DRIVEWAYS, PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.
- ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS TO BE TYPE 3 OR TYPE 1 CURB & GUTTER OR AS SPECIFIED ON PLANS.
- A MINIMUM OF 3-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- ALL SIDEWALKS TO BE CONCRETE UNLESS OTHERWISE NOTED.
- ALL PEDESTRIAN RAMPS TO BE CITY STANDARD D-8 DETAILS.
- ALL TRAFFIC CONTROL MEASURES TO MEET MUTCO STANDARDS.
- STORMWATER QUALITY AND DETENTION TO BE PROVIDED IN PROPOSED ON-SITE FULL SPECTRUM POND.
- ALL ON-SITE LIGHTING FIXTURES SHALL BE FULL CUT-OFF AND/OR SHIELDED TO PREVENT OFF-SITE LIGHT IMPACTS.
- A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 2880 INTERNATIONAL CIRCLE FOR SIGN PLAN APPLICATION.
- AN AVIGATION EASEMENT EFFECTING THE SUBJECT PROPERTY AND DEVELOPMENT IS THEREIN ESTABLISHED BY THE BARNES CENTER APARTMENTS FILING NO. 2 SUBDIVISION PLAT. THE EASEMENT IS SUBJECT TO THE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT RECORDED UNDER RECEPTION NO. 217069667 OF THE RECORDS OF EL PASO COUNTY, COLORADO



KEY MAP
SCALE: 1" = 100'

SITE DATA:

APPLICANT:	CLASSIC CONSULTING ENGINEERS & SURVEYORS 619 N. CASCADE AVENUE SUITE 200 COLORADO SPRINGS, COLORADO 80903 MR. KYLE CAMPBELL P.E. (719) 785-0790
DEVELOPER:	CORTLAND 3424 PEACHTREE ROAD NE, SUITE 300 ATLANTA, GA 30326 MR. JARED BANKOS (404) 978-1432
OWNER:	P&B INVESTMENTS LLC 4532 E. BERYL LANE PHOENIX, AZ 85028 MR. JOHN OLIVE (602) 690-0785
TAX SCHEDULE NO.:	63244-01-097
ADDRESS:	ASHER HEIGHTS
AREA:	6.664 ACRES
EXISTING ZONING:	PBC-AO
MASTER PLAN:	HIGH CHAPARRAL MASTER PLAN (CPC MP 10-00089 AZMJ 13)
EXISTING USE:	UNDEVELOPED
PROPOSED USE:	183 UNIT-3 STORY WALK-OUT APARTMENT BLDGS W/ CLUBHOUSE
PROPOSED DENSITY:	27.46 DU/ACRE
DEVELOPMENT SCHEDULE:	2022 FULL BUILDOUT
MAXIMUM BUILDING HEIGHT ALLOWED:	45'
PROPOSED BUILDING HEIGHT:	SEE ELEVATION SHEETS
TYPICAL DRIVE AISLE:	24' UNLESS OTHERWISE NOTED
PROPOSED LOT COVERAGE BY BUILDINGS:	25.1%
PROPOSED LOT COVERAGE BY ASPHALT/CONCRETE:	37.7%
LANDSCAPE SETBACKS:	
ALONG POWERS BLVD:	25' MINIMUM
ALONG INTEGRITY CENTER POINT:	10' MINIMUM
BUILDING SETBACKS:	
ALONG POWERS BLVD:	25' MINIMUM
ALONG INTEGRITY CENTER POINT:	25' MINIMUM
PARKING REQUIREMENTS:	
97 1 BEDROOM X 1.5	= 146 SPACES
86 2 BEDROOM X 1.7	= 146 SPACES
TOTAL BEDROOMS: 269	292 SPACES REQUIRED
HC SPACES REQUIRED = 7 SPACES	
PARKING PROVIDED:	
TOTAL PARKING SPACES PROVIDED:	40 SPACES
GARAGES	261 SPACES
OPEN SPACES	301 SPACES PROVIDED
HC SPACES PROVIDED:	9 SPACES (W/ 2 VAN)
TYPICAL PARKING SPACE:	9'X18'
TYPICAL HANDICAPPED PARKING SPACE:	8'X18'
TYPICAL HANDICAPPED ZONE:	5'X18' (8' WIDE FOR VAN)
FLOODPLAIN STATEMENT:	
NO PORTION OF THE PROPOSED SITE IS WITHIN A 100-YEAR FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP (F.I.R.M.) MAP NUMBER 08041C 05386 EFFECTIVE DATE, DEC. 7, 2018.	

CPC CU 20-XXXX

	BARNES CENTER APARTMENTS FILING NO. 2 DEVELOPMENT PLAN			
	DESIGNED BY	KRC	SCALE	DATE 03/03/2020
	DRAWN BY	BB	(H) 1"=VARIES	SHEET 1 OF 15
	CHECKED BY		(V) 1"= N/A	JOB NO. 2451.41

619 N. Cascade Avenue, Suite 200 (719)785-0790
Colorado Springs, Colorado 80903 (719)785-0799 (Fax)

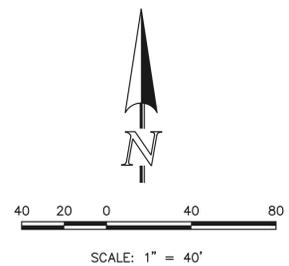
CLASSIC
ENGINEERS & SURVEYORS

CLASSIC
ENGINEERS & SURVEYORS

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ENGINEERS & SURVEYORS

CLASSIC
ENGINEERS & SURVEYORS

DESCRIPTION	LEGEND:	SYMBOL
"NO PARKING" FIRE LANE SIGNS AND/OR PAINTED CURB		-----
PROPOSED ADA ACCESSIBLE ROUTE		■■■■■■■■■■



CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

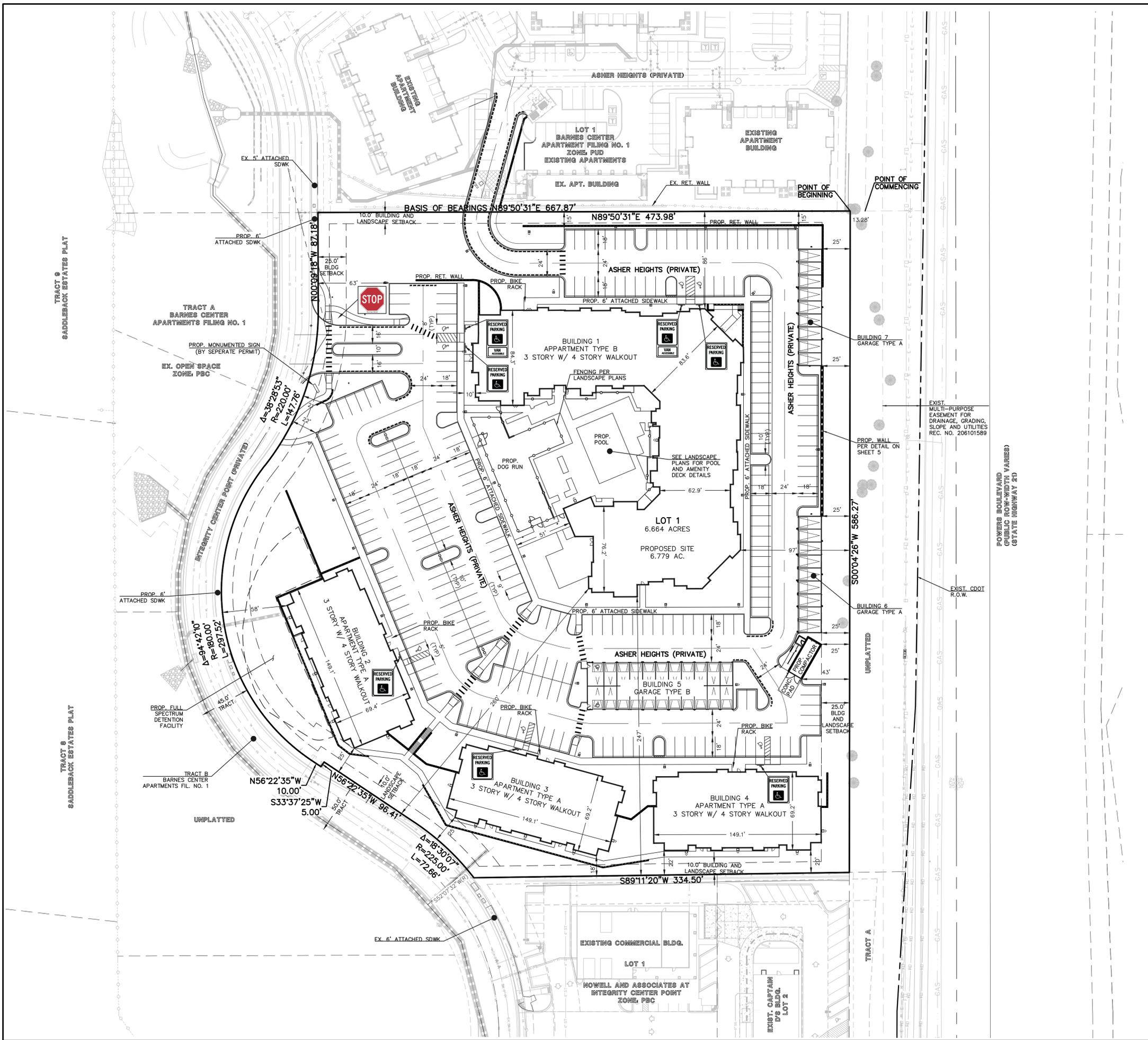
619 N Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719)785-0780
(719)785-0789 (Fax)

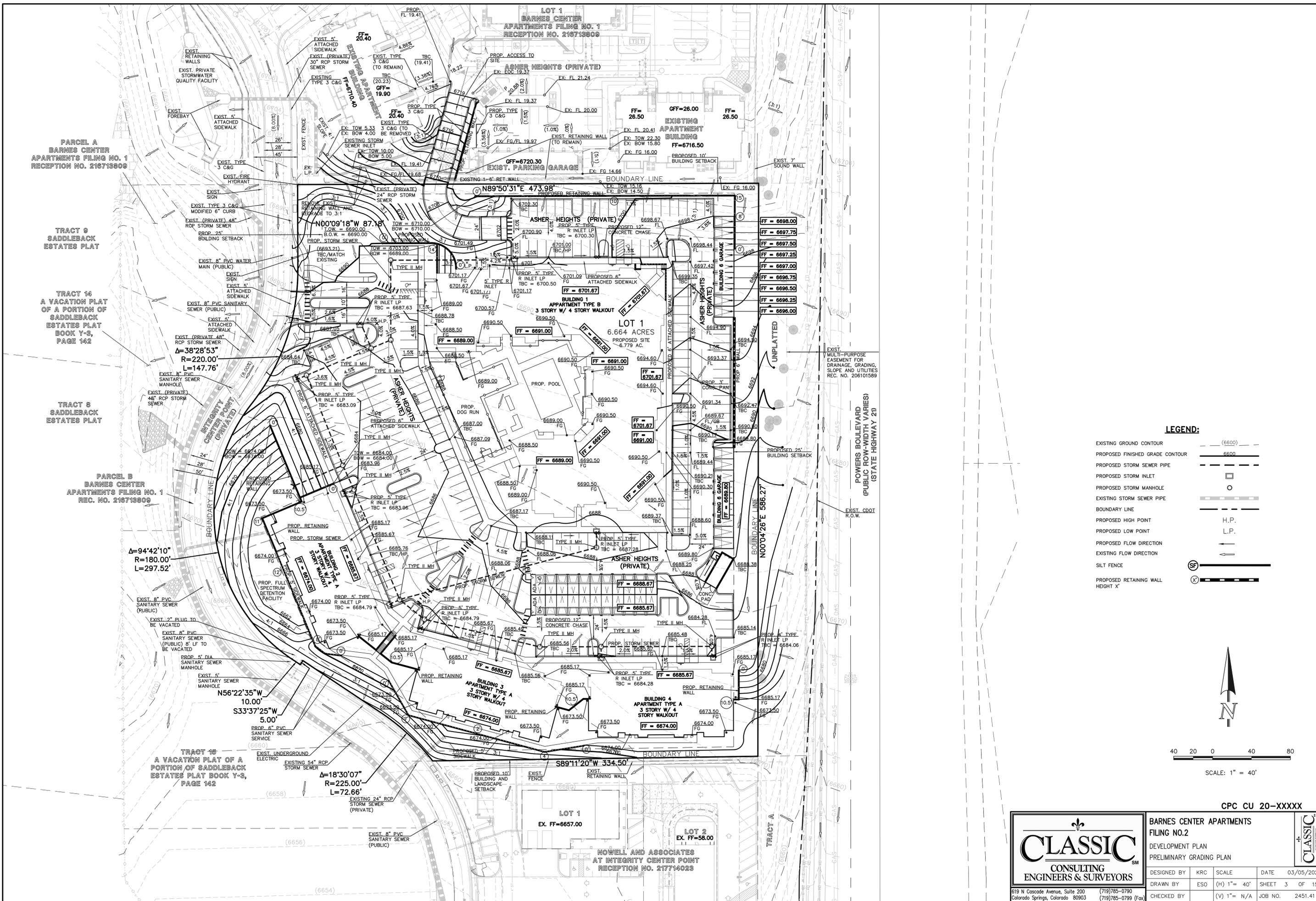
CPC CU 20-XXXX

BARNES CENTER APARTMENTS
FILING NO.2
DEVELOPMENT PLAN
OVERALL SITE PLAN

DESIGNED BY	KRC	SCALE	DATE	03/03/2020
DRAWN BY	ESO	(H) 1" = 30'	SHEET	2 OF 15
CHECKED BY		(V) 1" = N/A	JOB NO.	2451.41

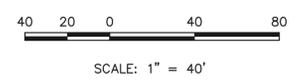


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LEGEND:

EXISTING GROUND CONTOUR	(6600)
PROPOSED FINISHED GRADE CONTOUR	6600
PROPOSED STORM SEWER PIPE	---
PROPOSED STORM INLET	□
PROPOSED STORM MANHOLE	○
EXISTING STORM SEWER PIPE	---
BOUNDARY LINE	---
PROPOSED HIGH POINT	H.P.
PROPOSED LOW POINT	L.P.
PROPOSED FLOW DIRECTION	→
EXISTING FLOW DIRECTION	→
SILT FENCE	(SF)
PROPOSED RETAINING WALL HEIGHT 'X'	(X)

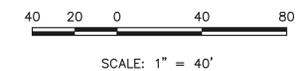


CPC CU 20-XXXX

	BARNES CENTER APARTMENTS			
	FILING NO.2			
DEVELOPMENT PLAN				
PRELIMINARY GRADING PLAN				
DESIGNED BY	KRC	SCALE	DATE	03/05/2020
DRAWN BY	ESO	(H) 1" = 40'	SHEET	3 OF 15
CHECKED BY	(V) 1" = N/A	JOB NO.	2451.41	

619 N Cascade Avenue, Suite 200 (719)785-0790
 Colorado Springs, Colorado 80903 (719)785-0799 (Fax)

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APARTMENT BUILDING A	APARTMENT BUILDING B
GROSS SF: 32,680 S.F. GROSS	GROSS SF: 115,595 S.F. GROSS
TYPE CONSTRUCTION: V-A	TYPE CONSTRUCTION: V-A
REQ. GPM FIRE FLOW = 6,000 gpm	REQ. GPM FIRE FLOW = 6,000 gpm
50% REDUCTION REQ. GPM FIRE FLOW = 1,625 gpm	50% REDUCTION REQ. GPM FIRE FLOW = 3,000 gpm
REQ. MIN. NUMBER HYDRANTS = 1	REQ. MIN. NUMBER HYDRANTS = 3
AVG. DIST. BETWEEN HYDRANTS = 500'	AVG. DIST. BETWEEN HYDRANTS = 400'
MAX. HOSE LENGTH = 225'	MAX. HOSE LENGTH = 225'
BUILDING IS SPRINKLERED THEREFORE THERE IS A 50% REDUCTION IN REQ. GPM FIRE FLOW	BUILDING IS SPRINKLERED THEREFORE THERE IS A 50% REDUCTION IN REQ. GPM FIRE FLOW
AREA SEPARATION WALLS ARE NOT USED	AREA SEPARATION WALLS ARE NOT USED

LEGEND

	ROW/PROPERTY LINE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER MAIN
	PROPOSED WATER SERVICE
	PROPOSED SANITARY SEWER MAIN
	PROPOSED SANITARY SEWER SERVICE
	PROPOSED STORM SEWER
	PROPOSED STORM MANHOLE
	PROPOSED STORM INLET
	EXISTING FIRE HYDRANT
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER MAIN
	EXISTING STORM SEWER
	EXISTING GAS MAIN
	EXISTING ELECTRIC
	EXISTING TELEPHONE
	EXISTING FIBER OPTIC
	NO PARKING
	FIRE LANE SIGNS AND/OR PAINTED CURB

SITE SPECIFIC NOTES:

ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.

ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS TO BE TYPE 3 CURB & GUTTER OR AS SPECIFIED ON PLANS.

ALL EXISTING AND PROPOSED CURB & GUTTER, SIDEWALK AND PEDESTRIAN RAMPS WITHIN THE RIGHT-OF-WAY SHALL MEET CURRENT CITY STANDARDS.

A MINIMUM OF 3-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.

ALL CURB, GUTTER, DRIVEWAY APRONS, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY STANDARDS ALONG UNIMPAVED ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (C.O.), AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED, THE INSPECTOR CAN BE REACHED AT 719-385-5977.

General Notes for Preliminary Utility Plans

Property Owner(s) acknowledge and agree to the following upon approval of Preliminary Utility Plan:

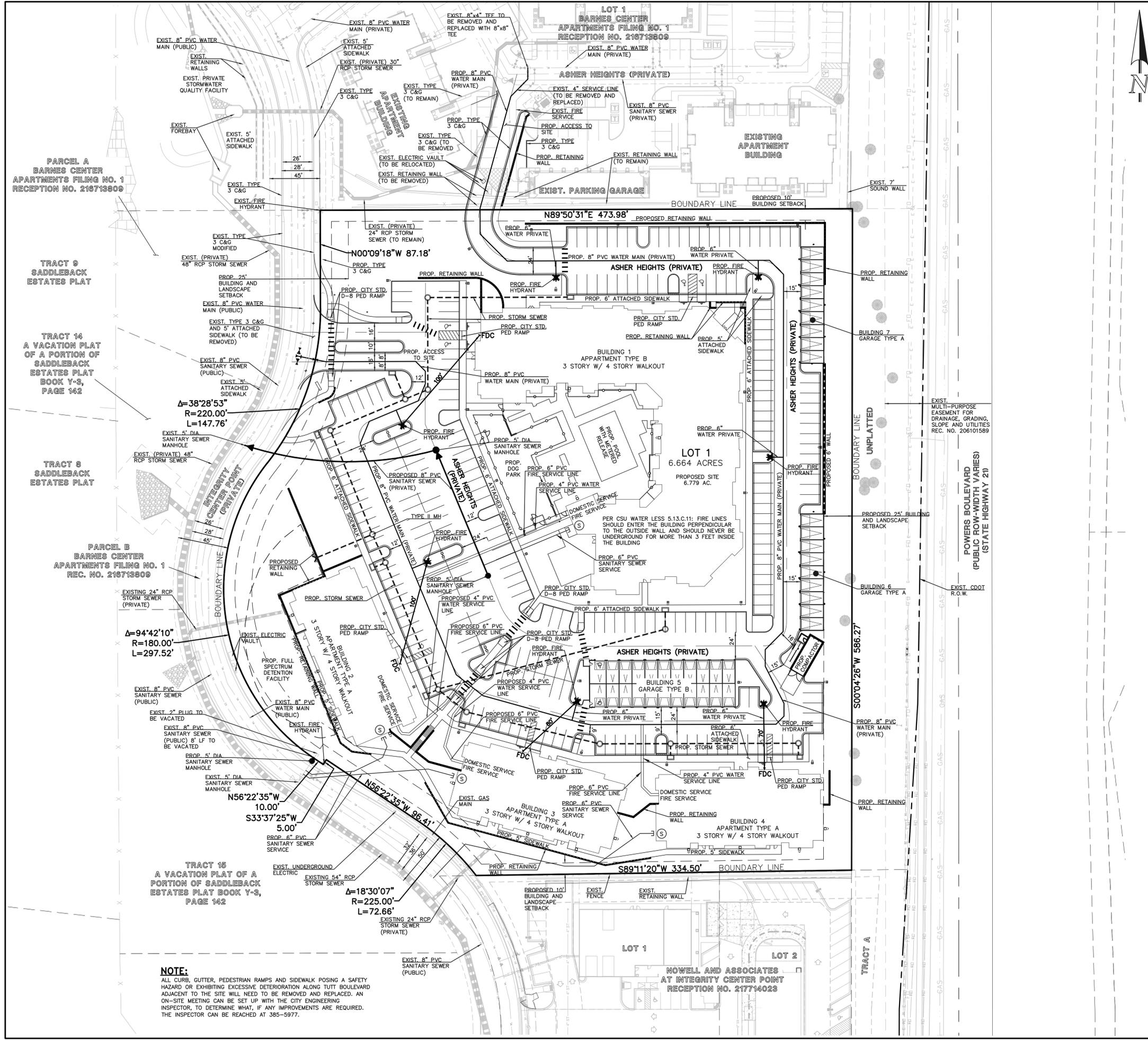
- Colorado Springs Utilities (Springs Utilities) shall make the final determination of the location of all water, wastewater, electric and gas facilities, which may not be the same location as shown on this Preliminary Utility Plan.
- Property Owner(s) ("Owner") acknowledges that the connection and/or extension of utility services to the property identified in this Preliminary Utility Plan ("Property") shall be in accordance with all applicable codes and regulations, Springs Utilities Line Extension & Service Standards ("Standards"), Tariffs, Colorado Springs City Code, resolutions, and policies, and Pikes Peak Regional Building Department codes, in effect at the time of utility service connection and/or extension.
- Owner acknowledges responsibility for the costs of extensions or utility system improvements that Springs Utilities determines necessary to provide utility services to the Property or to ensure timely development of integrated utility systems serving the Property and areas outside the Property (including the costs to design and install water systems, wastewater collection systems, and any gas or electric lines to and within the Property). Owner may be eligible for a cost Recovery Agreement as provided in Utilities' Rules and Regulations.
- Springs Utilities utility services are available on a "first-come, first-served" basis, and therefore no specific allocations or amounts of utility services, facilities, capacities or supplies are reserved for the Owner, and Springs Utilities makes no commitment as to the availability of any utility service until such time as an application for permanent service is approved by Springs Utilities.
- The relocation or alteration of any existing utility facilities within the Property will be at the Owner's sole cost and expense. If Springs Utilities determines that Owner's relocation or alteration requires new or updated easements, Owner shall convey those easements prior to relocating or altering the existing utility facilities.
- Owner shall dedicate by plat and/or convey by recorded document, all property and easements that Springs Utilities determines are necessary to serve the Property or to ensure development of an integrated utility system. All easements granted by separate instrument shall utilize Springs Utilities' then-current Permanent Easement Agreement form.
- The water system facilities must meet Springs Utilities criteria for water quality, reliability and pressure, including looping requirements (see Springs Utilities Line Extension and Service Standards).
- Owner recognizes that the extension of water system facilities may affect the quality of water in the Springs Utilities water system. When water quality is affected, Owner acknowledges responsibility for any costs that Springs Utilities determines necessary in order to maintain water quality in its system as a result of Owner's water system extensions. Owner may be required to submit a Water Quality Plan for the project.
- Owner must contact Springs Utilities Field Engineering to determine the location of all natural gas and electric meters and transformers and to secure approval of gas-service-line pressures in excess of Springs Utilities standard gas system pressure. (Contact Field Engineering North 668-4985 or South 668-5564).
- It shall not be permissible for any person to modify the grade of the earth within any Springs Utilities easement or rights of way without the written approval of Springs Utilities. Improvements, structures and trees shall not be located within utility easement, shall not violate National Electric Safety Code (NESC) provisions and clearances, and shall not impair access or the ability to maintain utility facilities.
- Springs Utilities approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of Springs Utilities to apply its Standards; and if there are any conflicts between any approved drawings and any provision of Standards or the City Code, then the Standards or City Code shall apply. Springs Utilities' approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of the City of Colorado Springs or Springs Utilities to adopt different ordinances, rules, regulations, resolutions, policies or codes which change any of the provisions of the Standards so long as these apply to the City generally and are in accord with the then-current tariffs, rates and policies of Springs Utilities.

CPC CU 20-XXXX



BARNES CENTER APARTMENTS			
FILING NO.2			
DEVELOPMENT PLAN			
PUBLIC UTILITY PLAN			
DESIGNED BY	KRC	SCALE	DATE 03/04/2020
DRAWN BY	ESO	(H) 1" = 40'	SHEET 4 OF 15
CHECKED BY	(V) 1" = N/A	JOB NO.	2451.41

619 N Cascade Avenue, Suite 200 (719)785-0790
 Colorado Springs, Colorado 80903 (719)785-0799 (Fax)

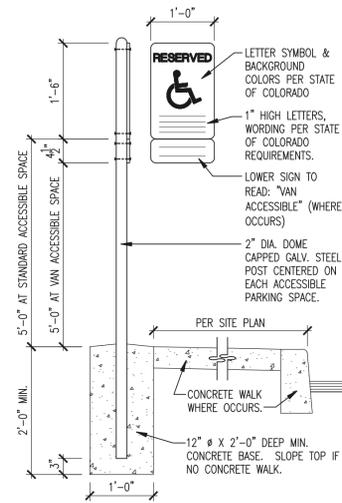


NOTE:

ALL CURB, GUTTER, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD OR EXHIBITING EXCESSIVE DETERIORATION ALONG TUTT BOULEVARD ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED. AN ON-SITE MEETING CAN BE SET UP WITH THE CITY ENGINEERING INSPECTOR, TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED, THE INSPECTOR CAN BE REACHED AT 385-5977.

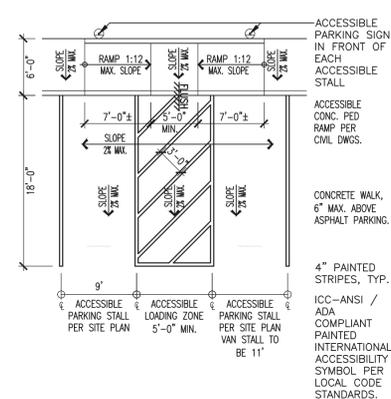
LOT 1
 NOWELL AND ASSOCIATES
 AT INTEGRITY CENTER POINT
 RECEPTION NO. 21774023

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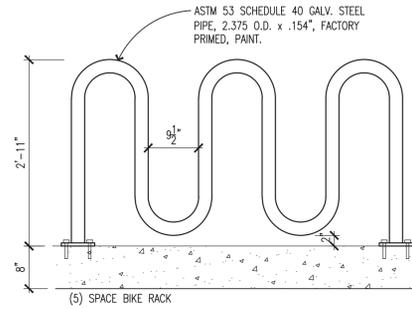
ACCESSIBLE STALL SIGN

SCALE: 3/4" = 1'-0"



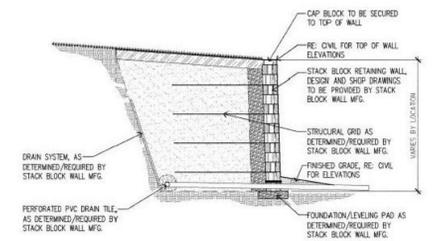
TYPICAL ACCESSIBLE STALL

NOT TO SCALE



BIKE RACK

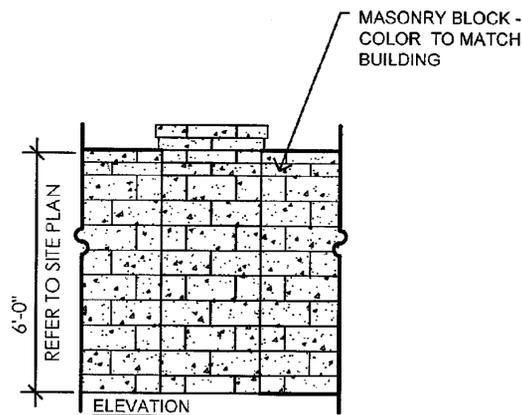
SCALE: 3/4" = 1'-0"



NOTES:
1. WALL FOOTING BY OTHERS
2. RETAINING WALL PER MANUFACTURERS SPECIFICATIONS.

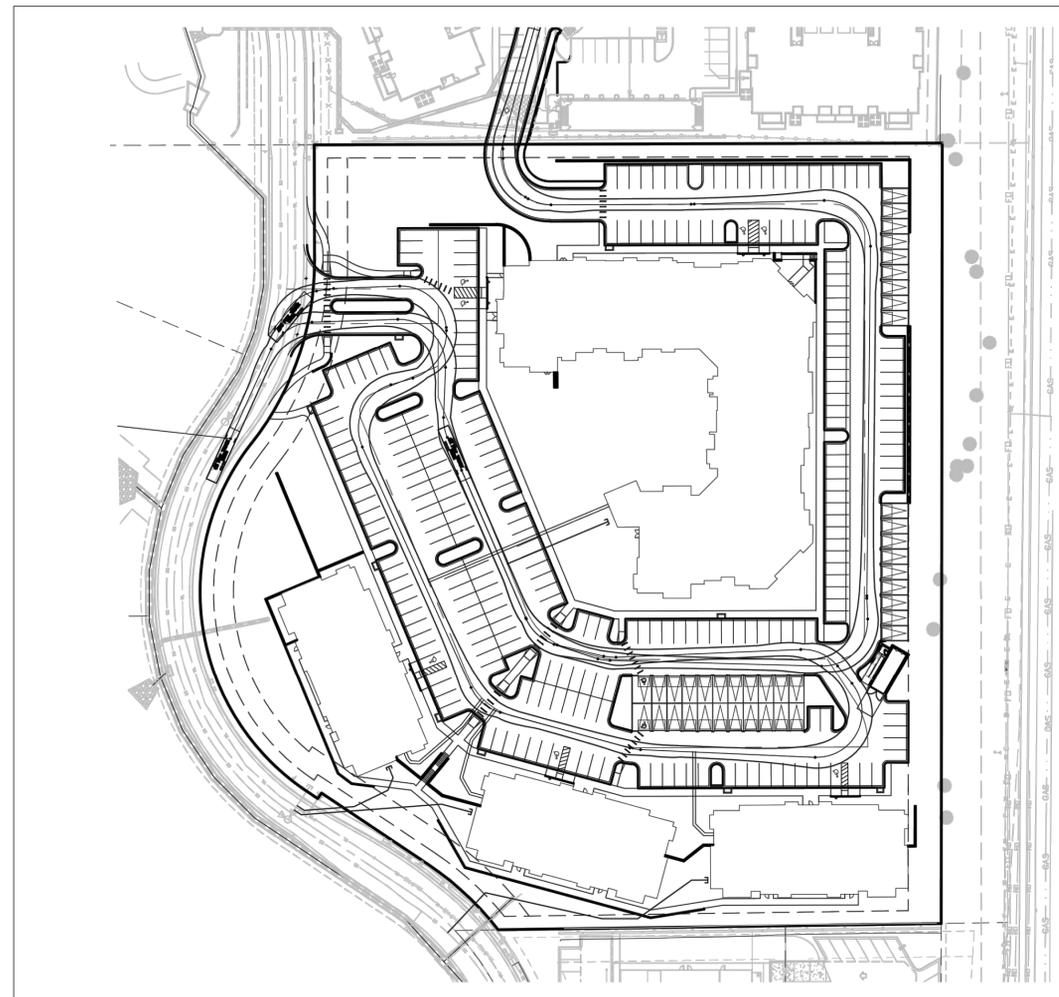
RETAINING WALL DETAIL

NOT TO SCALE



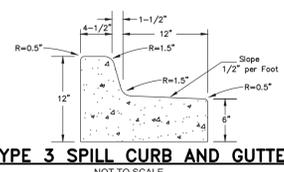
WALL ALONG POWERS / SOUND MITIGATION

SCALE: 1" = 1'



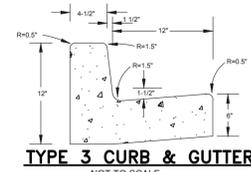
FIRE TRUCK MOVEMENT EXHIBIT

SCALE: 1/64" = 1'-0"



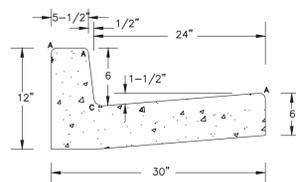
TYPE 3 SPILL CURB AND GUTTER

NOT TO SCALE
NOTES: 1.) CONCRETE TO HAVE MINIMUM YIELD STRENGTH OF 3,000 p.s.i. AT 28 DAYS



TYPE 3 CURB & GUTTER

NOT TO SCALE
NOTES: 1.) CONCRETE TO HAVE MINIMUM YIELD STRENGTH OF 3,000 p.s.i. AT 28 DAYS



MOD. TYPE 1 CURB AND GUTTER

NOT TO SCALE
NOTES: 1.) CONCRETE TO HAVE MINIMUM YIELD STRENGTH OF 3,000 p.s.i. AT 28 DAYS

LENGTH FOR RADII	
A	= 1/2"
C	= 1-1/2"
D	= 1-1/2" TO 2"

CPC CU 20-XXXX

<p>CLASSIC CONSULTING ENGINEERS & SURVEYORS</p> <p>619 N. Cascade Avenue, Suite 200 Colorado Springs, Colorado 80903</p> <p>(719) 785-0790 (719) 785-0799 (Fax)</p>	BARNES CENTER APARTMENTS FIL. NO. 2		<p>CLASSIC ENGINEERS & SURVEYORS</p>			
	DETAIL SHEET					
	DESIGNED BY	KRC		SCALE	DATE	3/4/20
	DRAWN BY	BB		(H) 1" = N/A	SHEET	5 OF 15
CHECKED BY		(V) 1" = N/A	JOB NO.	2417.80		

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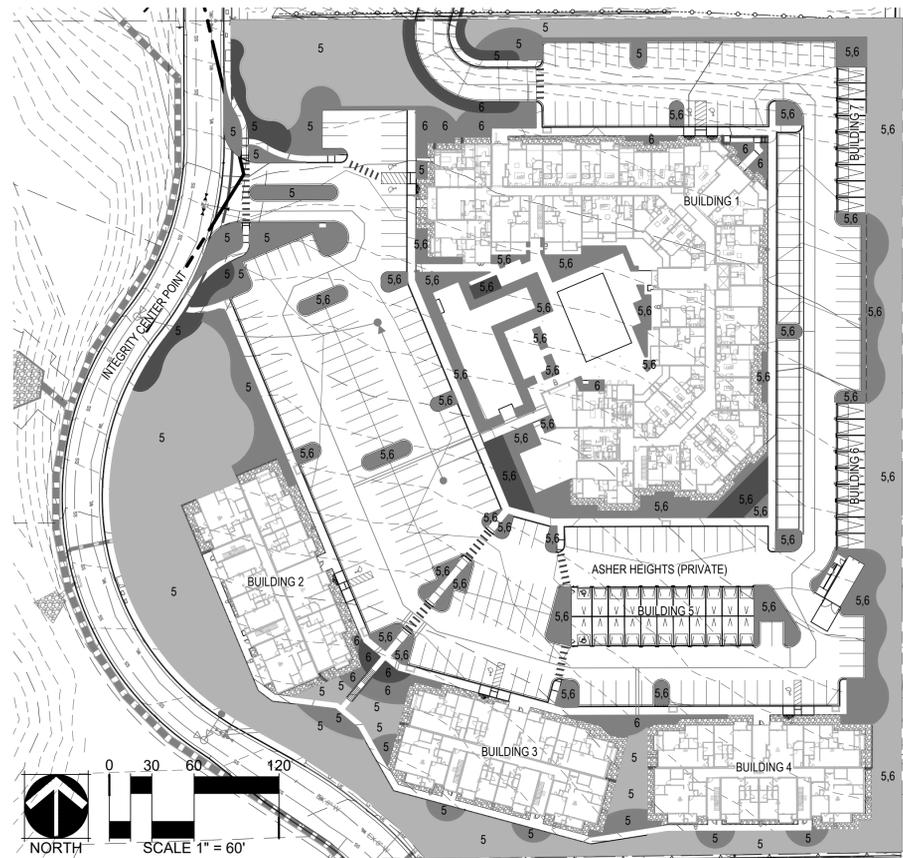
SHEET INDEX

- L1.00 LANDSCAPE NOTES
- L2.00 LANDSCAPE PLAN
- L2.01 LANDSCAPE ENLARGEMENT
- L3.00 LANDSCAPE DETAILS

GENERAL LANDSCAPE NOTES:

1. THE CONTRACTOR AND OWNER'S REPRESENTATIVE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF ANY WORK SHOWN ON THESE PLANS.
2. THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
3. DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
4. VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
5. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
6. SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
7. THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
8. IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, NORRIS DESIGN RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
9. CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
10. CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-COMFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
13. UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
14. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
16. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
17. SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS.
18. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
19. COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
20. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
22. THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
23. MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
24. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
25. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
26. THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
27. THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
28. THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
29. THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE IS PROHIBITED.
30. OPEN SPACE SWALES: IF SWALES ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE CONVEYANCE OF WATER WITHIN THE SWALES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIVERSION OR PUMPING OF WATER IF REQUIRED TO COMPLETE WORK. ANY SWALES DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE SWALE NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
31. DETENTION AND WATER QUALITY PONDS: IF DETENTION PONDS AND WATER QUALITY PONDS ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE PONDS, DRAINAGE STRUCTURES AND SPILLWAYS DURING CONSTRUCTION. ALL PONDS, DRAINAGE STRUCTURES AND SPILLWAYS SHALL BE MAINTAINED IN OPERABLE CONDITIONS AT ALL TIMES. ANY POND OR SPILLWAY AREAS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE POND NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
32. MAINTENANCE ACCESS BENCHES: IF MAINTENANCE BENCHES OR ACCESS ROADS EXIST ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE BENCHES OR ACCESS ROADS DURING CONSTRUCTION. ANY BENCHES OR ACCESS ROADS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING BENCHES AND ACCESS ROADS DURING THE CONSTRUCTION PERIOD. IF ACCESS NEEDS TO BE BLOCKED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INTERRUPTION OF ACCESS.
33. LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

LANDSCAPE DIAGRAM



LEGEND

REGIONAL PLANT COMMUNITIES	WATER REQUIREMENTS	
1. SEMI-ARID SHRUBLANDS	D = DRY 13' - 20'	VERY LOW (0"-7" PER YEAR)
2. PINION-JUNIPER WOODLANDS	A = ADAPTABLE 18" - 28"	LOW (7"-15" PER YEAR)
3. PRAIRIE	S = STEADY 23" - 38"	MODERATE (15"-25" PER YEAR)
4. LOWER ELEVATION RIPARIAN	W = WET > 36"	HIGH (>25" PER YEAR)
5. PONDEROSA PINE FOREST		
6. UPPER ELEVATION RIPARIAN		
7. DOUGLAS FIR FOREST		

LANDSCAPE REQUIREMENTS

Landscape Setbacks (SB)						
Street Name or Zone Boundary	Road Classification	Length	Width Required	Width Provided	Trees Required	Trees Provided
N. Powers Blvd. (1 Tree per 20 LF)	Freeway	587 LF	25	50	30	30
Integrity Center Point (1 Tree per 30 LF)	Non-Arterial	626 LF	10	50	21	30
Southern Setback (1 Tree per 30 LF)	Non-Street	343 LF	0	15	12	12
Totals:					63	72

Internal Landscaping (IL)			
Net Site Area (SF)	Percent Minimum Internal Area (%)	Internal Area (SF) Provided	Internal Trees (1/500SF)
			Required
290,284	15%	43,543	87 / 121

Motor Vehicle Lots (MV)		
No. of Vehicle Spaces (1 Tree per 15 Spaces)	Trees Required	Trees Provided
258	18	21

PLANT PALETTE

QTY.	SYM.	BOTANICAL NAME	COMMON NAME	WIDTH	SIZE	CONT.
DECIDUOUS CANOPY TREES						
PRL		ROBINIA PSEUDOACACIA 'PURPLE ROBE'	PURPLE ROBE LOCUST	25'-30'	2.5" CAL.	B&B
LAN		POPULUS X ACUMINATA	LANCELEAF COTTONWOOD	30'	2.5" CAL.	B&B
HAC		CELTIS OCCIDENTALIS	WESTERN HACKBERRY	40'	2.5" CAL.	B&B
ELM		ULMUS X TRIUMPH	TRIUMPH ELM	40'-50'	2.5" CAL.	B&B
ROA		QUERCUS RUBRA	NORTHERN RED OAK	30'	2.5" CAL.	B&B
DECIDUOUS ORNAMENTAL TREES						
RMM		ACER GLABRUM	ROCKY MOUNTAIN MAPLE	10'-15'	6' HT.	CONT.
GFC		ACER GINNALA 'FLAME'	GINNALA 'FLAME' MAPLE	20'	2" CAL.	B&B
WRB		BETULA OCCIDENTALIS FONTINALIS	WESTERN RED BIRCH	25'	CLUMP	CONT.
TCH		CRATAEGUS CRUS-GALLI 'INERMIS'	THORNLESS COCKSPUR HAWTHORN	15'	2" CAL.	B&B
ANG		POPULUS TREMULOIDES	QUAKING ASPEN	15'	2" CAL.	B&B
SUC		PRUNUS VIRGINIANA 'POOZS'	SUCKER PUNCH CHOKECHERRY	20'	1.75" CAL.	B&B
GOA		QUERCUS GAMBELII	GAMBEL OAK	12'	6' HT.	B&B
EVERGREEN TREES						
RMG		JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	8'-12'	6' HT.	CONT.
CCF		ABIES CONCOLOR	WHITE FIR	20'-25'	6' HT.	B&B
PIN		PINUS EDULIS	PINON PINE	15'	6' HT.	B&B
PON		PINUS PONDEROSA	PONDEROSA PINE	25'	6' HT.	B&B
SWP		PINUS STROBIFORMIS	SOUTHWESTERN WHITE PINE	30'	6' HT.	B&B
CBS		PICEA PUNGENS	COLORADO SPRUCE	25'	6' HT.	B&B
EVERGREEN SHRUBS						
MCO		MAHONIA AQUIFOLIUM COMPACTA	COMPACT OREGON GRAPE HOLLY	5'	#5 GAL	CONT.
YFI		YUCCA FILAMENTOSA	ADAM'S NEEDLE	3'	#5 GAL	CONT.
WIL		JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RUG JUNIPER	6'	#5 GAL	CONT.
AND		JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	YOUNGSTOWN JUNIPER	6'	#5 GAL	CONT.
CAP		COTONEASTER APICULATUS	CRANBERRY COTONEASTER	6'	#5 GAL	CONT.
MSL		PINUS MUGO 'SLOWMOUND'	SLOWMOUND MUGO PINE	4'	#6 GAL	CONT.
LARGE DECIDUOUS SHRUBS (6"+ SPREAD)						
SSK		AMELANCHIER ALNIFOLIA	SASKATOON SERVICEBERRY	8'	#5 GAL	CONT.
REC		ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	RED CHOKEBERRY	6'	#5 GAL	CONT.
MMA		CERCOCARPUS MONTANUS	MOUNTAIN MAHOGANY	6'	#5 GAL	CONT.
NMA		FORESTIERA NEOMEXICANA	NEW MEXICO PRIVET	6'	#5 GAL	CONT.
STS		PHUS TYPHARIA	STAGHORN SUMAC	8'	#5 GAL	CONT.
FPU		SYRINGA VULGARIS 'LUDWIG SPAETH'	FRENCH LILAC	8'	#5 GAL	CONT.
VLA		VIBURNUM LANTANA	WAYFARING VIBURNUM	6'	#5 GAL	CONT.
MEDIUM DECIDUOUS SHRUBS (4'-6" SPREAD)						
RAB		CHRYSOTHAMINUS NAUSEOSUS	RABBITBRUSH	4'	#5 GAL	CONT.
AFD		CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE DOGWOOD	4'	#5 GAL	CONT.
DBB		EUONYMUS ALATUS 'COMPACTA'	DWARF BURNING BUSH	4'	#5 GAL	CONT.
APL		FALLUGIA PARADOXA	APACHE PLUME	5'	#5 GAL	CONT.
NAJ		PHYSCARPUS OPULIFOLIUS 'JEFAM'	AMBER JUBILEE NINEBARK	4'	#5 GAL	CONT.
TLS		RHUS TRILOBATA	THREE LEAF SUMAC	6'	#5 GAL	CONT.
PBS		PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	6'	#5 GAL	CONT.
ACO		ROSA FOETIDA 'BICOLOR'	AUSTRIAN COPPER ROSE	6'	#5 GAL	CONT.
SNB		SYMPHORICARPOS ALBUS	SNOWBERRY	4'	#5 GAL	CONT.
DKO		SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	5'	#5 GAL	CONT.
SMALL DECIDUOUS SHRUBS (>4" SPREAD)						
LEA		AMORPHA CANESCENS	LEADPLANT	4'	#5 GAL	CONT.
SSB		ARTEMISIA FILIFOLIA	SAND SAGEBRUSH	2'-3'	#5 GAL	CONT.
CRG		CARAGANA PYGMAEA	PYGMY PEASHRUB	4'	#5 GAL	CONT.
BMS		CARYOPTERIS X CLANDONENSIS	BLUE MIST SPIREA	3'	#5 GAL	CONT.
MLL		PHILANDELPHUS MICROPHYLLUS	LITTLE LEAF MOCKORANGE	4'	#5 GAL	CONT.
PDS		POTENTILLA FRUTICOSA 'FARGO'	DAKOTA SUNSPOT POTENTILLA	3'	#5 GAL	CONT.
RWO		ROSA WOODSII	WOODS ROSE	4'	#5 GAL	CONT.
ORNAMENTAL GRASSES						
BBS		ANDROPOGON GERARDII	BIG BLUESTEM	2'-3'	#1 GAL	CONT.
SOG		BOUTELOUA CURTIPENDULA	SIDEOATS GRAMA	8'-12'	#1 GAL	CONT.
BAG		BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	2'-3'	#1 GAL	CONT.
AVG		HELICTOTRICHON SEMPEVIRENS	BLUE AVENA GRASS	2'-3'	#1 GAL	CONT.
UDM		MUHLENBERGIA REVERCHONII 'UNDAUNTED'	UNDAUNTED RUBY MUHY GRASS	18"-24"	#1 GAL	CONT.
RSQ		PANICUM VIRGATUM 'SHENANDOAH'	RED SWITCH GRASS	3'-4'	#1 GAL	CONT.
LGB		SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	2'	#1 GAL	CONT.
ING		SORGHASTRUM NUTANS	INDIAN GRASS	3'-4'	#1 GAL	CONT.

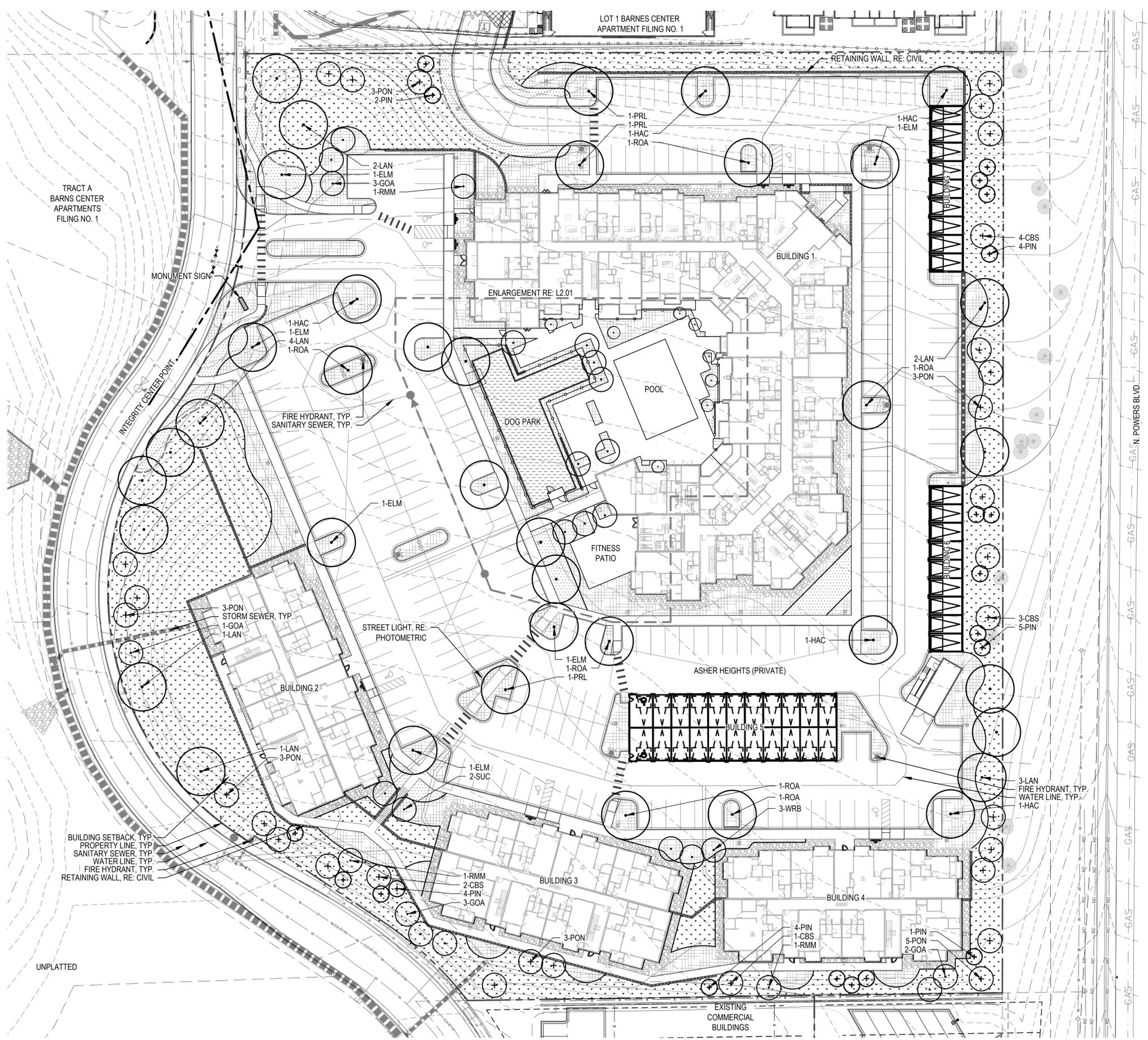
CPC CU 20-XXXX

NORRIS DESIGN
Planning | Landscape Architecture | Branding

BARNES CENTER APARTMENTS
FILE NO. 2
DEVELOPMENT PLAN - PRELIMINARY LANDSCAPE PLAN
L1.00-LANDSCAPE_NOTES

DESIGNED BY	KS	SCALE	1:60	DATE	03/12/2020
DRAWN BY	KS/IP			SHEET	6 OF 16
CHECKED BY	RH/JC			JOB NO.	

LOT 1 BARNES CENTER
APARTMENT FILING NO. 1



LEGEND

- DECIDUOUS SHADE TREE
- DECIDUOUS ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- SOD
- IRRIGATED NATIVE SEED
- LANDSCAPE BED
- ROCK COBBLE
- ARTIFICIAL TURF
- METAL EDGER
- POOL BARRIER FENCE
- MOW LINE

TRACT A
BARNES CENTER
APARTMENTS
FILING NO. 1

BUILDING SETBACK, TYP.
PROPERTY LINE, TYP.
SANITARY SEWER, TYP.
WATER LINE, TYP.
FIRE HYDRANT, TYP.
RETAINING WALL, RE: CIVIL

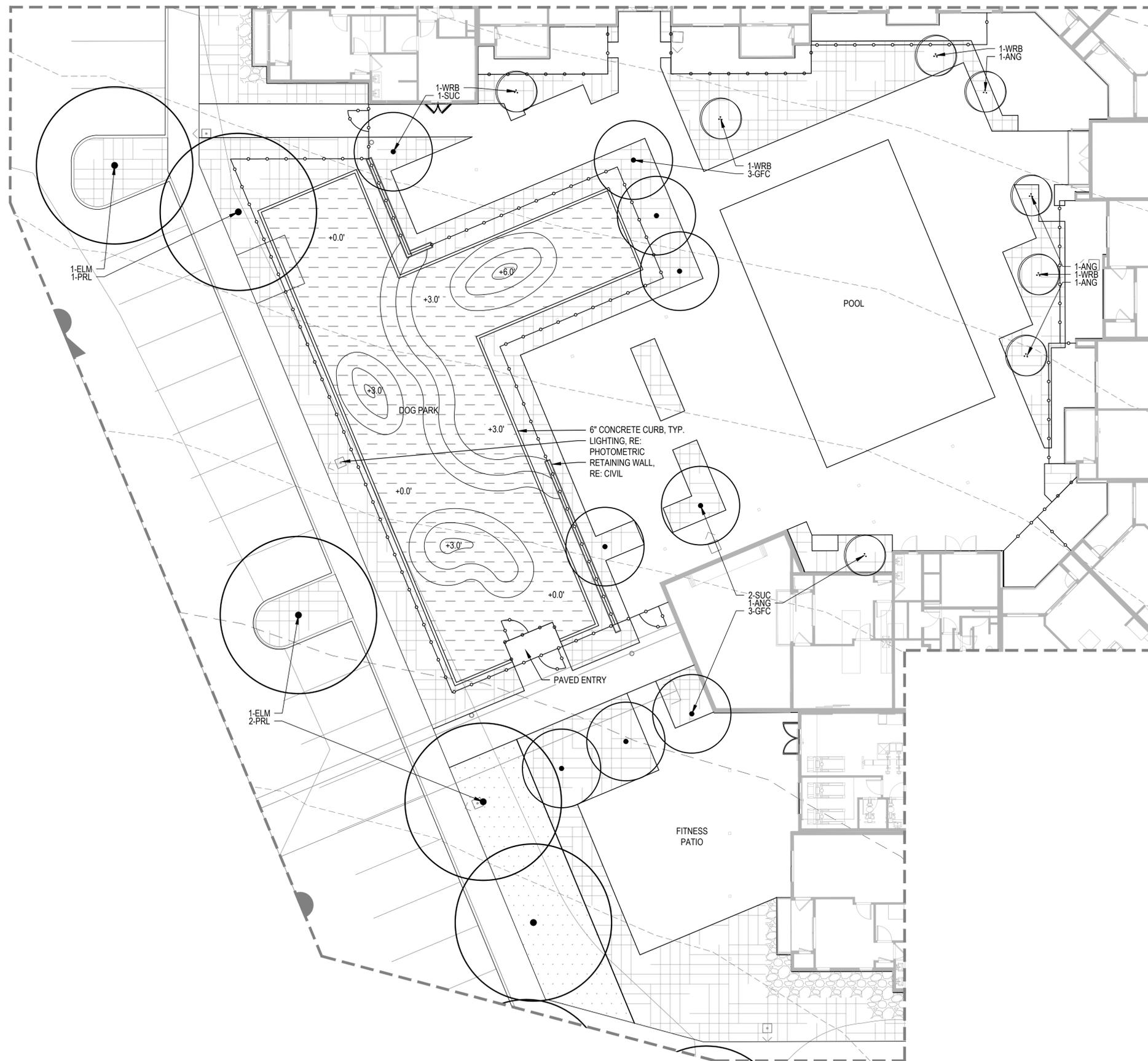
CPC CU 20-XXXX

NORRIS DESIGN
Planning | Landscape Architecture | Branding

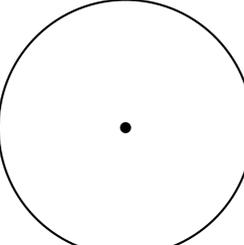
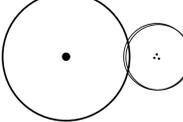
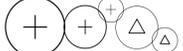
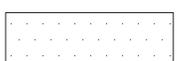
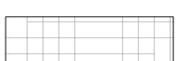
BARNES CENTER APARTMENTS
FILING NO. 2
DEVELOPMENT PLAN - PRELIMINARY LANDSCAPE PLAN
L2.00-LANDSCAPE_PLAN

DESIGNED BY	KS	SCALE	1:30	DATE	03/12/2020
DRAWN BY	KS/IP			SHEET	7 OF 16
CHECKED BY	RH/JC			JOB NO.	

SCALE 1" = 30'



LEGEND

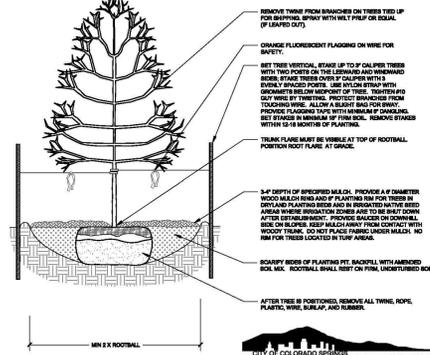
-  DECIDUOUS SHADE TREES
-  DECIDUOUS ORNAMENTAL TREES
-  DECIDUOUS SHRUBS
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-  ARTIFICIAL TURF
-  SOD
-  LANDSCAPE BED
-  ROCK COBBLE
-  POOL BARRIER FENCE
-  METAL EDGER

CPC CU 20-XXXXX



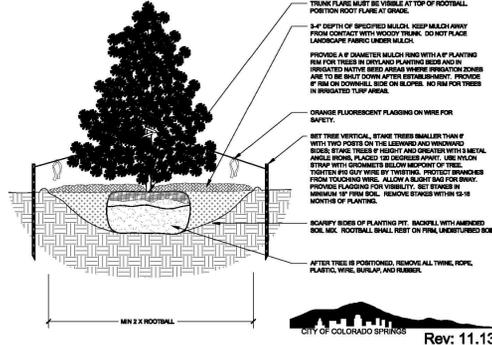
BARNES CENTER APARTMENTS			
FILING NO. 2			
DEVELOPMENT PLAN - PRELIMINARY LANDSCAPE PLAN			
L2.01--LANDSCAPE_ENLARGEMENT			
DESIGNED BY	KS	SCALE	1:10
DATE	03/12/2020		
DRAWN BY	KS/IP	SHEET	8 OF 16
CHECKED BY	RH/JC	JOB NO.	

- NOTES:
1. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 2. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDD OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 3. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 6. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 7. WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE.
 8. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 9. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



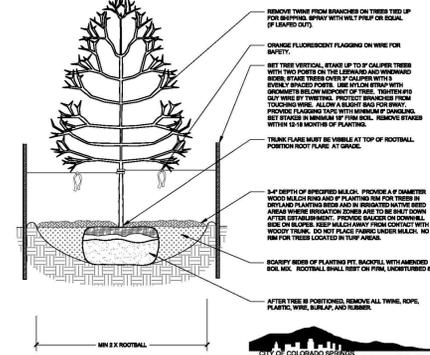
- NOTES:
1. DISCLAIMER THESE PLANTING DETAILS ARE FOR THE CITY REVIEW AND APPROVAL PROCESS ONLY AND SHALL NOT BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

- NOTES:
1. DO NOT REMOVE OR CUT LEADER.
 2. PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 3. DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 5. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 6. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 7. PRUNE AND SPRUCE TREES TO BE SPRAYED FOR PINE BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 8. ALL TREES TO BE DEEP WATERED AT TIME OF PLANTING.



- NOTES:
1. DISCLAIMER THESE PLANTING DETAILS ARE FOR THE CITY REVIEW AND APPROVAL PROCESS ONLY AND SHALL NOT BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

- NOTES:
1. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 2. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDD OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 3. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 6. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 7. WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE.
 8. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 9. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



- NOTES:
1. DISCLAIMER THESE PLANTING DETAILS ARE FOR THE CITY REVIEW AND APPROVAL PROCESS ONLY AND SHALL NOT BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

1 DECIDUOUS TREE PLANTING

N.T.S.

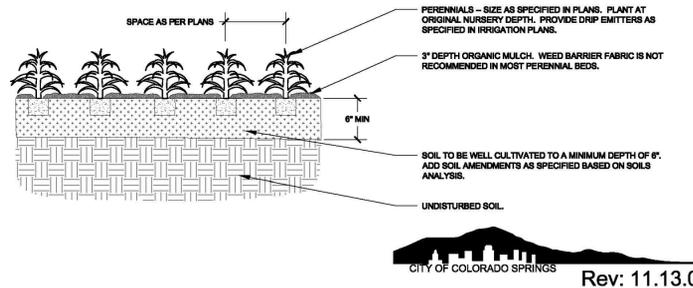
2 EVERGREEN TREE PLANTING

N.T.S.

3 DECIDUOUS TREE PLANTING

N.T.S.

- NOTES:
1. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 2. PLANT GROUND COVERS AND PERENNIALS LEVEL AND AT GRADE.
 3. PRUNE ALL DEAD OR BROKEN PARTS PRIOR TO PLANTING.
 4. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 5. ALL PERENNIALS PLANTED IN ROCK MULCH AREAS TO HAVE ORGANIC MULCH RINGS AROUND THE BASE OF THE PLANT.



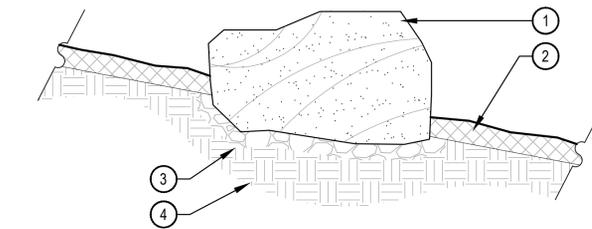
- NOTES:
1. DISCLAIMER THESE PLANTING DETAILS ARE FOR THE CITY REVIEW AND APPROVAL PROCESS ONLY AND SHALL NOT BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

4 PERENNIAL/ GROUNDCOVER PLANTING

N.T.S.

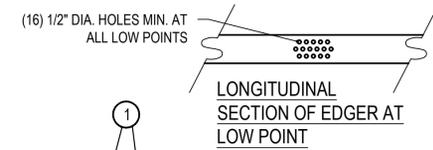
5 LANDSCAPE BOULDER

SCALE: 3/4" = 1'-0"



BOULDER SIZES		
QTY.	ITEM	SIZE
0	'A' SIZED BOULDER	24 - 30" DIAMETER X 18" MINIMUM DEPTH
0	'B' SIZED BOULDER	30 - 48" DIAMETER X 24" MINIMUM DEPTH
0	'C' SIZED BOULDER	48 - 60" DIAMETER X 32" MINIMUM DEPTH

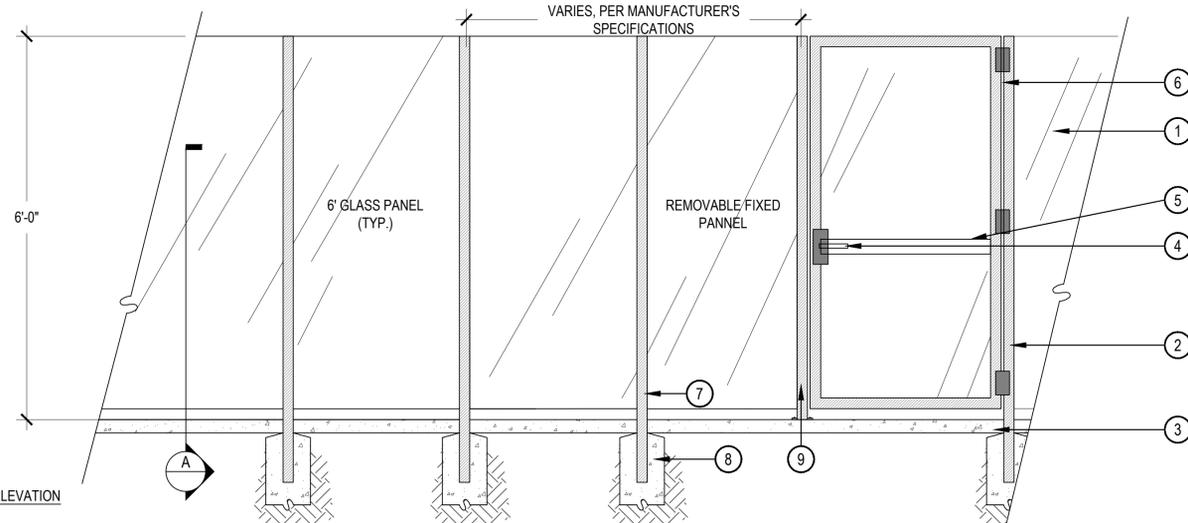
- NOTES:
1. THESE ARE FREE STANDING BOULDERS ONLY. BOULDERS ASSOCIATED WITH THE BOULDER RETAINING WALLS, PARK ENTRY SIGNS AND INTERPRETIVE SIGNS ARE NOT INCLUDED IN THIS COUNT.
 2. THE OWNERS REPRESENTATIVE SHALL APPROVE LOCATIONS AND SIZES OF ALL BOULDERS PRIOR TO PLACING.
 3. CONTRACTOR SHALL SUBMIT SAMPLE OR PHOTOS FOR APPROVAL.



- NOTES:
1. THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.
 2. CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

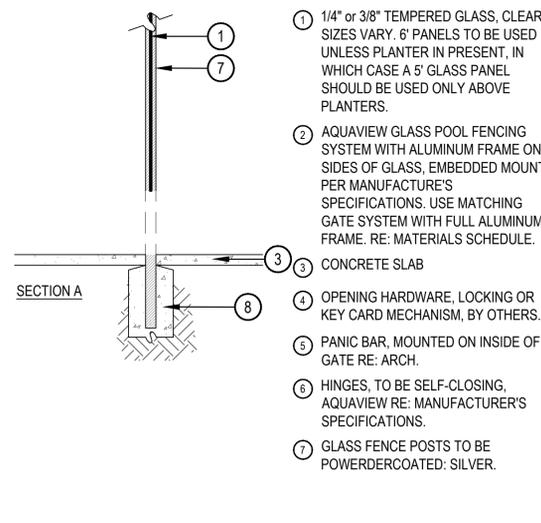
6 STEEL EDGER DETAIL

SCALE: 1" = 1'-0"



7 GLASS FENCE AND GATE

7



CPC CU 20-XXXX

NORRIS DESIGN
Planning | Landscape Architecture | Branding

BARNES CENTER APARTMENTS
FILING NO. 2
DEVELOPMENT PLAN - PRELIMINARY LANDSCAPE PLAN
L3.00-LANDSCAPE_DETAILS

DESIGNED BY	KS	SCALE	N/A	DATE	03/12/2020
DRAWN BY	KS/IP			SHEET	9 OF 16
CHECKED BY	RH/JC			JOB NO.	

MATERIAL LEGEND

	CEMENTITIOUS CLADDING
	STUCCO
	TRIM, FACIA, COPING

KEYNOTES

NO.	NOTE
01	CEMENTITIOUS CLADDING
02	STUCCO
04	METAL RAILING
06	CEMENTITIOUS TRIM
07	METAL PARAPET CAP



4 BUILDING TYPE A - EAST ELEVATION
3/32" = 1'-0"



3 BUILDING TYPE A - WEST ELEVATION
3/32" = 1'-0"



2 BUILDING TYPE A - SOUTH ELEVATION
3/32" = 1'-0"



1 BUILDING TYPE A - NORTH ELEVATION
3/32" = 1'-0"



BARNES CENTER APARTMENTS FILING NO.2			
INTEGRITY CENTER PT. COLORADO SPRINGS, CO 80917			
BLDG A - ELEVATIONS			
DESIGNED BY	SCALE	DATE	03.12.2020
DRAWN BY	As indicated	SHEET	10 OF 16
CHECKED BY		JOB NO.	219083

3/11/2020 2:55:31 PM C:\Bentley\Map\2020\219083_Colwell Powers\North_Jeff.rvt COPYRIGHT © 2020

MATERIAL LEGEND

	CEMENTITIOUS CLADDING
	STUCCO
	TRIM, FASCIA, COPING

KEYNOTES

NO.	NOTE
01	CEMENTITIOUS CLADDING
02	STUCCO
04	METAL RAILING
05	WOODEN TRELLIS
06	CEMENTITIOUS TRIM
07	METAL PARAPET CAP
10	BUILDING SIGNAGE LOCATION



2 BUILDING TYPE B - NORTH ELEVATION
3/32" = 1'-0"



1 BUILDING TYPE B - WEST ELEVATION
3/32" = 1'-0"



BARNES CENTER APARTMENTS FILING NO.2
INTEGRITY CENTER PT.
COLORADO SPRINGS, CO
80917

BLDG B - ELEVATIONS

DESIGNED BY	SCALE	DATE	03.12.2020
DRAWN BY	As indicated	SHEET	11 OF 16
CHECKED BY		JOB NO.	219083

MATERIAL LEGEND	
	CEMENTITIOUS CLADDING
	STUCCO
	TRIM, FASCIA, COPING

KEYNOTES	
NO.	NOTE
01	CEMENTITIOUS CLADDING
02	STUCCO
04	METAL RAILING
05	WOODEN TRELLIS
06	CEMENTITIOUS TRIM
07	METAL PARAPET CAP
10	BUILDING SIGNAGE LOCATION



2 BUILDING TYPE B - SOUTH ELEVATION
3/32" = 1'-0"



1 BUILDING TYPE B - EAST ELEVATION
3/32" = 1'-0"

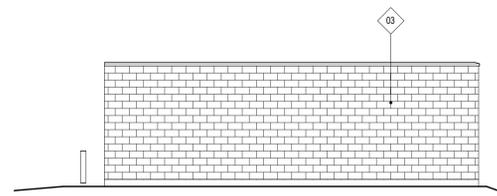


BARNES CENTER APARTMENTS FILING NO.2
INTEGRITY CENTER PT.
COLORADO SPRINGS, CO
80917

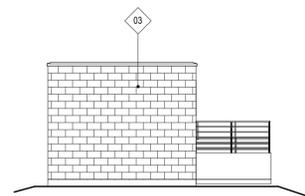
BLDG B - ELEVATIONS			
DESIGNED BY	SCALE	DATE	03.12.2020
DRAWN BY	As indicated	SHEET	12 OF 16
CHECKED BY		JOB NO.	219083

MATERIAL LEGEND	
	CEMENTITIOUS CLADDING
	STUCCO
	TRIM, FACIA, COPING

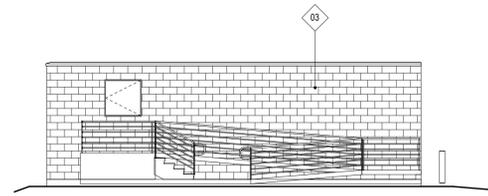
KEYNOTES	
NO.	NOTE
01	CEMENTITIOUS CLADDING
02	STUCCO
03	SPLIT FACE CMU
06	CEMENTITIOUS TRIM



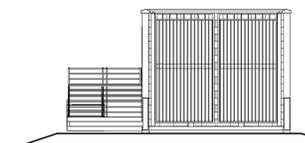
12 RIGHT ELEVATION - TRASH
1/8" = 1'-0"



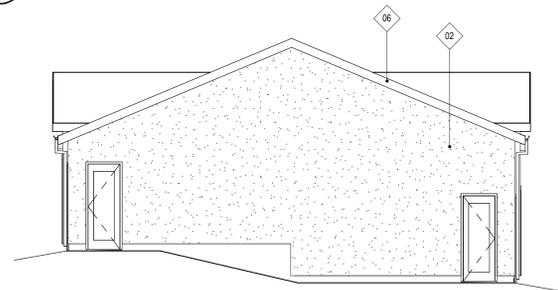
11 REAR ELEVATION - TRASH
1/8" = 1'-0"



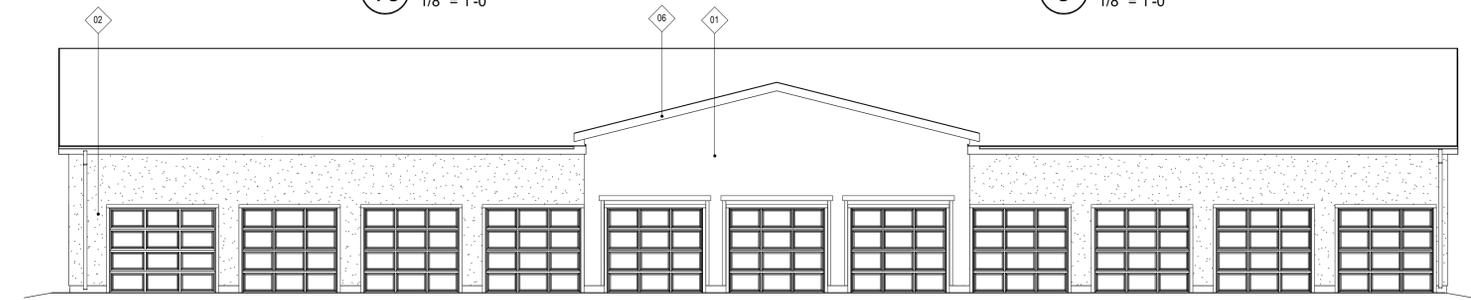
10 LEFT ELEVATION - TRASH
1/8" = 1'-0"



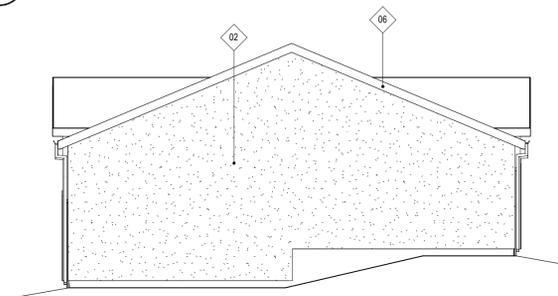
9 FRONT ELEVATION - TRASH
1/8" = 1'-0"



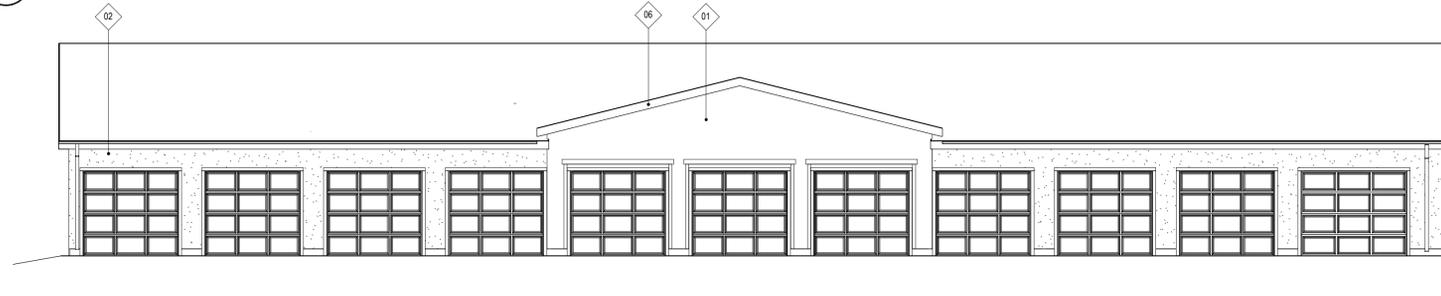
8 RIGHT ELEVATION - GARAGE TYPE B
1/8" = 1'-0"



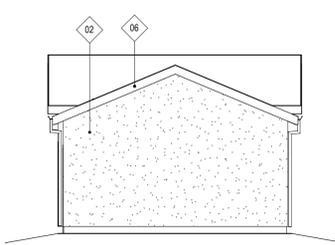
7 REAR ELEVATION - GARAGE TYPE B
1/8" = 1'-0"



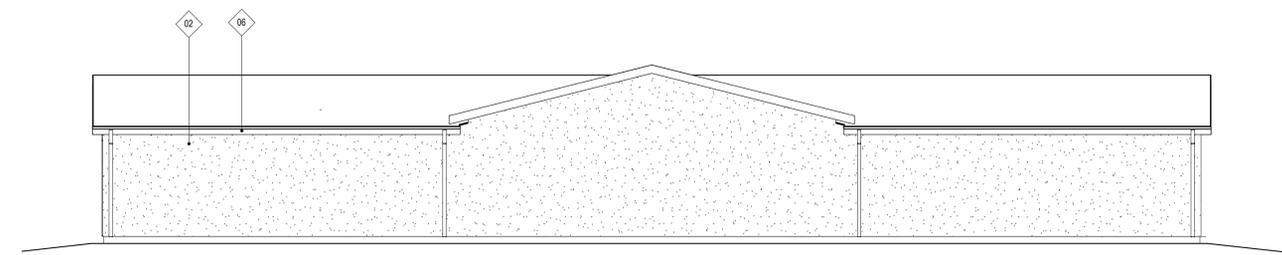
6 LEFT ELEVATION - GARAGE TYPE B
1/8" = 1'-0"



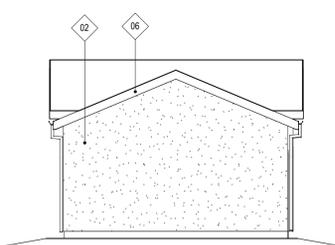
5 FRONT ELEVATION - GARAGE TYPE B
1/8" = 1'-0"



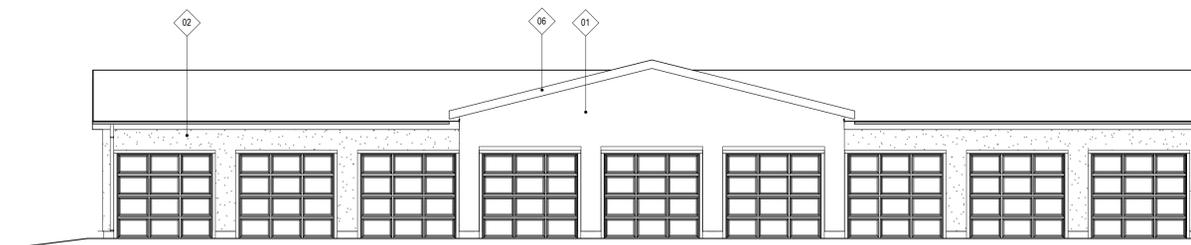
4 RIGHT ELEVATION - GARAGE TYPE A
1/8" = 1'-0"



3 REAR ELEVATION - GARAGE TYPE A
1/8" = 1'-0"



2 LEFT ELEVATION - GARAGE TYPE A
1/8" = 1'-0"



1 FRONT ELEVATION - GARAGE TYPE A
1/8" = 1'-0"



BARNES CENTER APARTMENTS FILING NO.2			
INTEGRITY CENTER PT. COLORADO SPRINGS, CO 80917			
GARAGE AND TRASH ENCLOSURE ELEVATIONS			
DESIGNED BY	SCALE	DATE	03.12.2020
DRAWN BY	1/8" = 1'-0"	SHEET	13 OF 16
CHECKED BY		JOB NO.	219083

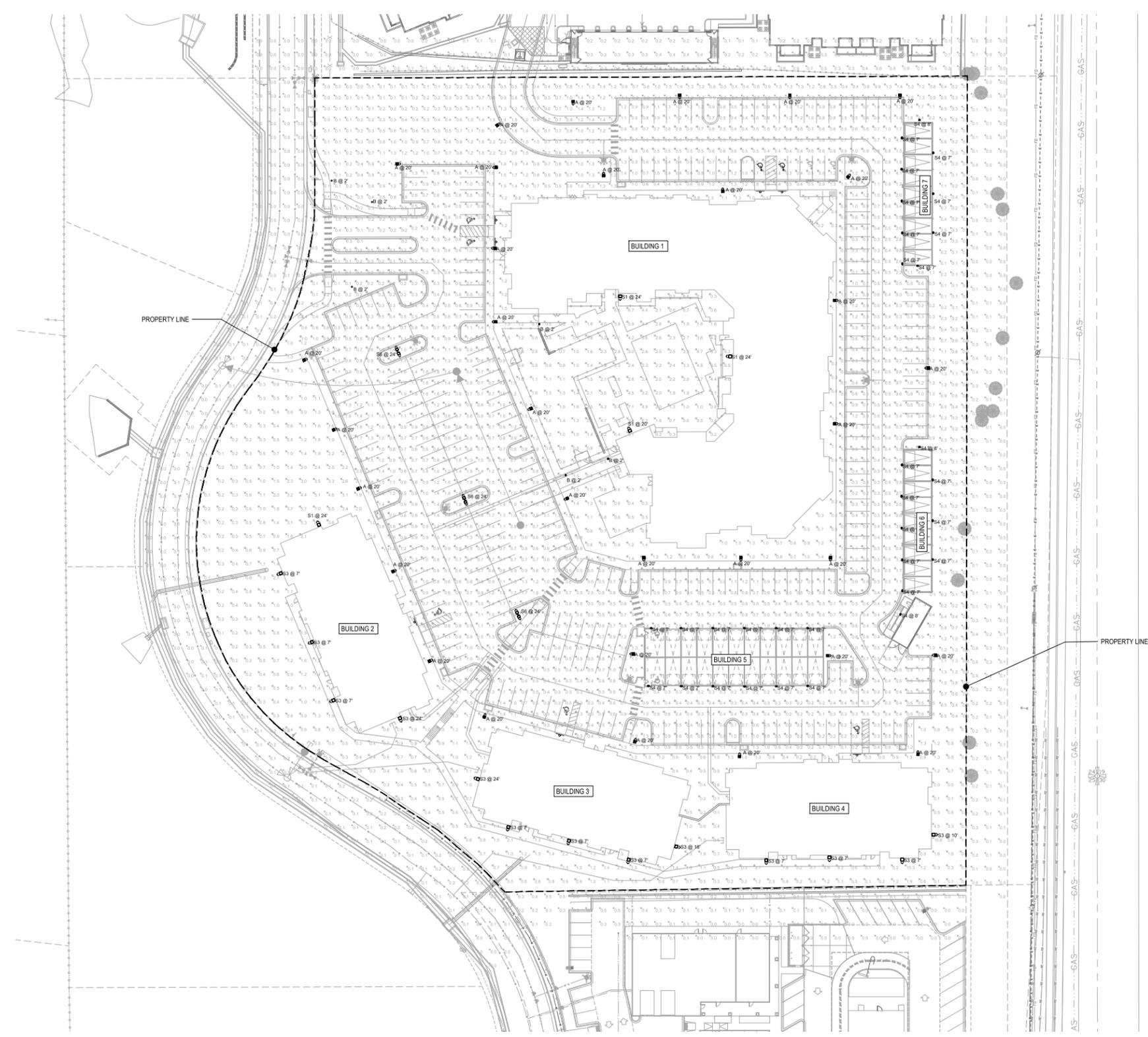
3/11/2020 7:05:49 PM C:\Barnes\Barnes\219083_Central\Power\Arch\Garage_Arch.rvt COPYRIGHT © 2019

BARNES CENTER APARTMENTS FILING NO. 2

CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

CONDITIONAL USE DEVELOPMENT PLAN

MARCH 2020



SITE AND LANDSCAPE LIGHT FIXTURE SCHEDULE					
LABEL	MANUFACTURER CATALOG NO.	DISTRIBUTION TYPE	DESCRIPTION	LAMPS / WATTAGES	NOTES
S1	RAB LIGHTING #WPLED-C-104Y	-	WALLPACK	LED/107	
S2	RAB LIGHTING #WPLED-C-52	-	WALLPACK	LED/52W	
S3	RAB LIGHTING #SLM37Y	-	WALLPACK	LED/37W	
S4	RAB LIGHTING #ENTRA12Y	-	WALLPACK	LED/12W	
A	KIM LIGHTING #JUR28	-	POLE	LED/38W	
B	KIM LIGHTING #KVLV202-3L-3K	-	TREE	LED/10W	

NOTE: VERIFY ALL LIGHT FIXTURES TYPES, LOCATIONS, QUANTITIES, REQUIREMENTS WITH THE ARCHITECT AND/OR THE OWNER PRIOR TO ORDERING AND INSTALLATION.

SYMBOL	ZONE	AVE	MAX	MIN
X	LANDSCAPE	0.9fc	3.5fc	0.1
□	PARKING	0.8fc	5.1fc	0.1
+	PROPERTY BOUDARY	0.1fc	0.9fc	0

1 PHOTOMETRIC PLAN
SCALE: 1" = 40'-0"

CPC CU 20-XXXX

Jordan & Skala Engineers		CORTLAND POWERS NORTH	
		INTEGRITY CENTER PT. COLORADO SPRINGS, CO 80917 PHOTOMETRIC PLAN	
DESIGNED BY	AG	SCALE	DATE 02/10/2020
DRAWN BY	AG	(H) 1" = 40'	SHEET 14 OF 16
CHECKED BY	SL	(V) 1" = N/A	JOB NO. 2451.41

691 N. Cascade Avenue, Suite 200 (714) 785-0790
Colorado Springs, Colorado 80903 (714) 785-0799 (Fax)

BARNES CENTER APARTMENTS FILING NO. 2

CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

CONDITIONAL USE DEVELOPMENT PLAN

MARCH 2020

WPLEDC104Y

RAB



Project: <input type="text"/>	Type: <input type="text"/>
Prepared By: <input type="text"/>	Date: <input type="text"/>

Driver Info		LED Info	
Type	Constant Current	Watts	104W
120V	0.95A	Color Temp	3000K (Warm)
208V	0.59A	Color Accuracy	72 CRI
240V	0.51A	L70 Lifespan	100,000
277V	0.44A	Lumens	13,630
Input Watts	107.50W	Efficacy	126.8 LPW
	Efficiency	97%	

Technical Specifications

Listings
UL Listed: UL Suitable for Wet Locations as Uplight and Downlight Wall Mount Only
IESNA LM-79 & LM-80 Testing: RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.
DLC Listed: This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. DLC Product Code: P000017AW
Construction
IP Rating: Ingress Protection rating of IP66 for dust and water
Cold Weather Starting: Minimum starting temperature is -40°C (-40°F)
Maximum Ambient Temperature: Suitable for use in 40°C (104°F)
Housing: Precision die-cast aluminum housing, door frame arm and wall bracket

Mounting: Die-cast aluminum wall bracket with (5) 1/2" conduit openings with plugs. Two-piece bracket with tether for ease of installation and wiring.
Arm: Die-cast aluminum with wiring access plate
Cutoff: Cutoff (7.5")
Lens: Tempered glass
Reflector: Specular vacuum metallized polycarbonate
Gaskets: High-temperature silicone
Finish: Formulated for high durability and long-lasting color

Green Technology: Mercury and UV free. RoHS-compliant components.
LED Characteristics
LEDs: Four multi-chip, high-output, long-life LEDs
Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations
Color Consistency: 3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color
Color Stability: LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period
Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377.2011.

Need help? Tech help line: (888) 722-1000 Email: custserv@rablighting.com Website: www.rablighting.com
 Copyright © 2020 RAB Lighting All Rights Reserved Note: Specifications are subject to change at any time without notice

Page 1 of 2

WPLEDC52Y

RAB



Project: <input type="text"/>	Type: <input type="text"/>
Prepared By: <input type="text"/>	Date: <input type="text"/>

Driver Info		LED Info	
Type	Constant Current	Watts	52W
120V	0.51A	Color Temp	3000K (Warm)
208V	0.33A	Color Accuracy	72 CRI
240V	0.29A	L70 Lifespan	100,000
277V	0.24A	Lumens	7,277
Input Watts	56.60W	Efficacy	128.6 LPW
	Efficiency	92%	

Technical Specifications

Listings
UL Listed: Suitable for wet locations
IESNA LM-79 & LM-80 Testing: RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.
DLC Listed: This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. DLC Product Code: P0000173A
LED Characteristics
Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations
Color Consistency: 3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color
Color Stability: LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period
Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377.2011.

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377.2011.
Reflector: Specular vacuum-metallized polycarbonate
Gaskets: High-temperature silicone
Lens: Tempered glass
Finish: Formulated for high durability and long-lasting color
Green Technology: Mercury and UV free. RoHS-compliant components.
Electrical
Driver: Constant Current, 720mA, Class 2, 100 - 277V, 50 - 60 Hz, 100 - 277VAC, 8 Amps.
Arm: Die-cast aluminum with wiring access plate
Cutoff: Cutoff (7.5")

Need help? Tech help line: (888) 722-1000 Email: custserv@rablighting.com Website: www.rablighting.com
 Copyright © 2020 RAB Lighting All Rights Reserved Note: Specifications are subject to change at any time without notice

Page 1 of 2

SLIM37Y

RAB



Project: <input type="text"/>	Type: <input type="text"/>
Prepared By: <input type="text"/>	Date: <input type="text"/>

Driver Info		LED Info	
Type	Constant Current	Watts	37W
120V	0.31A	Color Temp	3000K (Warm)
208V	0.19A	Color Accuracy	71 CRI
240V	0.16A	L70 Lifespan	100,000
277V	0.14A	Lumens	3,657
Input Watts	35.20W	Efficacy	103.9 LPW
	Efficiency	N/A	

Technical Specifications

Listings
UL Listed: Suitable for Wet Locations. Wall Mount Only.
IESNA LM-79 & LM-80 Testing: RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.
DLC Listed: This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. DLC Product Code: P56VFB6R
Construction
Footprint: Designed to replace RAB HID WP1 wall packs, both in size and footprint template, so upgrading to LED is easy and seamless
IP Rating: Ingress Protection rating of IP66 for dust and water
Cold Weather Starting: Minimum starting temperature is -40°C (-40°F)
Maximum Ambient Temperature: Suitable for use in 40°C (104°F)

Housing: Precision die-cast aluminum housing and door frame
Mounting: Die-cast back box with four (4) conduit entry points and knockout pattern for junction box or direct wall mounting. Hinged housing and bubble level for easy installation.
Cutoff: Cutoff (10")
Recommended Mounting Height: Up to 20 ft
Lens: Microprismatic diffusion glass lens reduces glare and has smooth and even light distribution
Reflector: Specular thermoplastic
Gaskets: The unique design of the light-lock gasket ensures no water or environmental elements will ever get inside the SLIM

Finish: Formulated for high durability and long-lasting color
Green Technology: Mercury and UV free. RoHS-compliant components.
LED Characteristics
LED: Long-life, high-efficiency, micro-power, surface mount LEDs, binned and mixed for uniform light output and color
Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations
Color Stability: LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period
Color Consistency: 7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Need help? Tech help line: (888) 722-1000 Email: custserv@rablighting.com Website: www.rablighting.com
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Page 1 of 3

CPC CU 20-XXXX

<h2 style="margin: 0;">Jordan & Skala Engineers</h2>	CORTLAND POWERS NORTH INTEGRITY CENTER PT. COLORADO SPRINGS, CO 80917 LIGHT FIXTURE CUTSHEETS & DETAILS			
	DESIGNED BY	AG	SCALE	DATE
DRAWN BY	AG	(H) 1" = 40'	SHEET	15 OF 16
CHECKED BY	SL	(V) 1" = N/A	JOB NO.	2451.41

619 N. Cascade Avenue, Suite 200 (191)785-0190
 Colorado Springs, Colorado 80903 (191)785-0191 (Fax)

BARNES CENTER APARTMENTS FILING NO. 2

CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

CONDITIONAL USE DEVELOPMENT PLAN

MARCH 2020

ENTRA12Y/PC

RAB



Affordable, high-performance, low-maintenance LED doorway light. Suitable for mounting heights up to 10', and replaces 70W high pressure sodium. 100,000-Hour LED lifespan. 5-year, no-compromise warranty.
Color: Bronze Weight: 3.2 lbs

Project: _____ **Type:** _____

Prepared By: _____ **Date:** _____

Driver Info **LED Info**

Type	Constant Current	Watts	12W
120V	0.3A	Color Temp	3000K (Warm)
208V	N/A	Color Accuracy	84 CRI
240V	N/A	L70 Lifespan	100,000
277V	N/A	Lumens	876
Input Watts	14.20W	Efficacy	61.7 LPW
Efficiency	85%		

Technical Specifications

Listings:
UL Listed:
Suitable for wet locations as downlight. Suitable for mounting within 1.2m (4ft) of the ground.
ADA Compliant:
ENTRA™ is ADA Compliant
IESNA LM-79 & LM-80 Testing:
RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.
Construction
IP Rating:
Ingress Protection rating of IP66 for dust and water
Cold Weather Starting:
Minimum starting temperature is -40°C (-40°F)
Maximum Ambient Temperature:
Suitable for use in 40°C (104°F)
Back Housing:
Die-cast aluminum

Lens/Housing Cover:
Vandal resistant polycarbonate molded housing cover and lens
Mounting:
Heavy die cast aluminum with 1/2" back knockout and mounting template for mounting to 4" box
Recommended Mounting Height:
Up to 10 ft
Reflectors (2):
White aluminum reflector topped with vacuum-metallized polycarbonate LED reflector
Gaskets:
High-temperature silicone
Finish:
Formulated for high durability and long-lasting color
Green Technology:
Mercury and UV free. RoHS-compliant components.

LED Characteristics
LED:
12W multi-chip, long life LED
Lifespan:
100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations
Color Stability:
LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period
Color Consistency:
3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color
Other
Patents:
The design of the ENTRA™ is protected by patents pending in US, Canada, China, Taiwan and Mexico
Warranty:
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

KIMLIGHTING

Ouro™ LED UR28

JOB _____ TYPE _____

NOTES _____ APPROVALS _____

FEATURES

- 28" size in post top, pole and wall mount
- High performance optics up to 35,000 delivered lumens
- Elegant form factor
- Diffusion lens for low glare comfort
- SiteSync™ wireless control options

CERTIFICATIONS

UL LISTED, IESNA, DLC, 300K and warmer CCT only

SPECIFICATIONS

Weight: 50 lbs EPA: 534

ORDERING CODE

Series	LED Engine	CCT	Distribution	Rotation	Voltage	Mounting
UR28	Outs	No Lens or Clear Lens	AM Amber	No Lens or Clear Lens	Blank for no rotation	UNV 120-277V
	96L-155 20,000 lm	3K7 3000K, 70 CRI	FR Type I Front Row	L Optic rotation left	347 347V	ASQ Arm Square pole
	96L-170 22,500 lm	3K8 3000K, 80 CRI	2 Type II	R Optic rotation right	480 480V	A34 Arm at 3.3-4.2" OD pole
	96L-185 24,000 lm	3K9 3000K, 90 CRI	3 Type III		480 480V	A46 Arm at 4.5-6.0" OD pole
	96L-220 27,000 lm	4K7 4000K, 70 CRI	4 Type IV		DAJ 120-277V	MAF Horizontal Slip Fitter 2.38" OD arm
	96L-255 30,000 lm	4K8 4000K, 80 CRI	4W Type IV Wide		Consult factory	SVSF Square Vertical Splitter for 2" Temon (2.38" OD)
	96L-315 35,000 lm	5K7 5000K, 70 CRI	SQM Type V Square Medium			VSF Round Vertical Splitter for 2" Temon (2.38" OD)
	HDL - High Diffusion Lens		SQN Type V Square Narrow			WB Wall Bracket
	114L-160 18,000 lm		SW Type V Wide (Round)			
	114L-180 20,000 lm		HDL - High Diffusion Lens			
	114L-265 25,000 lm		3 Type V Asymmetric			
			SW Type V Symmetric			

Fixture Finish	Control Options	Options	Control Accessories*
BL Black	7PR-TL 7 pin PCB with best lock (retrofit)	SWPM-40F-1A1 SiteSync with Sensor 9' to 40' MH	SW7PR-1 SiteSync with 7 pin PCB
DB Dark Bronze	7PR-SC 7 pin PCB with shorting cap	WSP-40F-1A1 Dimming Occ. Sensor for up to 40' MH, 120/277/347V	SW5WB SiteSync Software on USB
LG Light Gray	7PR 7 pin PCB, wireless control enabled	WSP-40F-2A1 Dimming Occ. Sensor for up to 40' MH, 208/240V	SW7AB SiteSync Wireless Tablet
GT Graphite	AD-01 AutoDIM 50% output at midnight	WSP-40F-3A1 Dimming Occ. Sensor for up to 40' MH, 480V	SWBRG SiteSync Wireless Bridge Node
PS Platinum Silver	AD-02 AutoDIM 50% output midnight to 4 AM	NXSPW10E1 NX Wireless, PIR Sensor, 14'	WIR-RME-L WIS-APE External Fixture Module
TI Titanium	AD-03 AutoDIM 50% output 10PM	NXSPW14E1 NX Wireless, PIR Occupancy Sensor, Dimming Daylight Harvesting, 30'	SCL-R Occ. Sensor for Round Pole (up to 16' MH)
WH White	AD-04 AutoDIM 50% output 10PM to 4AM	NXSP14E1 NX, PIR Occupancy Sensor, Dimming Daylight Harvesting, 14'	SCL-S Occ. Sensor for Square Pole (up to 16' MH)
CC Custom Color ¹	NXWE NX Wireless Enabled	NXSP20E1 NX, PIR Occupancy Sensor, Dimming Daylight Harvesting, 30'	SCH-R Occ. Sensor for Round Pole (16' to 30' MH)
Consult factory	SWP-1A SiteSync Pre commission		SCH-S Occ. Sensor for Square Pole (16' to 30' MH)

* Please refer to page 8 for ordering details

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Kim Lighting reserves the right to change specifications without notice.

KIMLIGHTING

Bullet 12V KLVL202

JOB _____ TYPE _____

NOTES _____ APPROVALS _____

FEATURES

- Die-cast copper aluminum
- Aimable 358° vertically, horizontal aiming controlled by installation mounting device
- 3000K color temperature

CERTIFICATIONS

UL LISTED

SPECIFICATIONS

Weight: 50 lbs EPA: 534

ORDERING CODE

Model	Fixture Options	Mounting Options
KLVL202BL ¹ Black	HL ² See Call Lower for brightness control	EP17 Landscape Light Post Mount, 12V & 120V
KLVL202DB ¹ Dark Bronze	PL ² Prismatic Spread Lens softens lamp distribution. Best with spot.	KLV400 ³ Spear Mount, 12V
KLVL202GR ¹ Verde Green	SL ² Linear Spread Lens creates oval beam pattern. Best with spot.	KLV405 ³ Surface Mount, 12V Lowlighter only
		KLV415 ³ Extension Mount, 12V Lowlighter only

1. Specify finish: BL - Black, DB - Dark Bronze, GR - Verde Green.
2. Items behind lens.
3. Please refer to page 8 for ordering details

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CPC CU 20-XXXX

Jordan & Skala Engineers

CORTLAND POWERS NORTH
INTEGRITY CENTER PT.
COLORADO SPRINGS, CO
80917
LIGHT FIXTURE CUTSHEETS & DETAILS

DESIGNED BY	AG	SCALE	DATE	02/10/2020
DRAWN BY	AG	(H) 1" = 40'	SHEET	16 OF 16
CHECKED BY	SL	(V) 1" = N/A	JOB NO.	2451.41

619 N. Cascade Avenue, Suite 200 (714) 785-0790
Colorado Springs, Colorado 80903 (714) 785-0799 (Fax)