

EL PASO

COMMISSIONERS:
DARRYL GLENN (PRESIDENT)
MARK WALLER (PRESIDENT PRO TEMPORE)



COUNTY

STAN VANDERWERF
LONGINOS GONZALEZ
PEGGY LITTLETON

PLANNING AND COMMUNITY DEVELOPMENT

CRAIG DOSSEY, EXECUTIVE DIRECTOR

June 20, 2018

Shops at McLaughlin II LLC
3902 Maizeland Road
Colorado Springs, CO 80909

Jim Childs, AIA
1310 Ford St
Colorado Springs, CO 80915

Dear Applicant and/or Consultant:

Subject: PPR-17-055 2nd Review

The purpose of this letter is to provide you with the review agency responses to the above named development application that have been received to-date by Planning and Community Development.

You are encouraged to directly contact those agencies that did provide review comments if the comments require additional action by the applicant/applicant's representative. You are also encouraged to directly contact those agencies that did not provide review comments if such response is required by state statutes and the El Paso County Land Development Code.

Design Team responses to the Project Review Comments are included after the comment in RED. August 16, 2018. If there are any questions regarding the responses or further clarification required please contact Darin Weiss at 719/623-3314.

EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT

Current Planning

1. See redlines. *Responses to the redlines are included with the 3rd Submittal package. Responses will be shown in RED.*

2. Applicant is required to apply for a Building Permit with PPRBD. *Noted and Acknowledged.*
3. Applicant is required to pay for the Commercial Driveway Access and apply for an additional Commercial Driveway Access. *Noted and Acknowledged. One Application was included in previous submittal. We will upload a second to cover the two access drives.*
4. Schedule a pre-construction meeting with Inspections. *Noted. Will contact inspectors when construction schedule is developed.*
5. Landscaping must be installed prior to Certificate of Occupancy. *Noted and Acknowledged.*

Engineering Division

Review 2: See the attached SWMP Checklist for unresolved items. Redline comments on the following documents will be uploaded by the project manager: - Drainage Report - GEC - Site Plan Upon further review, since an ESQCP is not required (commercial w/ less than 1 acre disturbed) and on-site permanent WQ is not required (per the drainage report detention & WQ is accounted for in the WH subregional pond 5), a FAE is not required and the GEC does not need to be a standalone set requiring the County Engineer's signature approval. The GEC becomes a part of the Site Development Plan set and approval process is through the PCD Director. *Revisions were made to address the unresolved SWMP Checklist items.*

ELPASO COUNTY COMMUNITY SERVICES DEPARTMENT ENVIRONMENTAL

WOODMEN ROAD METRO

In response to the proposed project this parcel will be subject to the Woodmen Road Metropolitan District Commercial Fee's and mill levy's Building Permit fee's of \$1.37 x 5800 SF = \$7946.00 Due at time of Permit. Made Payable to Woodmen Road Metropolitan District. *Noted and Acknowledged.*

FALCON FIRE PROTECTION DISTRICT

The Falcon Fire District has reviewed a request by T-Bone Construction Architect Darin Weiss (applicant) on a site development plan to allow for a 5800 sf 4 unit retail building located on .89 acres known as lot 2 Beckett at Woodmen Hills Fil NO 2 in unincorporated El Paso County and within the boundaries of the Falcon Fire Protection District.

Upon detailed review of the development proposal, Falcon Fire has determined that the design meets the minimum requirements established by the 2009 International Fire Code and the requirements of the Falcon Fire Department.

The Falcon Fire Protection District recommends **APPROVAL of this development plan with the following notes.**

Notes:

FEES: The Falcon Fire Department collects a cost recovery fee of \$429.00 per site development plan review. The payment shall be made to the Falcon Fire Department located at 7030 Old Meridian Road, Falcon Colorado. Please be advised that the fire hydrant/water plan or the construction document will not be reviewed by the Falcon Fire Department until this fee is received. *Noted and Acknowledged.*

WIDTH: Fire apparatus access roads shall have an unobstructed width of not less than 20-feet except for approved security gates. *Noted. Current layout complies.*

VERTICAL CLEARANCE: Fire apparatus access roads shall have an unobstructed vertical clearance of not less than 13-feet 6-inches. *Noted and current layout complies.*

LOADING: Fire apparatus access roads shall be designed, constructed and maintained to support the imposed loads of fire apparatus weighing at least 75,000-pounds. *Noted. Current layout complies.*

SURFACE: Fire apparatus access roads shall be surfaced so as to provide all-weather driving capabilities by means of asphalt, concrete or other approved driving surfaces. Gravel roads or other alternatives may be acceptable; however, PE stamped engineered specifications for such alternatives, showing that the loading specifications and all weather surface capabilities have been met or exceeded must be submitted to the Falcon Fire Department for review. *Noted. Current layout complies.*

DEAD-END ACCESS: Dead-end fire apparatus access roads in excess of 150-feet shall be provided with a turnaround meeting the requirements of the International Fire Code. *Noted. Current layout does not include any dead-end access.*

BRIDGES AND ELEVATED SURFACES: Where a bridge or an elevated surface is part of a fire apparatus access road, the bridge or elevated surface shall be constructed and maintained in accordance with AASHTO-Standard Specification for Highway Bridges. *Noted. Current layout does not include any bridges or elevated surfaces.*

GRADES: Grades for fire apparatus access roads shall be no more than 10% maximum grade. *Noted and current layout complies.*

GATES. Gates securing the fire apparatus access roads shall comply with all of the following criteria: *Noted. Site Plan does not include any gates.*

1. The minimum gate width shall be 20 feet or as wide as necessary to facilitate the required minimum turning radius.
2. Gates shall be of the swinging or sliding type.
3. Construction of gates shall be of materials that allow manual operation by one person.
4. Gate components shall be maintained in an operative condition at all times and replaced or repaired when defective.
5. Electric gates shall be equipped with a KNOX (TM) key system installed in an approved manner. Electronically operated gates shall have a failsafe, manually operated, KNOX (TM) key override switch.
6. Manual opening gates shall not be locked with a padlock or chain and padlock unless they are capable of being opened by means of forcible entry tools or a KNOX TM padlock.
7. Locking device specifications shall be submitted for approval by the fire code official.

WATER SUPPLY: Required water supplies for fire protection either temporary or permanent, shall be made available as soon as combustible material arrives on site. *Noted and Acknowledged.*

NO HYDRANT REVIEW: The review of the development plans does not include a review of the hydrant system layout. If additional hydrants are proposed for this project water plans shall be submitted and reviewed by the Falcon Fire Department prior to construction plans being approved. *Noted.*

WATER PLANS: The water/hydrant plans for this development/site will be required to have the range of the gross square footages (including all floors, lofts, garages, basements, mezzanines, etc.) of the structures to be constructed. This information will be used to determine the fire flow requirements for the development. Water plans cannot be reviewed if this information is not provided. Ensure that the water/hydrant plans indicate adequate fire flow requirements for the sizes of structures being constructed. *Noted.*

TIMING OF INSTALLATION: Fire department access roads shall be made serviceable prior to and during the time of construction except when approved alternative methods of protection are provided. *Noted and Acknowledged.*

ACCESS FOR FIREFIGHTING: Approved vehicle access for firefighting shall be provided to all construction/demolition sites. Vehicle access shall be provided to within 100-feet of temporary or permanent fire department connections (FDC). Vehicle access shall be provided by either temporary or permanent roads capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available. *Noted and Acknowledged.*

STREET SIGNS: Temporary or permanent street signs shall be installed at each street intersection when construction of roadways allows passage by vehicles. *Noted. Not new street signs are required with this project.*

Trent Harwig
Fire Chief
Falcon Fire Department

MOUNTAIN VIEW ELECTRIC ASSOCIATION INC

This area is within MVEA certificated service area. MVEA will continue to serve this area according to our extension policy. Information concerning connection requirements, fees and upgrades under MVEA line extension policy can be obtained by contacting the Engineering Department of MVEA.

Electric facilities have been designed and completed for Lot 2 of Beckett at Woodmen Hills, Filing #3. As construction moves forward additional easements may be required once a review of civil drawings with grading and erosion plan is provided to MVEA.

MVEA has existing facilities within this parcel of land. If there is any removal or relocation of facilities it will be at the expense of the applicant.

If additional information is required, please contact our office at (719) 495-2283.

Sincerely,

Chyen-Lee

Engineering Administrative Assistant

Thank you for the opportunity to review this project. Cathy Mountain View Electric Association, Inc.

Noted.

COLORADO SPRINGS UTILITIES

Utility Comments (electric, gas) – first review

Action Items:

1. Label all utility easements with Reception No. and/or Book & page. *Addressed. Revised on Plans*
2. Contact CSU Field Engineer (J.C. Butterfield at 719-668-5618) to discuss the proposed gas services and any gas main extensions. *Addressed. Plans modified per conversations.*
3. Show and label existing gas main on site plan. *Addressed. Revised on Plans.*

General Information Items:

1. Please contact Utilities Development Services (UDS) at 719.668.8111 for an estimate of development charges, fees, Recovery Agreement Charges or other utility related costs that may apply to this development. *Noted.*
2. CSU requires an Application for Gas and Electric Line Extension to be submitted along with a Load Data form or an Application for Gas Service Line Approval and/or Application for Elevated Pressure Approval prior to electric and natural gas system design for service to the project. Refer to the CSU Line Extension and Service Standards or contact Field Engineering at 719-668-4985. *Noted.*
3. CSU may require an extension contract and payment of contributions-in-aid of construction (or a Revenue Guarantee Contract) for the extension of electric facilities needed to serve the development. Regarding natural gas extensions, CSU may require an extension contract and an advance payment for the estimated cost to construct the necessary gas extensions. *Noted.*
4. Improvements, structures and trees must not be located directly over or within 6 feet of any underground gas or electric distribution facilities and shall not violate any provision of the National Electric Safety Code (NESC) or any applicable natural gas regulations or Colorado Springs Utilities' policies. *Noted.*
5. Improvements, structures and trees shall not be located under any overhead utility facility, shall not violate NESC clearances, and shall not impair access or the ability to maintain utility facilities. *Noted.*
6. Landscaping shall be designed to provide the required clearances for utility facilities, to allow continuous access for utility equipment, and to minimize conflicts with such facilities. *Noted.*

If you have any questions, please contact Mike Gackle at mgackle@csu.org or 719-668-8262.

911 AUTHORITY –ELPASO /TELLER COUNTY

Hello No comment for 911 No new street names requested Thank you Justin
Noted.

PIKES PEAK REGIONAL BUILDING DEPARTMENT

Enumerations: The area is already platted with an address. Suite numbering proposed will work just fine. Floodplain: no comment. No further comments con this project.
Noted.

ELPASO COUNTY HEALTH DEPARTMENT

Please accept the following comments from El Paso County Public Health regarding the project referenced above:

- There is a finding for sufficiency in terms of water quality for drinking water obtained from this Colorado Department of Public Health and Environment, Water Quality Control Division, regulated central water supply. The water system is assigned the PWSID# CO-0121125 from the Colorado Department of Public Health and Environment for Woodmen Hills Metropolitan District. *Noted.*
- There is sufficient wastewater treatment capacity at the Woodmen Hills Metropolitan District wastewater treatment facility to treat the projected wastewater flows from this proposed business lot. *Noted.*
- Radon resistant construction building techniques/practices are encouraged to be used in this area. The EPA has determined that Colorado, and the El Paso County area have potentially higher radon levels than other areas of the country. *Noted.*
- El Paso County Public Health requires finish plans to be submitted for review and approval if the operation is a regulated facility such as a retail food establishment, auto body paint shop, or other such facility. *Noted. No such functions are planned for this building.*

Mike McCarthy, R.E.H.S.
El Paso County Public Health Environmental Health Division 719.578.3170
mikemccarthy@elpasoco.com 11Jan2018

The following agencies have not provided review comments to-date:

1. Upper Black Squirrel Creek GWMD
2. Falcon 49

Comments received from any of the above non-responding agencies following the issuance of this letter will be forwarded to the applicant/applicant's representative and will be added to the end of this letter for record keeping purposes. *Noted.*

Due to the number of comments and necessary revisions to the plan(s) an additional detailed review will be necessary. Please address the comments as listed above. A detailed letter needs to accompany the revisions to allow for an expeditious re-review timeframe. The letter should include each comment listed above and, immediately thereafter, include a response from the applicant addressing the comment.

If any review agency has an issue that needs resolution or requires a revision, you will need to provide the necessary documents, drawings, etc., to the Planning and Community Development Department in the form of a resubmittal. The Planning and Community Development Department will then forward the resubmitted items directly to the appropriate review agency. If you have any questions pertaining to specific agency comments please contact the appropriate agency directly.

When all the comments have been addressed and corrections made please submit the required documents as requested through EDARPS.

If you have any questions feel free to contact me at 719-520-7943

Best Regards,



El Paso County Planning and Community Development Department
File: PPR-17-055

EL PASO COUNTY STORMWATER MANAGEMENT PLAN CHECKLIST

Revised 5/21/07

1) Applicant (owner/ designated operator), Prepared By, SWMP Administrator, and Contractor Information.



2) Table of Contents.



3) Site description and location to include vicinity map (not just Section, Township, Range)



4) Narrative description of construction activities proposed (e.g., may include clearing and grubbing, temporary stabilization, road grading, utility / storm installation, final grading, final stabilization, and removal of temporary control measures).



5) Phasing plan – may require separate drawings indicating initial, interim, and final site phases for larger projects. Provide “living maps” that can be revised in the field as conditions dictate.



6) Proposed sequence for major activities: Provide a construction schedule of anticipated starting and completion dates for each stage of land-disturbing activity depicting conservation measures anticipated, including the expected date on which the final stabilization will be completed.



7) Estimates of the total site area and area to undergo disturbance.



8) An estimate of runoff coefficients before and after project construction (may not be required with next State update).

Unresolved

01/11/2018

Unresolved

06/19/2018

Include the estimate of runoff coefficients before project construction.

Revision was made per the comment.

9) Soil erosion potential and potential impacts upon discharge.



10) A description of existing vegetation at the site and percent ground cover.

Unresolved

01/11/2018

Unresolved

06/19/2018

Include the percent ground cover of existing vegetation.

Revision was made per the comment.

11) The location and description of any other potential pollutant sources (mobile or stationary), chemical storage, etc.



12) ☒ Material handling to include spill prevention and response procedures.

☐

13) ☒ Spill prevention and pollution controls for dedicated batch plants.

☐

14) Other SW pollutant control measures to include waste disposal and off site soil

Unresolved
01/11/2018

Resolved
06/19/2018

Include the name of the regional pond and location (pg. 1)

15) ☒ The location and description of any anticipated non-stormwater components of discharge (springs, irrigation, etc.).

☐

16) ☒ The name of ultimate receiving waters; size, type and location of stormwater outfall or storm sewer system discharge.

☐

17) SWMP Map to include:

a) construction boundaries

☐

b) all areas of disturbance

☐

c) areas of cut and fill

☐

d) areas used for storage of building materials, soils or wastes (stockpiles)

☐

e) location of any dedicated asphalt / concrete batch plants

☐

f) major erosion control facilities or structures (sedimentation ponds, etc.)

☐

g) springs, streams, wetlands and other surface waters

☐

h) boundaries of FEMA mapped 100 year flood plain

☐

Unresolved

01/11/2018

Unresolved

06/19/2018

Was not included in the submittal.

*Revision was made
per the comment.*

18) Narrative description of structural BMPs to be used, including silt fence, straw bales, check dams, sediment basins, drainage swales, etc. Ensure method is ECM / DCM

Unresolved
01/11/2018

Unresolved
06/19/2018

*Revision was made
per the comment.*

19) ☒ Description of non-structural BMPs to be used including seeding, mulching, protection of existing vegetation, site watering, sod placement, etc.

☐

Unresolved 20) Technical drawing details for BMP installation and maintenance.

01/11/2018

Unresolved 06/19/2018

Was not included in the submittal.

21) Procedure for how the SWMP will be revised.



*Revision was made
per the comment.*

22) Description of Final Stabilization and Long-term Stormwater Quality (describe measures to control SW pollutants after construction operations have been completed.



23) Provide for vegetative cover density to be 70% of pre-disturbed levels.



24) Outline of permit holder inspection procedures to install, maintain, and effectively operate BMPs, to manage erosion and sediment.

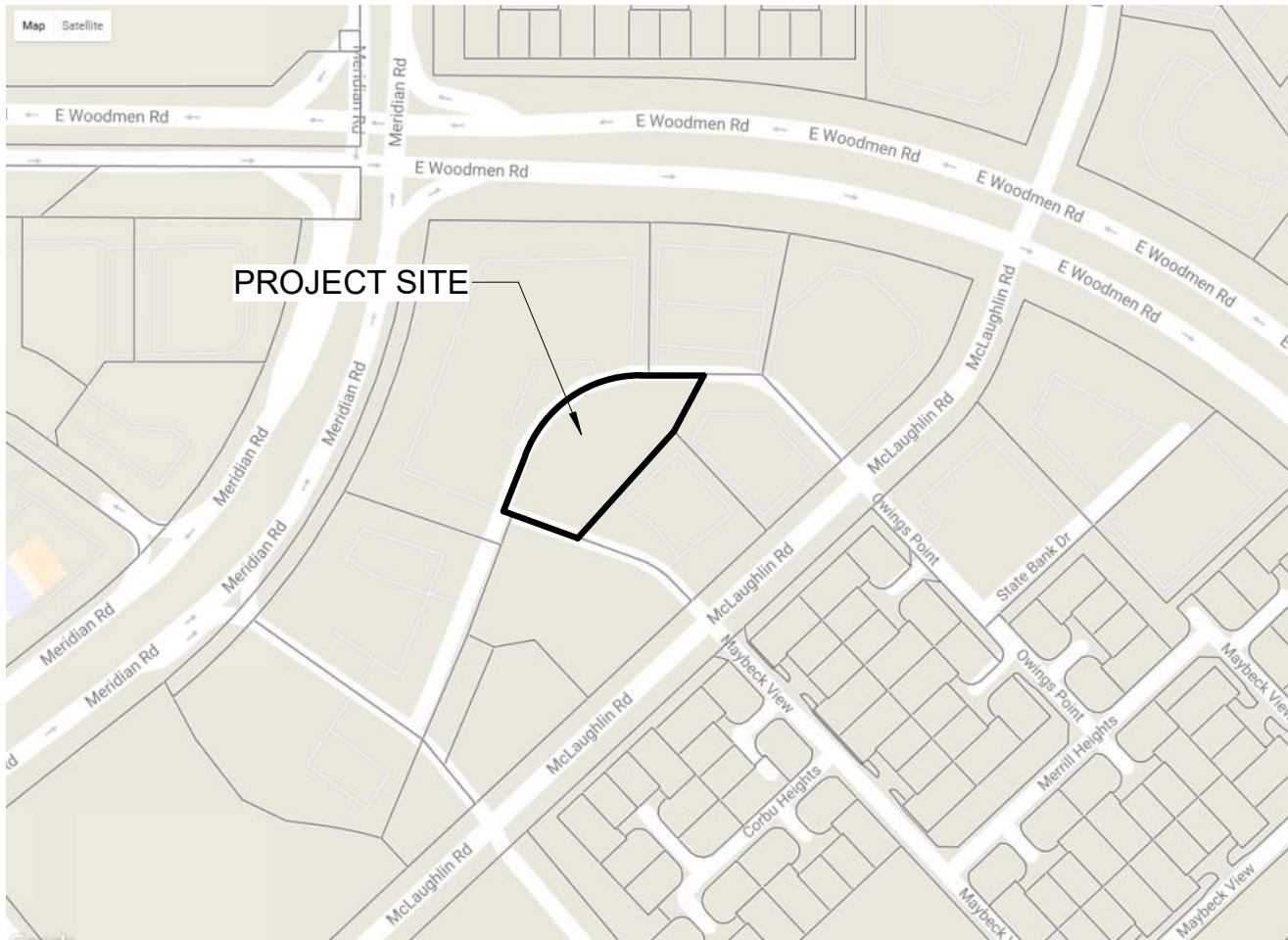


25) Record keeping procedures identified to include signature on inspection logs and location of SWMP records on-site.



Please note: all items need to be addressed. If not applicable, explain; simply identifying "not applicable" will not satisfy CDPHE requirement of explanation.

VICINITY MAP



SHOPS AT MCLAUGHLIN II

7368 McLaughlin Road, Peyton CO 80831

DEVELOPMENT PLAN

Lot 2 Beckett at Woodmen Hills FIL No 3

Land Use: SPECIAL USE
Improvements: RESTAURANT
KLEIN, EDWARD A.
7336 MCLAUGHLIN ROAD
LOT 5A BECKETT @ WOODMEN HILLS
FIL NO. 3

PROJECT DATA:

ADDRESS: 7368 MCLAUGHLIN RD, PEYTON, CO 80831
LEGAL DESCRIPTION: LOT 2 BECKETT AT WOODMEN HILLS FIL NO 3
PLAT NO: 11483
PARCEL NUMBER: 4307202031
ZONING: CR (COMMERCIAL REGIONAL)
LOT SIZE: 37,482 SF
CURRENT USE: VACANT
PROJECT NAME: SHOPS AT MCLAUGHLIN II

BUILDING INFORMATION:

BUILDING AREA: 5,912 SF
OCCUPANCY TYPE: GENERAL RETAIL
CONSTRUCTION TYPE: IIB
FIRE SYSTEMS: N/A
SEPARATION WALLS: NONE

ZONING CODE STUDY:

BUILDING TYPE: RETAIL
USE & OCCUPANCIES: RETAIL, GENERAL
ROADWAY LANDSCAPING: 10' DEEP / NON-ARTERIAL ROADWAY
INTERIOR LANDSCAPE COVERAGE: MINIMUM 5%/1,407 SF ACTUAL 2,796 SF
BUILDING HEIGHT: MAXIMUM 45' ACTUAL 22'-0"
FRONT SETBACK: 50'
SIDE SETBACK: 25'
REAR SETBACK: N/A

BUILDING DEPARTMENT WITH JURISDICTION:
PIKES PEAK REGIONAL BUILDING DEPT.

REQUIRED PARKING SPACES:

STANDARD PARKING: 1 SPACE PER 250 SF OF BUILDING
REQUIRED: 24 ACTUAL: 24
DISABLED PARKING: 1 SPACE, VAN ACCESSIBLE
REQUIRED: 1 ACTUAL: 1

DEVELOPMENT APPLICANT:

Applicant Name: James A. Childs, AIA
Company: T-Bone Construction
1310 Ford St.
Colorado Springs 80915
Phone: 719-570-1456
Email: jim@tboneconstruction.com

SHEET #	SHEET NAME
DP 1	1 of 11 SITE PLAN
DP 2	2 of 11 SITE DETAILS
DP 3	3 of 11 ELEVATIONS
DP 4	4 of 11 ELEVATIONS
DP 5	5 of 11 FLOOR PLAN
DP 6	6 of 11 PHOTOMETRIC PLAN
L 1.0	7 of 11 LANDSCAPE PLAN
L 2.0	8 of 11 LANDSCAPE DETAILS
C 1	9 of 11 UTILITY PLAN
C 2	10 of 11 GRADING PLAN
2/2	11 of 11 DRAINAGE PLAN

Change the title to Grading and Erosion Plan

Title has been revised.

Sheet has been removed.

Remove the proposed drainage map from the site development plan set and include the drainage map in the drainage report.

Land Use: SPECIAL PURPOSE
Improvements: FAST FOOD RESTAURANT
HARMAN CAFES EMPLOYEE PROFIT
SHARING TRUST
7384 MCLAUGHLIN ROAD
LOT 3 BECKETT @ WOODMEN HILLS
FIL NO.1

Land Use: MERCHANDIZING
Improvements: DISCOUNT STORE
CF NET LEASE PORTFOLIO I DST
7392 MCLAUGHLIN ROAD
LOT 4 BECKETT @ WOODMEN HILLS
FIL NO.1

Land Use: MERCHANDIZING
Improvements: NEIGHBORHOOD SHOPPING CTR.
MTDB LLC
7358 MCLAUGHLIN ROAD
LOT 5 BECKETT @ WOODMEN HILLS
FIL NO.1 ZONE:PBC

Land Use: SPECIAL PURPOSE
Improvements: SERVICE GARAGE
SA MANAGEMENT LLC
7352 MCLAUGHLIN ROAD
LOT 2 BECKETT @ WOODMEN HILLS
FIL NO.2 ZONE:PBC

Neither the Plat or Lot 5 site plan identify a cross access drive. A cross access agreement and offsite improvement with the adjacent owner must be obtained. Provide a copy to the County.

Adjacent property is owned by the same entity. However the cross access has been removed.

- 1 CONCRETE SIDEWALK, SEE PLAN FOR WIDTH

2 LANDSCAPED AREA

3 CONCRETE CURB/GUTTER

4 LOADING AREA 14'W x 18'D

5 ASPHALT PAVING

6 8x8x16 CMU DUMPSTER ENCLOSURE

7 CONCRETE FILLED BOLLARD

8 EXISTING FIRE HYDRANT

9 EXISTING CONCRETE CURB/GUTTER

10 REMOVE CURB/GUTTER, INSTALL NEW CONCRETE DRIVE PAN
- 11 EXISTING MANHOLE

12 BIKE RACK

13 EXISTING ELECTRICAL TRANSFORMER

14 CONCRETE DRAINAGE CHASE

15 PARKING LOT LIGHTING

16 CONCRETE APRON

17 STOP SIGN

18 NEW ELECTRICAL TRANSFORMER

19 ADA ACCESSIBLE ROUTE

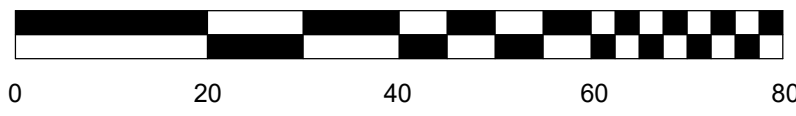
20 ADA RAMP PER EL PASO COUNTY STANDARDS

21 EXISTING PARKING LOT LIGHT

Land Use: SPECIAL USE
Improvements: RESTAURANT
KLEIN, EDWARD A.
7336 MCLAUGHLIN ROAD
LOT 5A BECKETT @ WOODMEN HILLS
FIL NO. 3

Land Use: CODE 200
PAHK, CHUN
7344 MCLAUGHLIN ROAD
LOT 3 BECKETT @ WOODMEN HILLS
FIL NO. 3

GRAPHIC SCALE



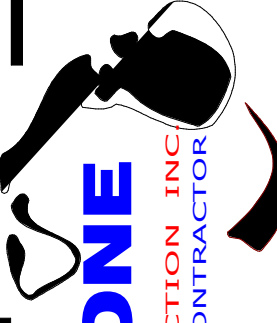
1 SITE PLAN
DP 1 1" = 20'-0"

NOTE:

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THE PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

SIGNATURES:

FILE # PCD FILE NO. PPR-17-055



T-BONE
CONSTRUCTION, INC.
GENERAL CONTRACTOR

Design Development
Consultants @
1310 FORD STREET
COLORADO SPRINGS, CO 80915
(719) 570-1456

Revisions	DESCRIPTION	DATE
#	1	4-27-2018
	PLANNING	
	RESUBMITTAL	

SHOPS AT MCLAUGHLIN II

7368 McLaughlin Road, Peyton CO 80831

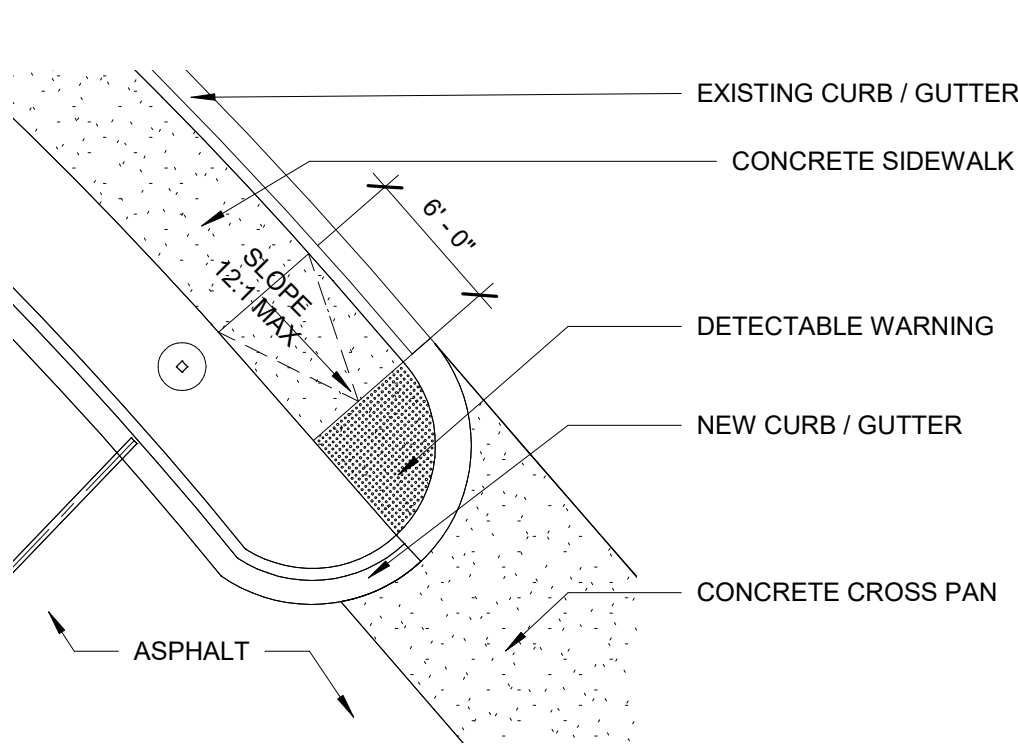
7213

CD

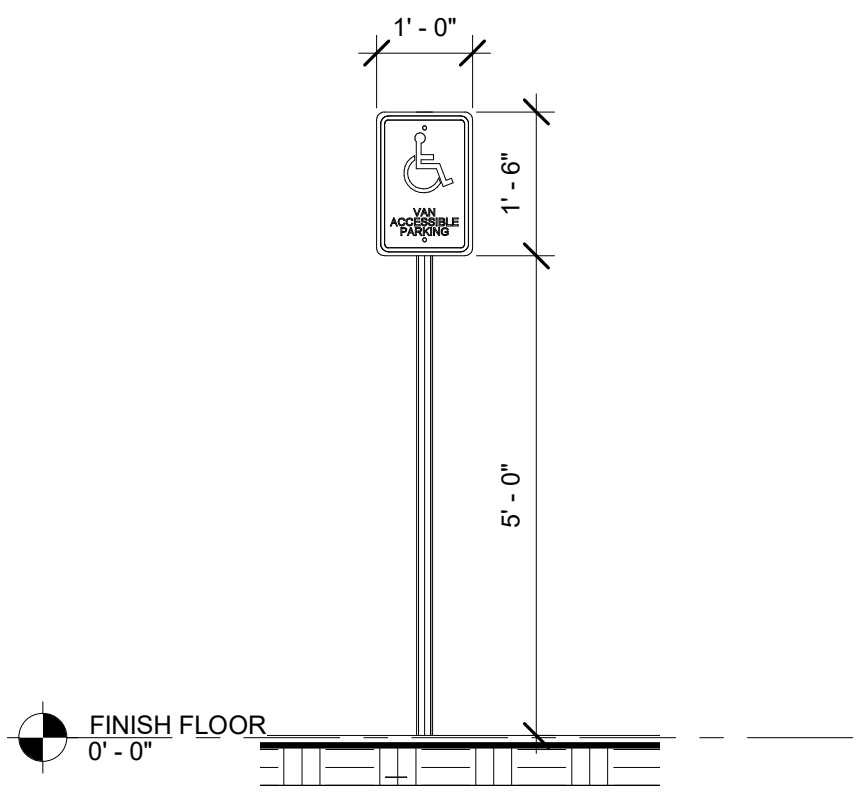
DATE 10-24-2017
CHECKED DCW
DRAWN BY JM

1 of 11 SITE PLAN

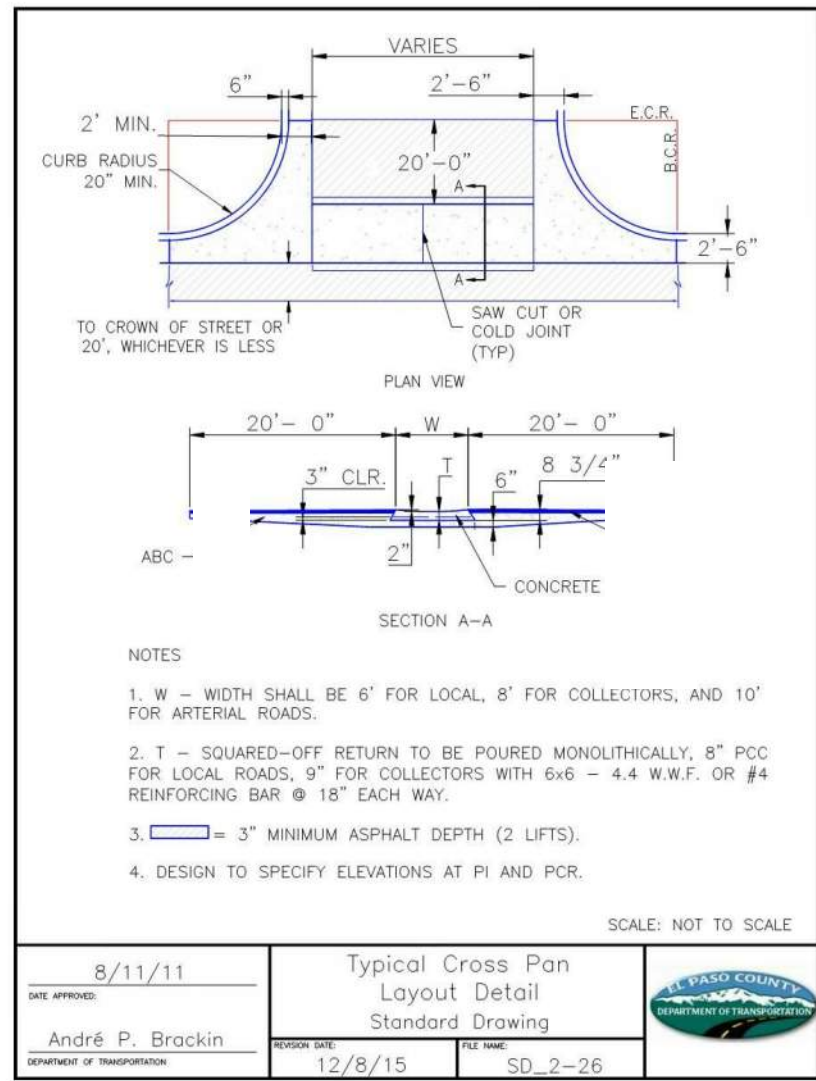
DP 1



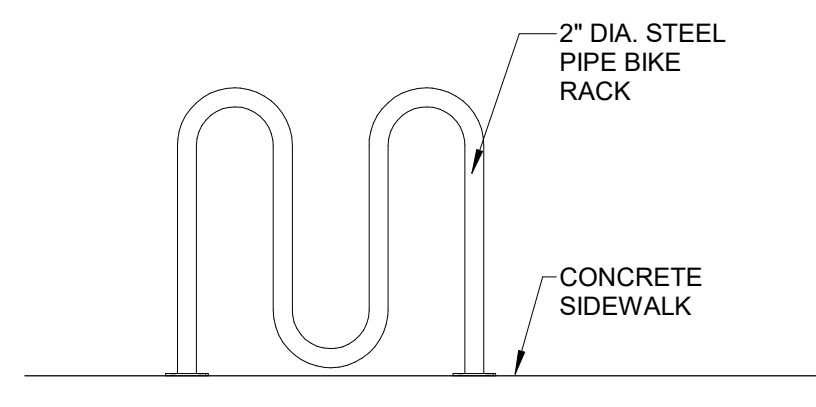
14 DETAIL AT SIDEWALK RAMP
DP 2 1/8" = 1'-0"



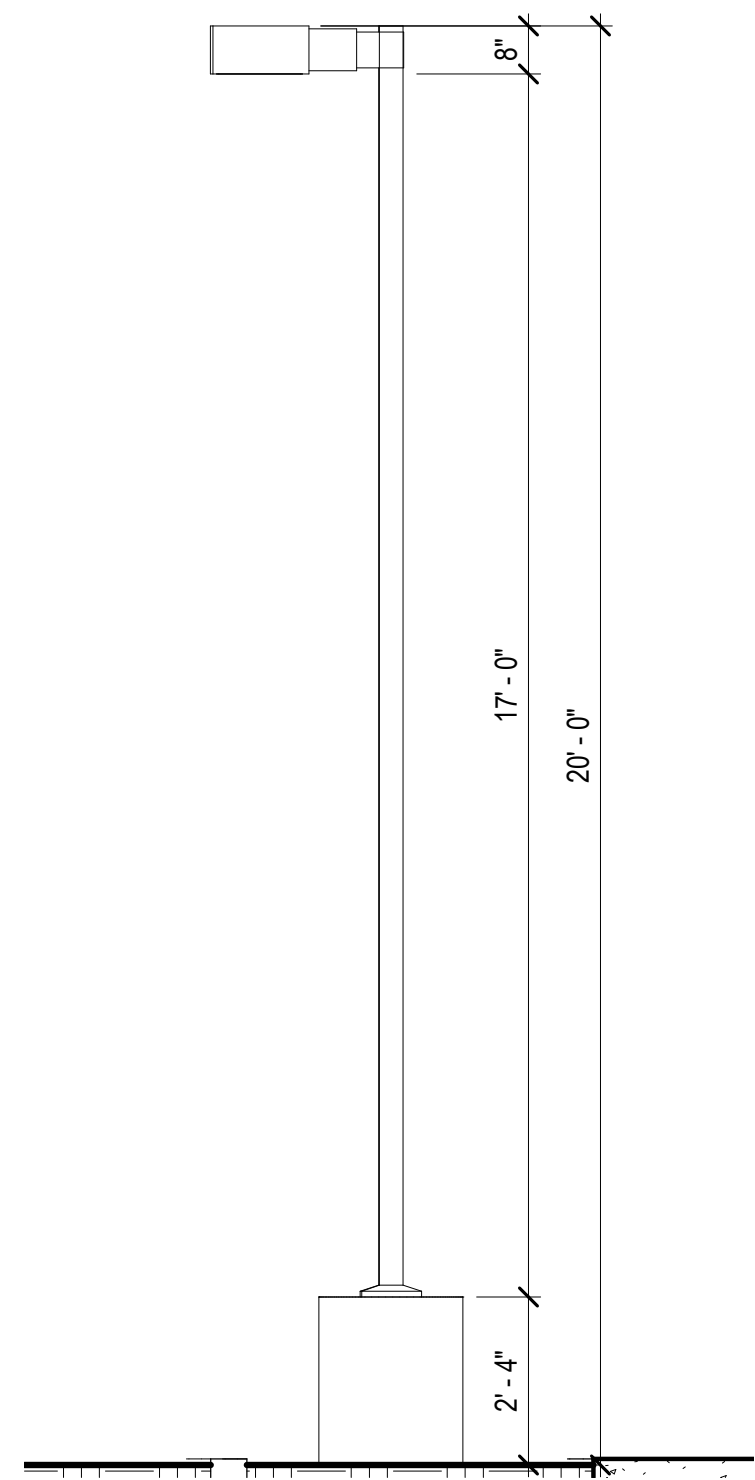
13 ELEVATION AT ADA PARKING SIGN
DP 2



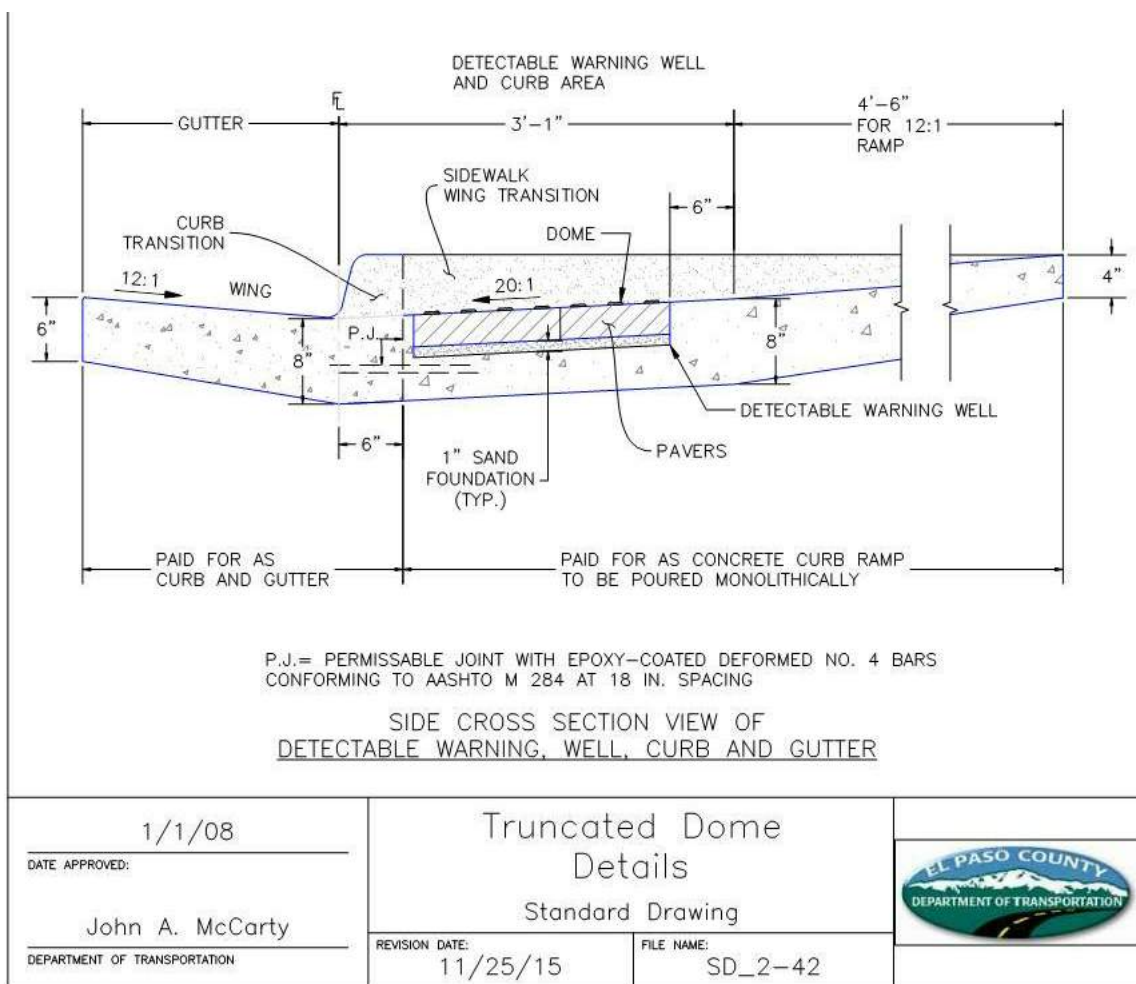
12 CROSS PAN DETAIL
DP 2 1/8" = 1'-0"



11 BIKE RACK ELEVATION
DP 2 1/2" = 1'-0"



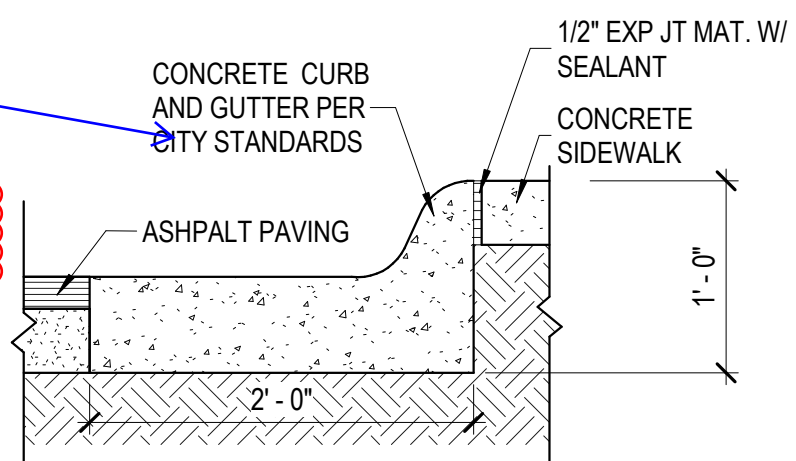
10 LIGHTING DETAIL
DP 2 3/8" = 1'-0"



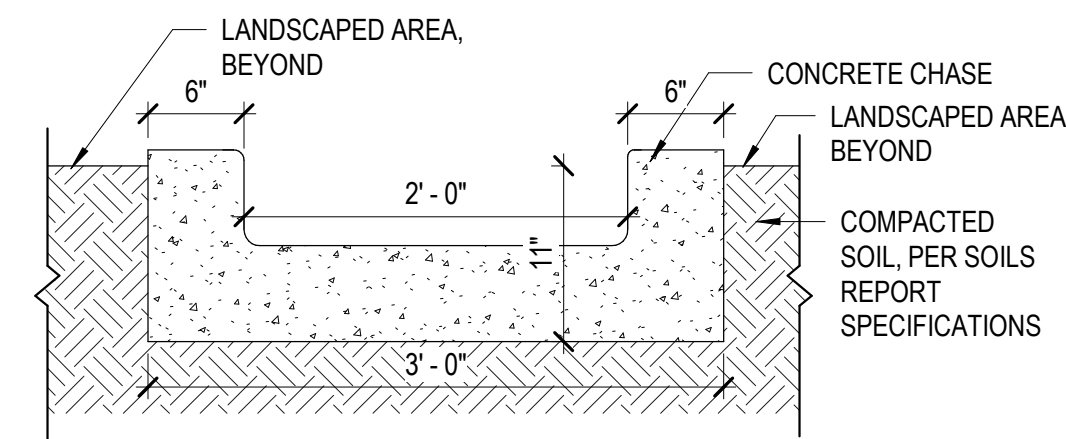
9 ACCESSIBLE RAMP DETAIL
DP 2 3/8" = 1'-0"

County Standards.
Identify the specific
C&G type. See detail
SD_2-20

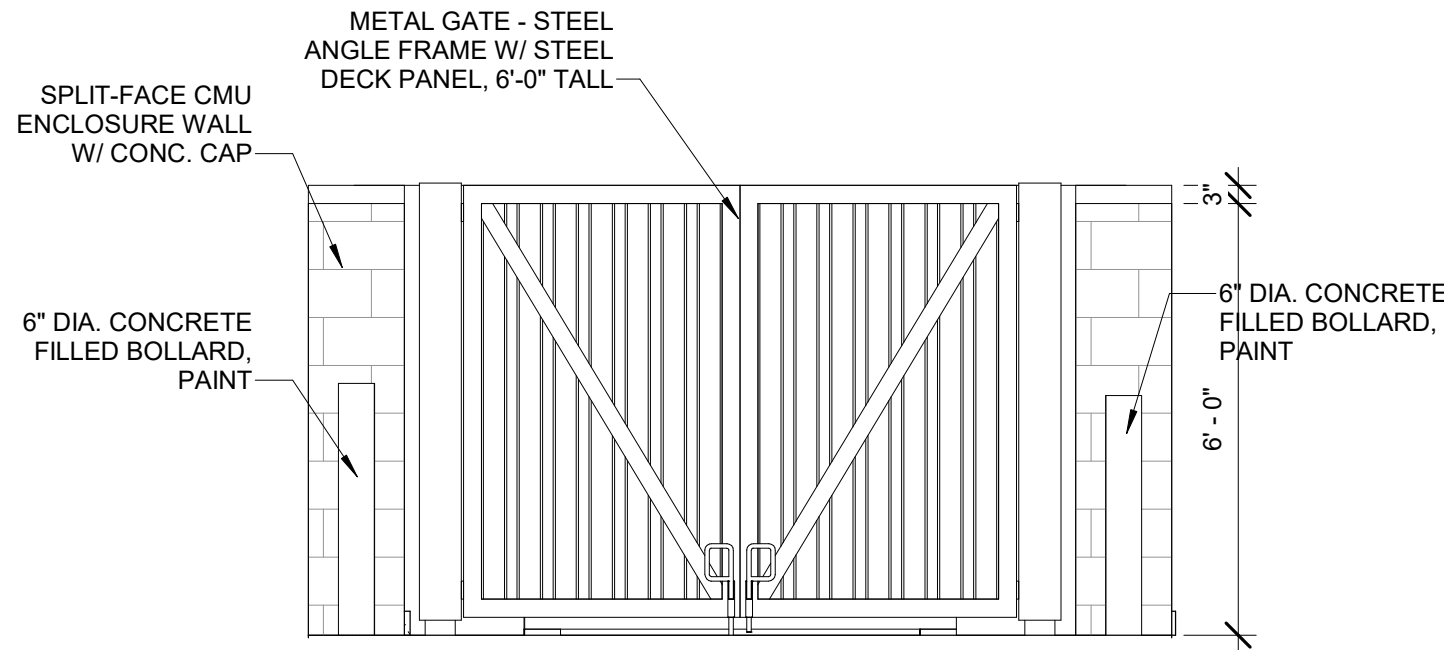
Note has been revised.



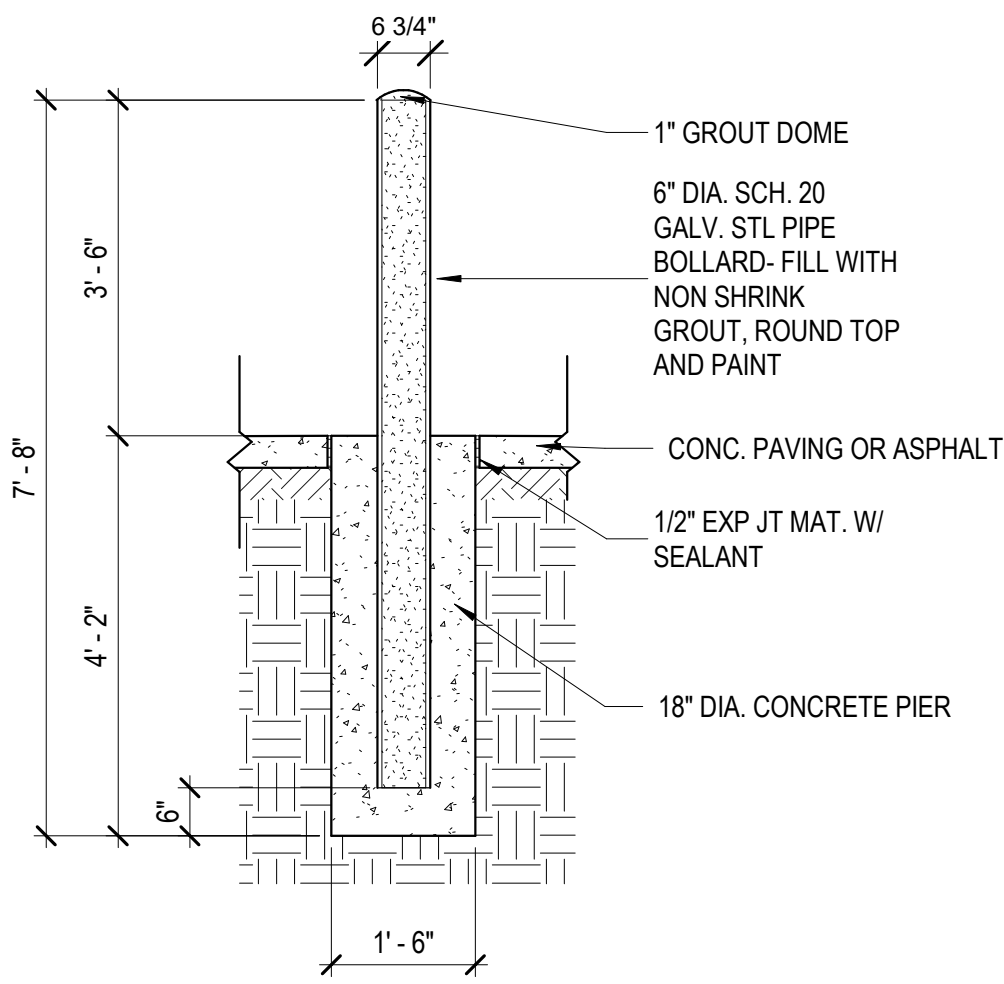
8 SITE-CURB/GUTTER @ SIDEWALK
DP 2 1" = 1'-0"



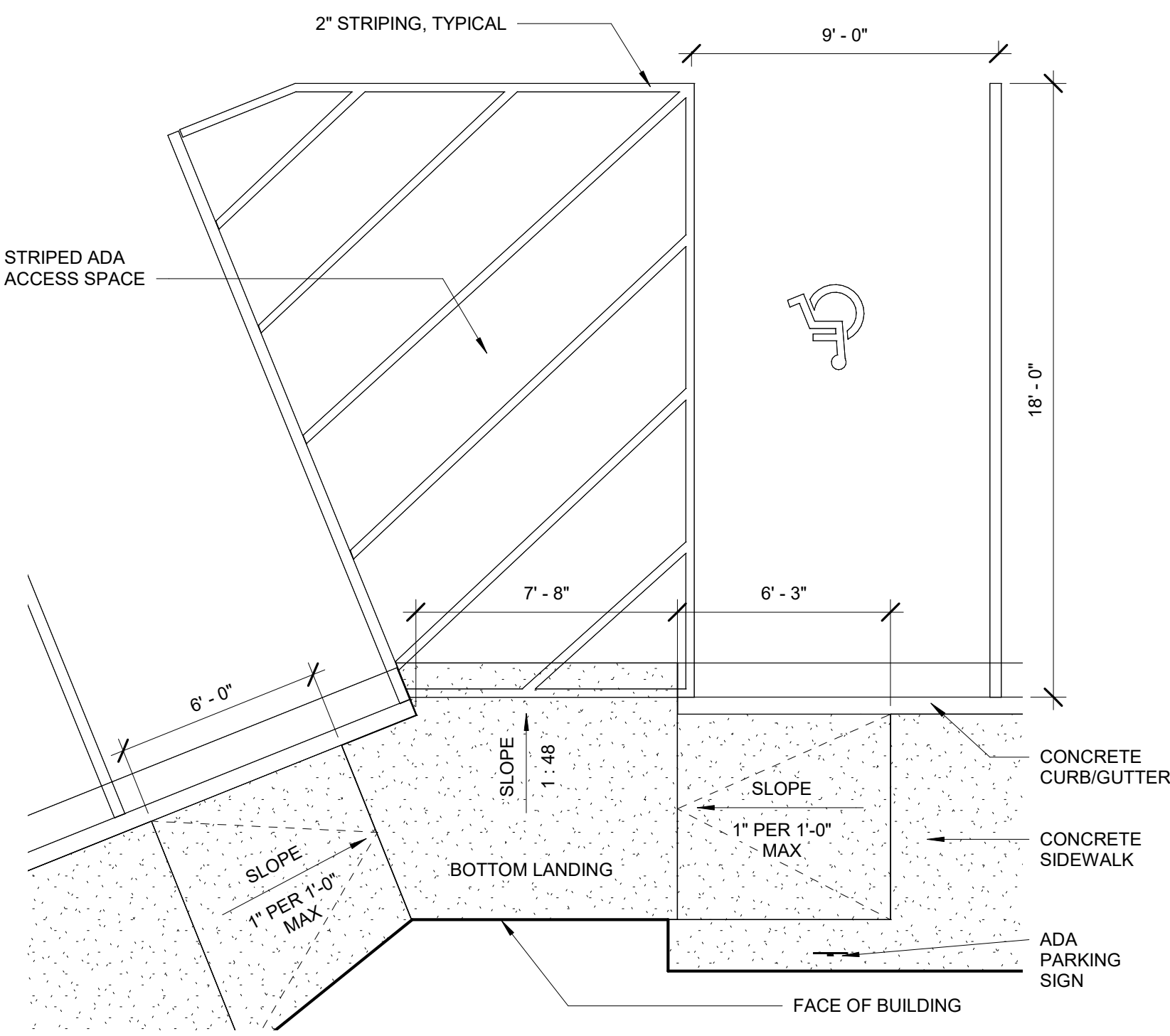
7 SITE-CONCRETE CHASE
DP 2 1" = 1'-0"



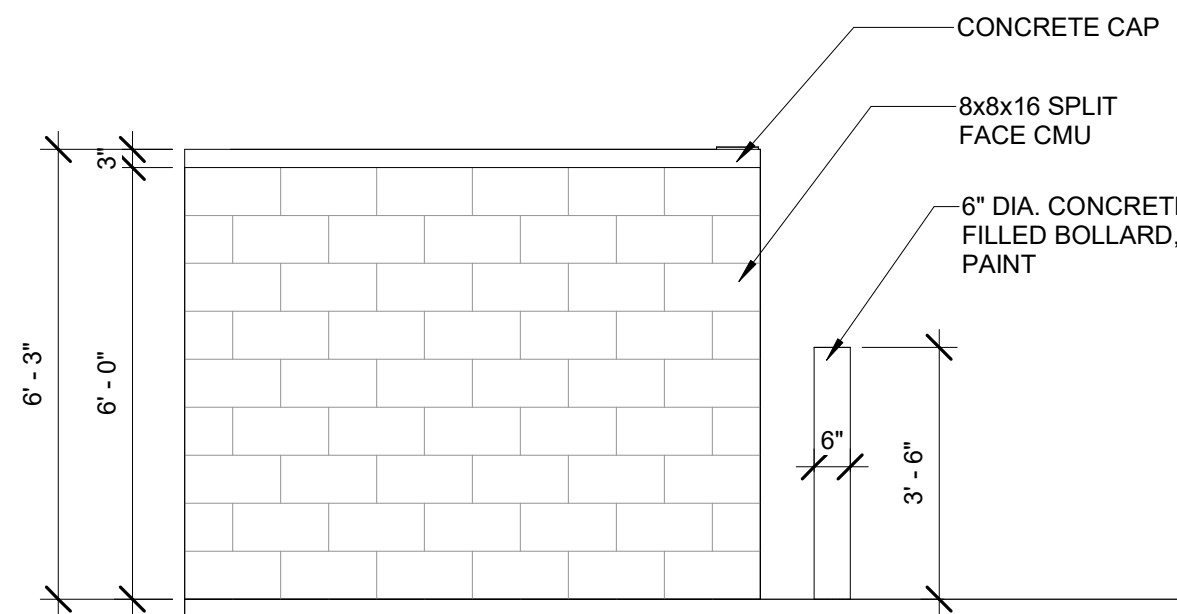
6 FRONT ELEVATION TRASH ENCLOSURE
DP 2 3/8" = 1'-0"



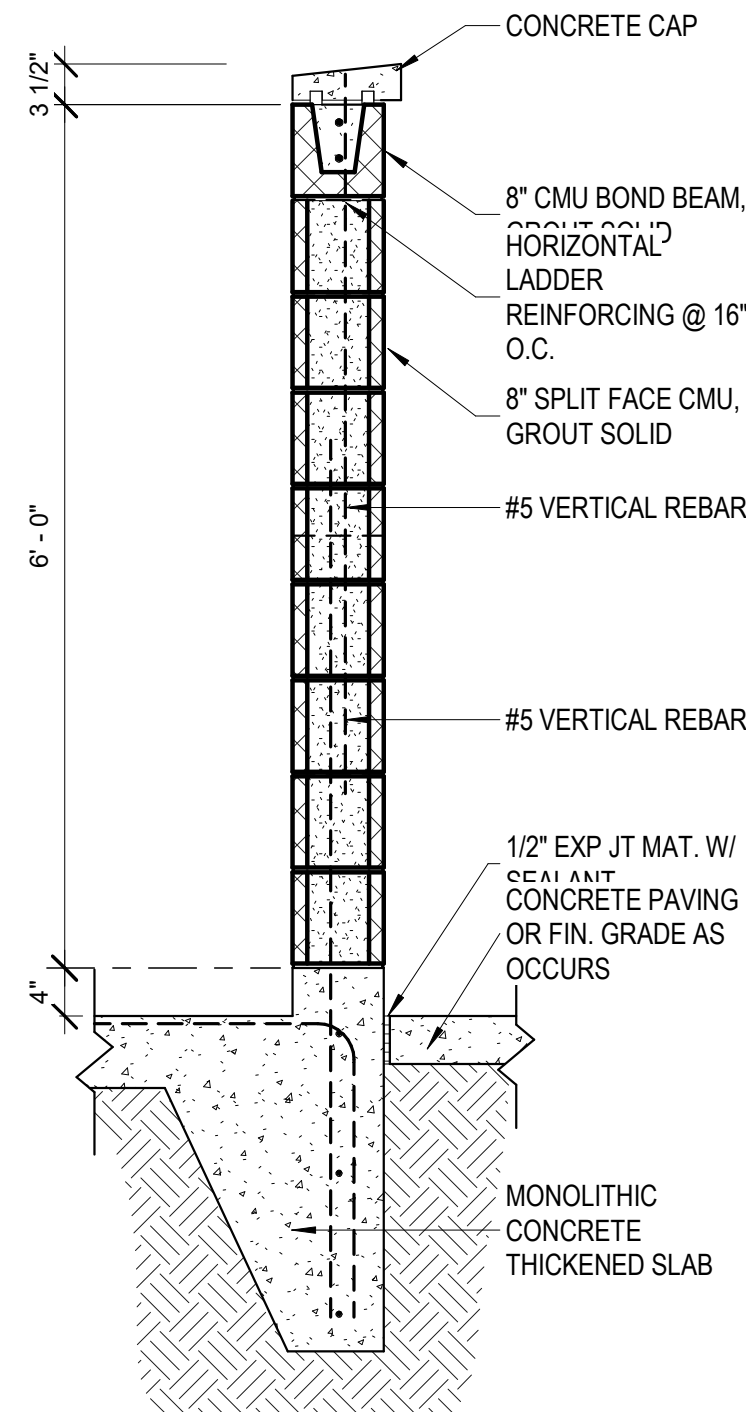
5 BOLLARD DETAIL
DP 2 1/2" = 1'-0"



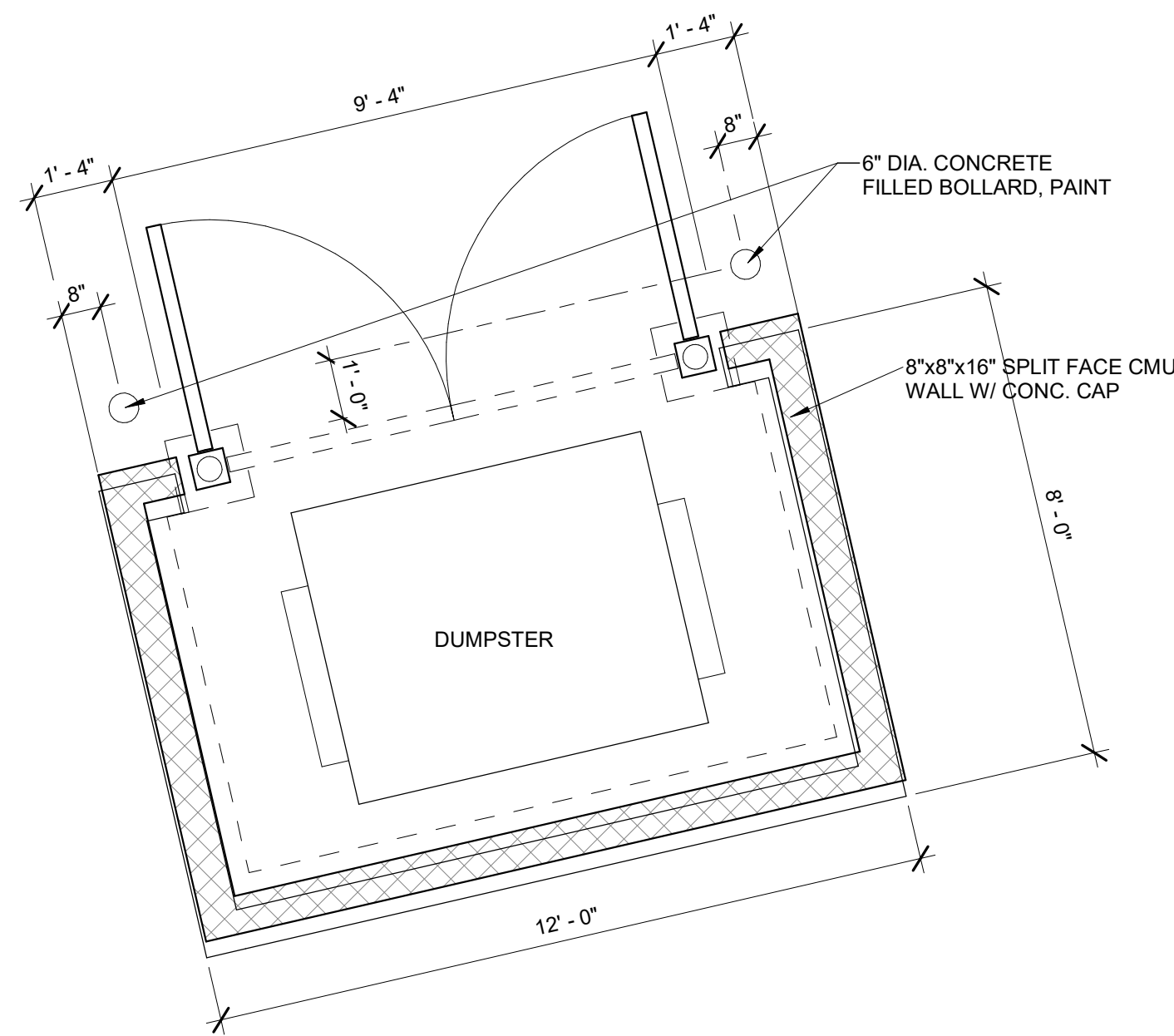
4 ADA PARKING & RAMP DETAIL
DP 2 1/4" = 1'-0"



3 SIDE ELEVATION TRASH ENCLOSURE
DP 2 3/8" = 1'-0"



2 TRASH ENCLOSURE WALL SECTION
DP 2 3/4" = 1'-0"



1 TRASH ENCLOSURE DETAIL PLAN
DP 2 3/8" = 1'-0"



Design Development
Consultants @

1310 FORD STREET
COLORADO SPRINGS, CO 80915
(719) 570-1456

#	DESCRIPTION	Revisions	
		DATE	

SHOPS AT MCLAUGHLIN II

7368 McLaughlin Road, Peyton CO 80831

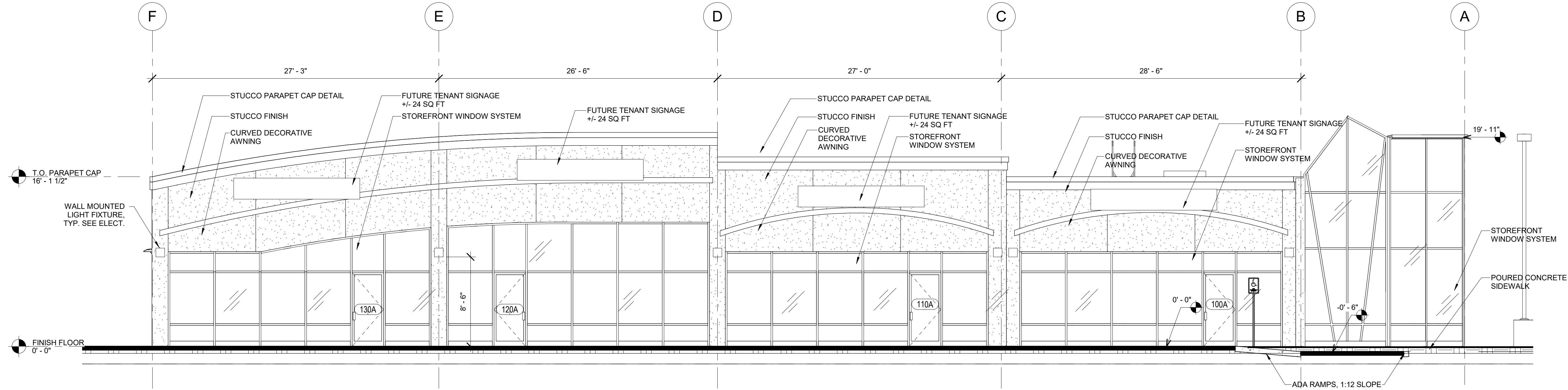
7213

CD

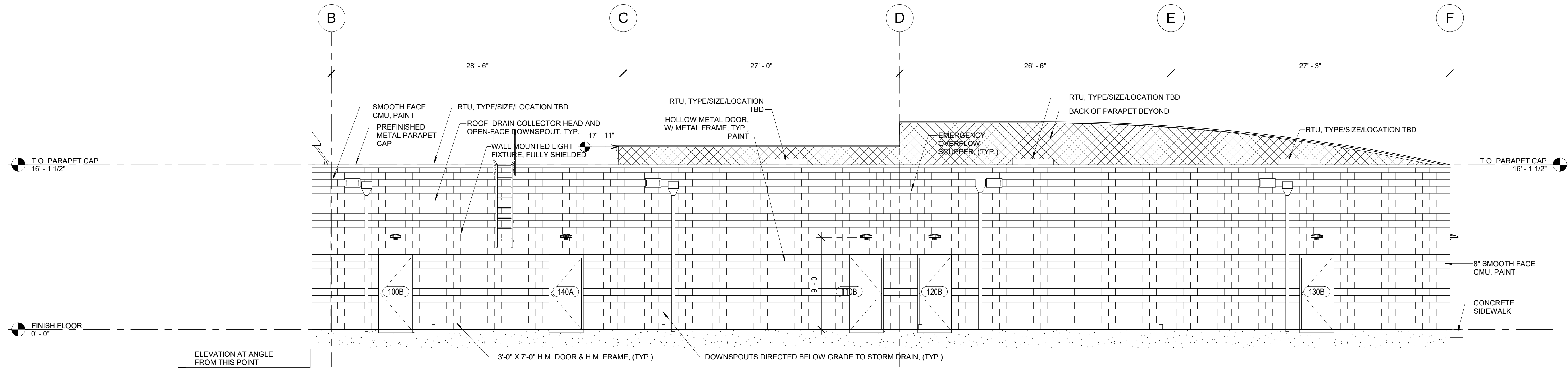
DATE	10-24-2017
CHECKED	DCW
DRAWN BY	JM

2 of 11 SITE
DETAILS

DP 2



1 DEV PLAN NORTH
DP 3 3/16" = 1'-0"



2 DEV PLAN SOUTH
DP 3 3/16" = 1'-0"



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COLORADO SPRINGS, CO 80915

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SHOPS AT MCLAUGHLIN II

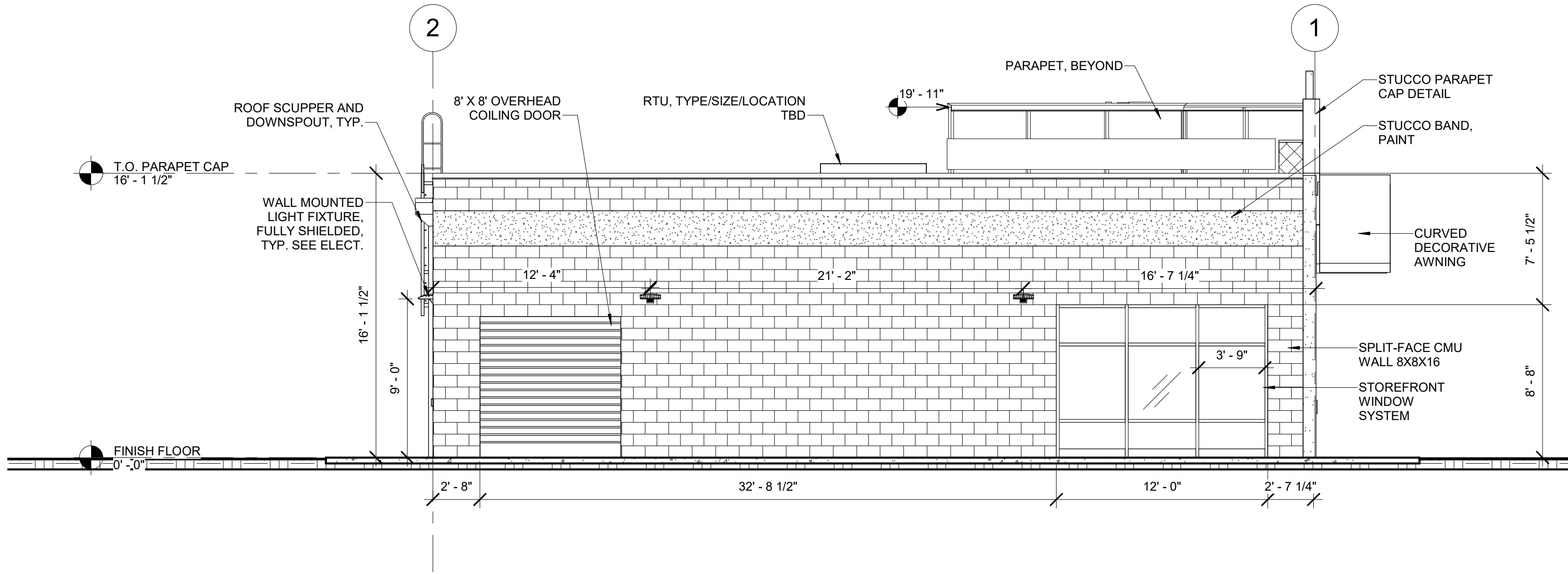
7368 McLaughlin Road, Peyton CO 80831

7213

DATE 10-24-2017
CHECKED DCW
DRAWN BY JM

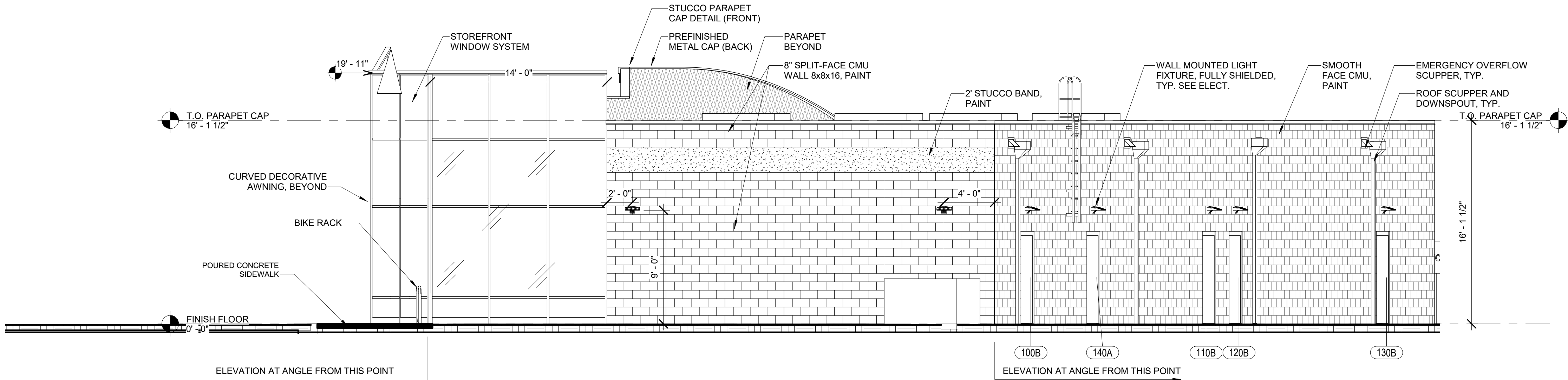
3 of 11
ELEVATIONS

DP 3



1
DP 4
3/16" = 1'-0"

DEV PLAN EAST



3
DP 4
3/16" = 1'-0"

DEV PLAN WEST



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COLORADO SPRINGS, CO 80915

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Revisions		DATE
#	DESCRIPTION	

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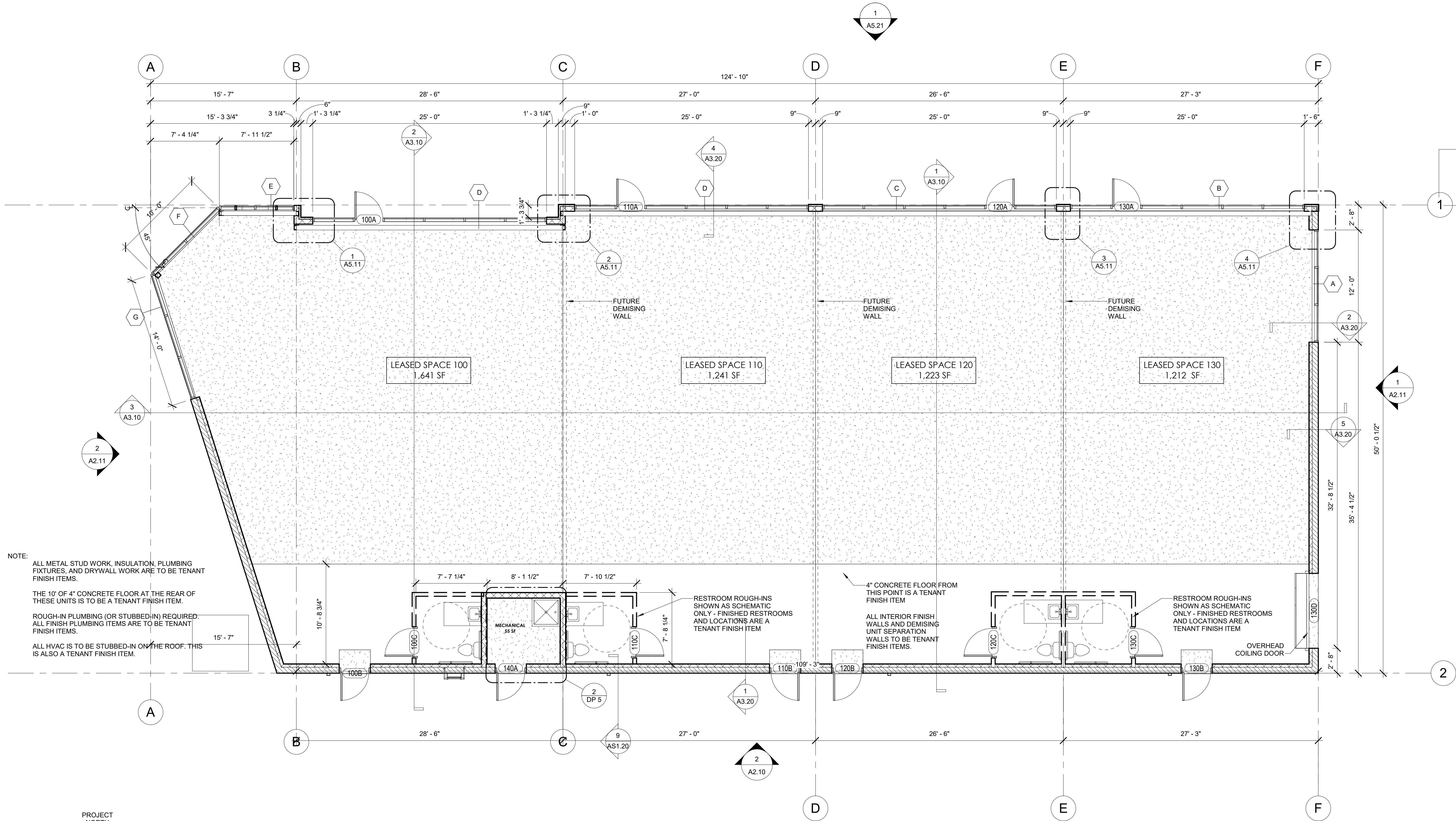
7368 McLaughlin Road, Peyton CO 80831

CD

DATE 10-24-2017
CHECKED DCW
DRAWN BY JM

4 of 11
ELEVATIONS

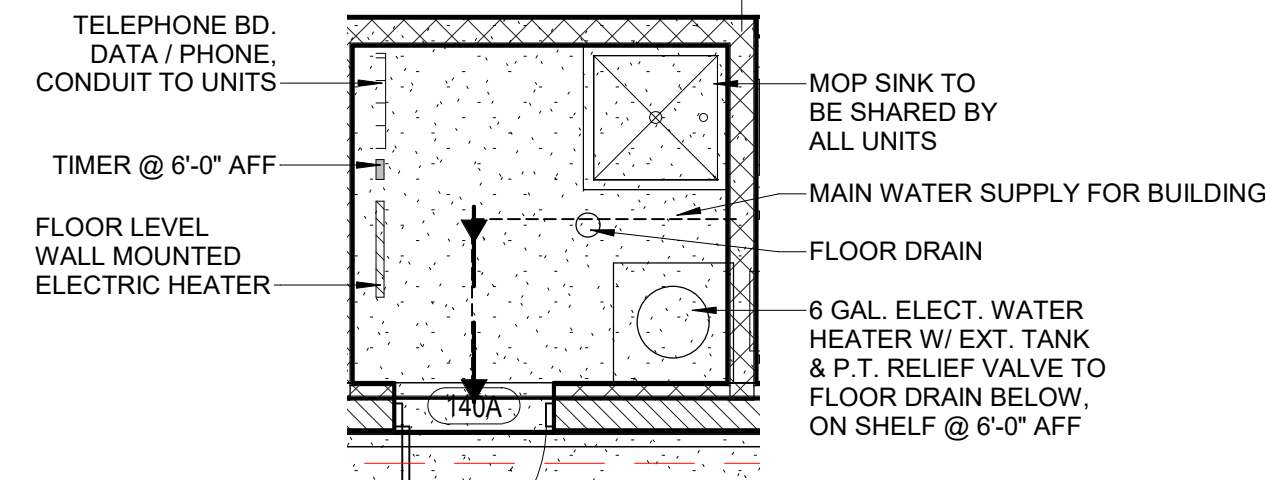
DP 4



NOTE:
ALL METAL STUD WORK, INSULATION, PLUMBING
FIXTURES, AND DRYWALL WORK ARE TO BE TENANT
FINISH ITEMS.
THE 10' OF 4" CONCRETE FLOOR AT THE REAR OF
THESE UNITS IS TO BE A TENANT FINISH ITEM.
ROUGH-IN PLUMBING (OR STUBBED-IN) REQUIRED.
ALL FINISH PLUMBING ITEMS ARE TO BE TENANT
FINISH ITEMS.
ALL HVAC IS TO BE STUBBED-IN ON THE ROOF. THIS
IS ALSO A TENANT FINISH ITEM.



FLOOR PLAN - DEV PLAN
1 DP 5 3/16" = 1'-0"



2 LARGE FLOOR PLAN - MECH RM
DP 5 1/4" = 1'-0"

T-BONE
CONSTRUCTION, INC.
GENERAL CONTRACTOR

Design Development
Consultants @

1310 FORD STREET
COLORADO SPRINGS, CO 80915 (719) 570-1456

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Revisions	
#	DESCRIPTION
1	PLANNING
	RESUBMITTAL

DATE	10-24-2017
CHECKED	DCW
DRAWN BY	JM

5 of 11
FLOOR
PLAN
DP 5

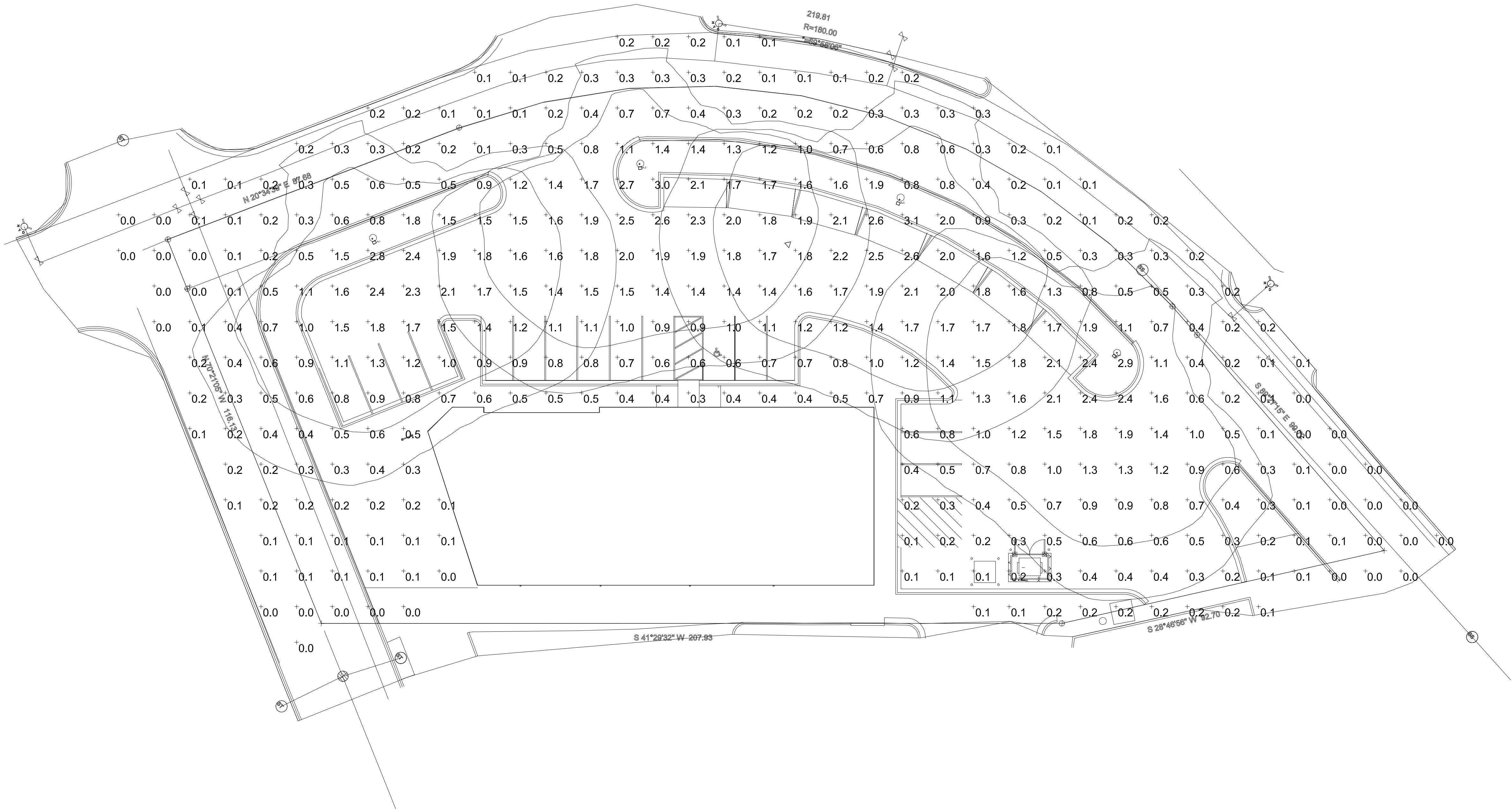
SHOPS AT MCLAUGHLIN II

7368 McLaughlin Road, Peyton CO 80831

7213

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
<div><div></div><div></div></div>	A	4	Lithonia Lighting	DSX1 LED P2 40K T4M MVOLT	DSX1 LED P2 40K T4M MVOLT	LED	1	DSX1_LED_P2_40K_T4M_MVOLT.ies	8707	0.95	70

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.8 fc	3.1 fc	0.0 fc	N/A	N/A



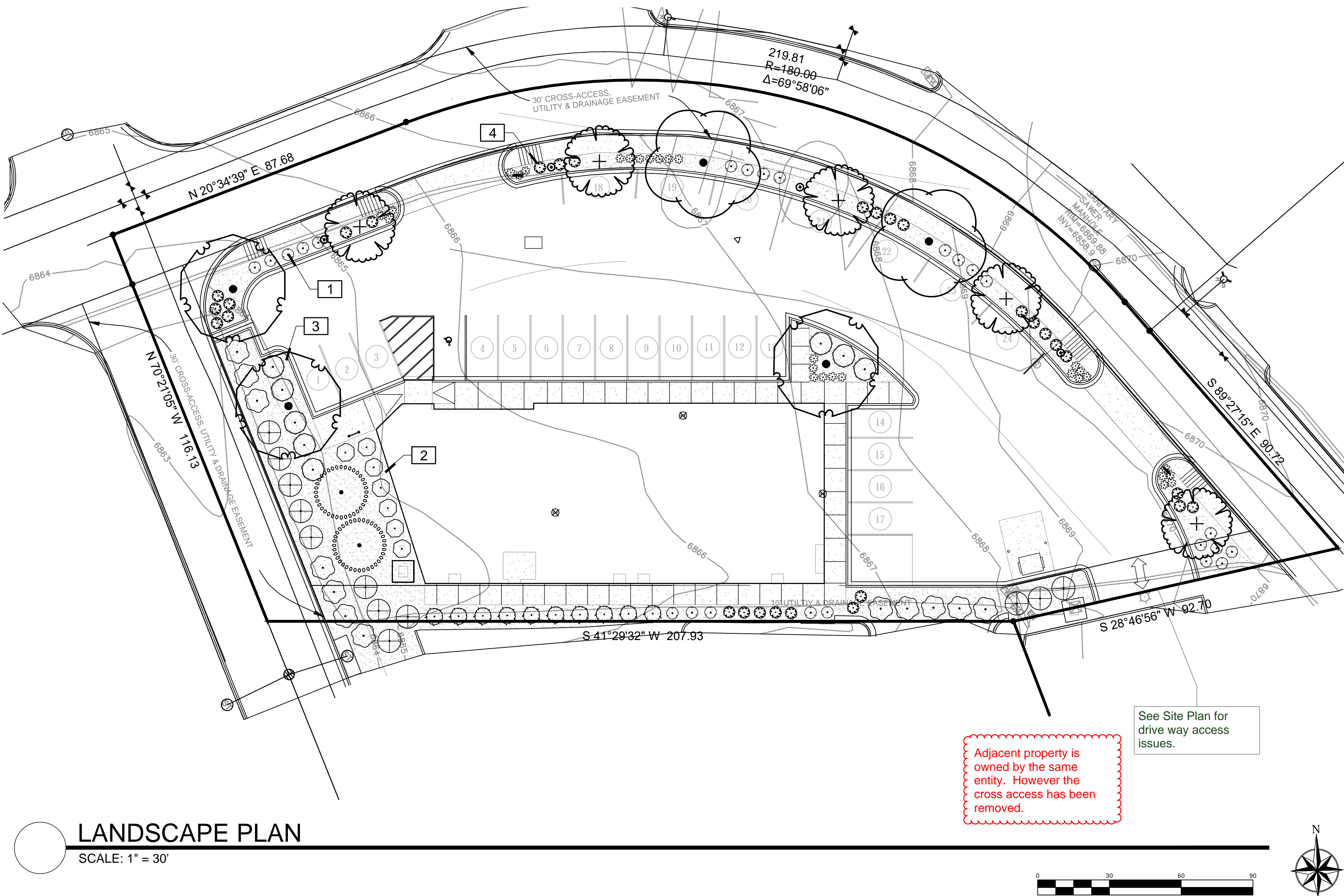
Plan View



SHOPS AT MCLAUGHLIN II
7368 MCLAUGHLIN ROAD, PEYTON CO 80831

Designer
Date
10/20/2017
Scale
Not to Scale
Drawing No.
Summary

PCD File No. PPR-17-055



LANDSCAPE PLAN
SCALE: 1" = 30'

PLAN NOTES:

1. NO SUBSTITUTIONS WITHOUT PREVIOUS APPROVAL OF LANDSCAPE ARCHITECT. UNAPPROVED DEVIATIONS FROM THIS PLAN WILL BE RECTIFIED AT CONTRACTORS EXPENSE.
2. CONTRACTOR TO PROVIDE ANALYSIS OF ANY AMENDMENTS PROPOSED FOR PLANTING AREAS PRIOR TO INSTALLATION OF SUCH MATERIALS.
3. NO FABRIC UNDER WOOD MULCH IN ANY AREAS. ALL PLANTS IN ROCK MULCH AREAS TO RECEIVE SHREDDED CEDAR MULCH RINGS EQUAL TO THE ROOTBALL OF THE PLANT. MASSING SHALL HAVE CONTINUOUS SHREDDED MULCH BANDS. SEE DETAILS SHEET L2.0.
4. DRIPLINE TO BE PLACED OVER WEED BARRIER FABRIC AND STAKED ON TOP OF WEED BARRIER.
5. WEED BARRIER CUTOUTS FOR PLANTS IN ROCK AREAS SHALL ACCOUNT FOR MATURE SIZE OF PLANTS, AND EQUAL AT LEAST THE DIAMETER OF THE ROOTBALL. SEE DETAILS SHEET L2.0
6. ALL EMITTERS PER IRRIGATION PLAN.
7. ALL EMITTERS TO BE PLACED AT THE APPROPRIATE LOCATIONS. ALL EMITTERS TO USE MICRO TUBING, STAKES, AND BUG CAPS.
8. SEE LANDSCAPE DETAILS SHEET FOR ADDITIONAL NOTES AND DETAILS.
9. RETAIN 10% OF ALL PLANT TAGS PER SPECIES FOR DURATION OF WARRANTY PERIOD.

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
1	PLACE SHREDDED CEDAR MULCH AROUND BASE OF ALL PERENNIALS AND GRASSES IN LARGE COBBLE AREAS. MASSED PERENNIALS TO RECEIVE LARGE RING AROUND ENTIRE GROUP (TYP). WOOD MULCH NOT REQUIRED AROUND BASE OF PLANTS LOCATED IN PEA GRAVEL.	
2	MINIMUM 3' ROOTBALL OFFSET FROM BUILDING, TYP.	
3	PLACE PLANTS TO PROVIDE MIN. 2' CLEARANCE FROM BACK OF CURB AT MATURE SPREAD.	
4	UTILIZE ROCK MULCH ALONG ROADWAYS TO MINIMIZE WATER USAGE AND POTENTIAL MAINTENANCE ISSUES	

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL
	3	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM / SHADEMASTER LOCUST	B & B	2"CAL
	2	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEETREE	B & B	2"CAL
	5	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	B & B	1.5"CAL
	2	PINUS EDULIS / PINON PINE	6' B&B	
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2
	8	ARCTOSTAPHYLOS X COLORADOENSIS 'CHIEFTAIN' / MANZANITA	5 GAL	
	12	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH	5 GAL	
	7	PHILADELPHUS LEWISII 'CHEYENNE' / LEWIS MOCK ORANGE	5 GAL	
	12	PHYSOCARPUS OPULIFOLIUS 'DIABLO' / DIABLO NINEBARK	5 GAL	
	29	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' / DWARF PURPLE NINEBARK	5 GAL	
	25	POTENTILLA FRUTICOSA 'GOLDFINGER' / GOLDFINGER POTENTILLA	5 GAL	
GRASSES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2
	29	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLUE GRAMA	1 GAL	
	10	SPOROBOLUS WRIGHTII / BIG SACATON	1 GAL	
MULCHES	QTY	BOTANICAL NAME / COMMON NAME		
	5,431 SF	AGGREGATE / RIVER ROCK MIXTURE MATCH ADJACENT SITES AND PLACE TO A UNIFORM DEPTH OF 3" OVER PERMEABLE WEED BARRIER FABRIC.		

SITE CATEGORY REQUIREMENTS

ROADWAY LANDSCAPING (or Double Frontage Lot Streetscapes)					
Street Name or Zone Boundary (elev.) McLaughlin Rd	Street Classification Non-arterial	Setback Width Req. / Prov. 10 / 10'	Linear Footage 306	Tree/Feet Required 1 / 30	No. of Trees Req. / Prov. 11 / 8
Shrub and Orn. Grass Substitutes 30 / 30	Setback Plant Abbrev. Denoted on Plan	Percent Ground Plane Veg. Req. / Provided 75% / 79%	High Water-use Turf % 0%		
PARKING LOTS					
No. of Vehicle Spaces Provided 22	Shade Trees (1/15) Required / Provided 2 / 2	Vehicle Lot Frontage (s) McLaughlin Rd	Length of Frontage (ft.) (excluding driveways) 140	2/3 Length of Frontage (ft.) 94	
Frontage Screening Provided (LF) 102	Evergreen LF Req.(50%) / Prov. 47	Length of Screening Wall or Berm Provided -	Vehicle Lot Plant Abbr. on Plan N/A	Percent Ground Plane Veg. Req. / Provided 75% / 80%	
INTERNAL LANDSCAPING					
Net Site Area (SF) (less public R.O.W.) 37,483	Percent Min. Internal Area (%) 5%	Internal Area (SF) Required / Provided 1,874 / (6,616)	Internal Trees (1/500 SF) Required / Provided 4 / 2	Internal Trees (1/500 SF) Shrub Sub Req/Prov 20 / 20	
Internal Plant Abbr. Denoted on Plan IN	Percent Ground Plane Veg. Req. / Provided 75% / 79%				
LANDSCAPE BUFFERS & SCREENS					
Street Name or Property Line (elev.)	Width (in. ft.) Req./ Prov.	Linear Footage	Buffer Trees (1/25') Required / Provided	Evergreen Trees Req.(50%) / Provided	Length of 6 ft. Opaque Structure Req. / Prov.

LEGAL DESCRIPTION:	LOT 2 BECKETT AT WOODMEN HILLS
COUNTY ZONING:	CS (COMMERCIAL SERVICE)
LOT AREA:	37,483 S.F. (0.86 ac.)
PROJECT AREA:	5,887 (RETAIL)
BLDG. COVERAGE:	5,887S.F. / 37,483 = 15.7%
LSP. COVERAGE:	6,616 S.F. / 37,483 = 17.65%
HARDSCAPE:	24,980 S.F. / 37,483 = 66.7%

File number has been added to the drawing.

PPR-17-055

SHOPS @ MCLAUGHLIN II
PEYTON, CO
FINAL LANDSCAPE PLAN

REVISIONS:
Comments: 01.25.18

NDS
NATURAL DESIGN SOLUTIONS
Landscape Architecture
Land Planning
Irrigation Design
5539 Cell Drive, Longmont, CO 80503
(303) 443-0300 • nds@indesigncolorado.com

PROJ. NO.:
DATE: 09.14.17
SCALE: See Sheet
DRAWN: JRO
CHKD BY: NAM
SHEET L10
7 OF 11

(Note: All references to "Contractor" are specific to "Landscape Contractor" unless notified as "General or other type of Contractor")

- TREES IN COBBLE/ROCK MULCH TO RECEIVE 4" DIAMETER OF WOOD MULCH, 3" DEEP. SHRUBS AND GROUNDCOVERS IN COBBLE/ROCK MULCH AREAS TO RECEIVE 3" DIAMETER OF WOOD MULCH, 3" DEEP. NO FABRIC UNDERLAYMENT IN WOOD MULCH AREAS.

ALL PLANTING BEDS THAT CALL FOR COBBLE/ROCK MULCH TO RECEIVE MIN. 3" DEPTH OF MULCH USE PERMEABLE FABRIC UNDERLAYMENT FOR ALL COBBLE/AGGREGATE AREAS WITH SLOPES 3:1 AND LESS. USE QUICK RELEASE ORGANIC PRE-EMERGENT HERBICIDE FOR ALL MULCHED AND PERENNIAL/PLANTING BEDS (AND FOR COBBLE/AGGREGATE AREAS WITH SLOPES EXCEEDING 3:1 GRADE).

The diagram shows a cross-section of a tree being planted in a pit. The tree's trunk is positioned vertically, with the root flare visible at the top of the rootball. The rootball is placed in a pit that is at least 2x the width of the rootball. The pit is filled with amended soil mix, and the sides are scuffed. A 2-4 inch depth of specified mulch is applied around the tree, and a 6-inch planting rim is provided in dryland and planting beds, and a 12-inch rim is provided in irrigated areas. The trunk flare must be visible at the top of the rootball, and the root flare is positioned at the grade. The trunk flare must be visible at the top of the rootball, and the root flare is positioned at the grade. The trunk flare must be visible at the top of the rootball, and the root flare is positioned at the grade.

MIN. 2X ROOTBALL

TES:
 MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE
 WHENEVER POSSIBLE.
 IF TREE OF PLANTING. DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS
 BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED.
 HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING
 SEASONS.
 KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 MENDED BACKFILL SHALL BE AS STATED ON THIS SHEET.
 WRAP TRUNK ON EXPOSED SITES WITH BARK PROTECTANT AND WHITE WASH WITH THIN BARK, NOT TWINE.
 COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 KEEP WATER ALL PLANTS AT TIME OF PLANTING.

The diagram illustrates the steps for planting a tree, from preparation to final positioning and backfilling. It is divided into three main sections: Preparation, Planting, and Backfilling.

Preparation:

- REMOVE TWINE FROM BRANCHES ON TREES TIED UP FOR SHIPPING. SPRAY WITH WILT PRUF OR EQUAL (IF LEAFED OUT).**
- ORANGE FLUORESCENT FLAGGING ON WIRE FOR SAFETY.**
- SET TREE VERTICAL. STAKE UP TO 3" CALIPER TREES WITH TWO POSTS ON THE LEeward AND WINDWARD SIDES. STAKE TIGHTER ON THE LEeward CALIPER WITH EVENING. SPACED POSTS - USE NYLON STRIPS WITH NYLON RINGS BELOW AND BURLAP OR WIRE WITH GLUE WIRE BY TWISTING. PROTECT BRANCHES FROM DAMAGE BY TWINE OR WIRE.**
- PROVIDE FLAGGING TAPE WITH MINIMUM 6" DANCING SET STAKES IN MINIMUM 4' FIRM SOIL. REMOVE STAKES WITHIN 12-18 MONTHS OF PLANTING.**

Planting:

- TRUNK FLARE MUST BE VISIBLE AT TOP OF ROOTBALL. POSITION ROOT FLARE AT GRADE.**

Backfilling:

- 3-4" DEPTH OF SPECIFIED MULCH. PROVIDE A 6" DIAMETER WOOD MULCH RING AND 6" PLANTING RIM FOR TREES IN DRYLAND PLANTING BEDS AND IN IRRIGATED NATIVE SEED AREAS WHERE IRRIGATION ZONES ARE NOT TO BE SHOWN AFTER ESTABLISHMENT. PROVIDE SALSOL ON DOWNHILL SLOPES ON TREES. KEEP MULCH 2" AWAY FROM CONTACT WITH WOODY TRUNK. DO NOT PLACE FABRIC UNDER MULCH. NO RIM FOR TREES LOCATED IN TURF AREAS.**
- SCARIFY SIDES OF PLANTING PIT. BACKFILL WITH AMENDED SOIL MIX. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL.**
- AFTER TREE IS POSITIONED, REMOVE ALL TWINE, ROPE, PLASTIC, WIRE, BURLAP, AND RUBBER.**

SET SHRUBS VERTICAL. SHRUB SPACING AS PER PLANTS. LAYOUT VARIES. FINISHED GRADE OF SHRUB BED TO BE 2" BELOW ADJACENT FINISH GRADE AT EDGE TO HOLD MULCH.

PLANT TOP OF ROOTBALL AT GRADE.

3.4' SPECIFIED ORGANIC MULCH. PROVIDE 6" PLANTING RIM FOR SHRUBS NOT IN PLANTING BED. PROVIDE SAUCEUR ON DOWNHILL SIDE ON SLOPES. NO PLANTING RIM FOR SHRUBS IN PLANTING BED. KEEP MULCH AWAY FROM CONTACT WITH WOODY TRUNK.

SCARIFY SIDES OF PLANTING PIT. BACKFILL WITH AMENDED SOIL MIX. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL.

REMOVE ALL PACKAGING MATERIALS. FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOTBALL 1" DEEP. PLANT IMMEDIATELY.

FOR ROOT BIND AT BOTTOM OF BALL: SPLIT ROOTBALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN THE PLANTING HOLE.

12" MIN

5 SHRUB PLANTING DETAIL
120 NOT TO SCALE SECTION

- 1 PERENNIAL/GROUNDCOVER PLANTING DETAIL
L2.0 NOT TO SCALE

- 2 FABRIC CUTOUT / WOOD MULCH RING DETAIL
120 NOT TO SCALE

- 5 SHRUB PLANTING DETAIL
120 NOT TO SCALE SECTION

PROPERTY OWNERS ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

1. COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
2. PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
3. OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES RULES AND REGULATIONS.
4. SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES OR SUPPLIES ARE RESERVED FOR THE PROPERTY OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
5. THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATION OR ALTERING THE EXISTING UTILITY FACILITIES.
6. OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
7. THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
8. OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
9. OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
10. IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
11. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS, AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

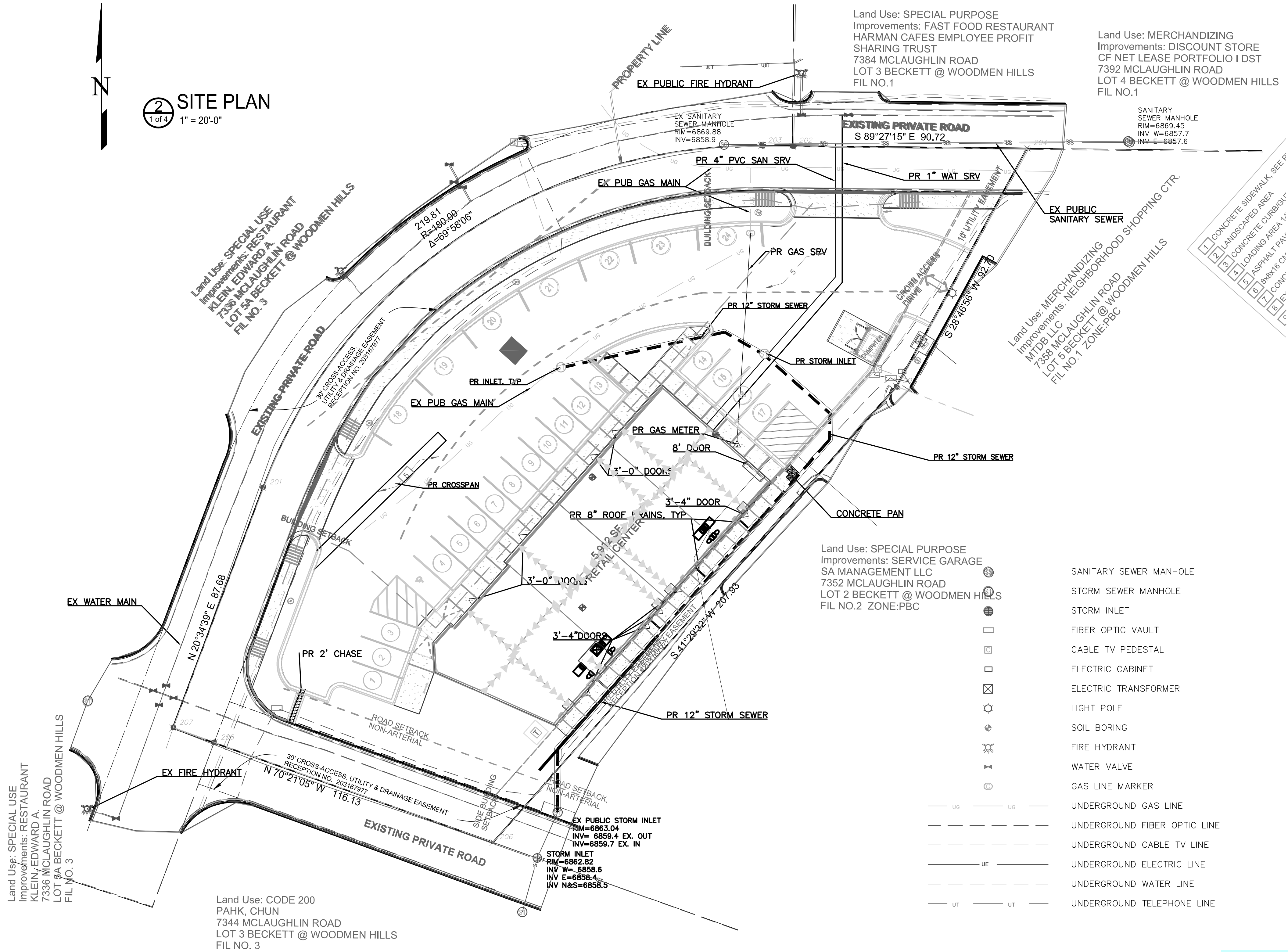
BUILDING DATA

	SINGLE-FAMILY
BUILDING TYPE	V-B
SQUARE FOOTAGE	5887 SF
SPRINKLED	NO
FH REQ'D.	2
FIRE FLOW REQ'D.	2000 GPM
FIRE FLOW PROVID.	TBD GPM
FLOW DURATION	2 HRS
FH SPACING	450 FT
HOSE LAY	225 FT
AREA SEPARATION WALL	NO

PRESSURE ZONE: TBD

2 SITE PLAN

1" = 20'-0"



UTILITY PLAN LEGEND:

	SIGN POST MOUNTED AS NOTED		PROP CLEANOUT
	EXISTING ELECTRIC TRANSFORMER		PROP GREASETRAP SERVICE
	EXISTING STORM DRAIN		EXISTING WATER SERVICE OR MAIN
	NEW LIGHT POLE		EXISTING SAN SEWER
	EXISTING LIGHT POLE		EXISTING FIRE HYDRANT
	EXISTING POWER POLE		EXISTING WATER VALVE
	EXISTING UNDERGROUND ELECTRICAL LINE (UGE)		
	EXISTING UNDERGROUND ELECTRIC LINE		

PPR - 17-055

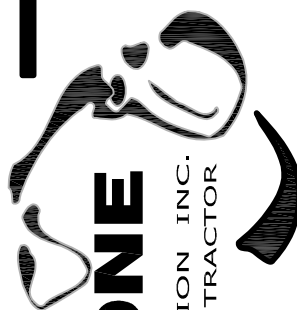
125 N. WAHSATCH AVE., SUITE 101

COLORADO SPRINGS, CO. 80903

OFFICE: 719-636-6422

FAX: 719-636-6428

www.tresnova.com



T-BONE

Design Development Consultants @

1310 FORD STREET
COLORADO SPRINGS, CO 80915 (719) 570-1456

Revisions	DESCRIPTION	DATE
#		

SHOPS AT MCLAUGHLIN II

7368 McLaughlin Road, Peyton CO 80831

D1-7074

DATE	2/22/18
CHECKED	LD
DRAWN BY	JF
PRELIMINARY UTILITIES AND PUBLIC FACILITIES PLAN	
C1	

Include a the standard GEC Notes
Unresolved

Information has been
added to the drawing.

Add the bmp symbols
on the legend.

Information has been
added to the legend.

GRADING LEGEND

EXISTING CONTOURS - MINOR	---	61.32	---
EXISTING CONTOURS - MAJOR	---	61.30	---
UNDERGROUND ELECTRIC LOCATES (RED FLAGS)	ULE(R)		
UNDERGROUND GAS LOCATES (YELLOW FLAGS)	ULG(Y)		
UNDERGROUND FIB. OPT. LOCATES (ORANGE FLAGS)	ULL(R)		
UNDERGROUND WATER LOCATES (BLUE FLAGS)	ULW(B)		
UNDERGROUND CTV LOCATES (ORANGE FLAGS)	ULCTV(O)		
UNDERGROUND TEL. LOCATES (ORANGE FLAGS)	ULT(O)		
PROPOSED FINISHED SURFACE	FS		
PROPOSED FLOWLINE	FL		
SPOT ELEVATION	SE		
ASPHALT EDGE	AE		
LOW POINT	LP		
HIGH POINT	HP		
EXISTING ELEVATION	12.00*		
GRADE & DIRECTION	2.2%		
TERRAIN STRING	TS		
BOUNDARY MONUMENT	BM		
CONCRETE CURB TOP BACK	TBC		
PROPOSED CONTOUR			
EXISTING SPOT GRADE	× EX 7314.00		
PROPOSED SPOT GRADE	× 7314.00		
CONCRETE EDGE	CE		
PROPOSED FINISHED GROUND	FG		

Land Use: SPECIAL USE
Improvements: RESTAURANT
KLEIN, EDWARD A.
7336 MCLAUGHLIN ROAD
LOT 3A BECKETT @ WOODMEN HILLS
FIL NO. 3

Land Use: CODE 200
PAHK, CHUN
7344 MCLAUGHLIN ROAD
LOT 3 BECKETT @ WOODMEN HILLS
FIL NO. 3

2 SITE PLAN
1 of 4 1" = 20'-0"

Land Use: SPECIAL PURPOSE
Improvements: FAST FOOD RESTAURANT
HARMAN CAFES EMPLOYEE PROFIT
SHARING TRUST
7384 MCLAUGHLIN ROAD
LOT 3 BECKETT @ WOODMEN HILLS
FIL NO.1

Land Use: MERCHANDIZING
Improvements: DISCOUNT STC
CF NET LEASE PORTFOLIO II
7392 MCLAUGHLIN ROAD
LOT 4 BECKETT @ WOODMEI
FIL NO.1

SANITARY
SEWER MANHOLE
RIM=6869.45
INV W=6857.7
INV E=6857.6

Land Use: MERCHANDIZING
Improvements: NEIGHBORHOOD SHOPPING CTR.
MTDB LLC
7358 MCLAUGHLIN ROAD
LOT 5 BECKETT @ WOODMEN HILLS
FIL NO.1 ZONE:PBC

Land Use: SPECIAL PURPOSE
Improvements: SERVICE GARAGE
SA MANAGEMENT LLC
7352 MCLAUGHLIN ROAD
LOT 2 BECKETT @ WOODMEN HILLS
FIL NO.2 ZONE:PBC

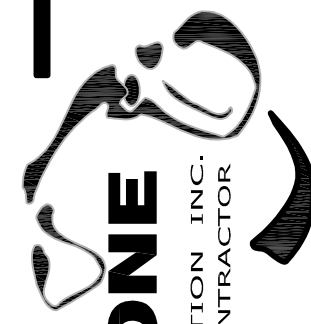
Remove the word
Preliminary

'Preliminary' has been
removed.

PCD FILE NO PPR-17-055

125 N. WAHSATCH AVE., SUITE 101
COLORADO SPRINGS, CO. 80903

OFFICE: 719-635-8422
FAX: 719-635-8438
www.treanor.com



Design Development
Consultants @

1310 FORD STREET
COLORADO SPRINGS, CO 80915 (719) 570-1456

(C) ALL RIGHTS RESERVED

Revisions		DATE
#	DESCRIPTION	

SHOPS AT MCLAUGHLIN II

7368 McLaughlin Road, Peyton CO 80831

D1-7074

DATE	2-22-2018
CHECKED	LD
DRAWN BY	JF

PRELIMINARY
GRADING
PLAN

C2

OFFICE: 719-635-6422
FAX: 719-635-6426
www.tnecinc.com



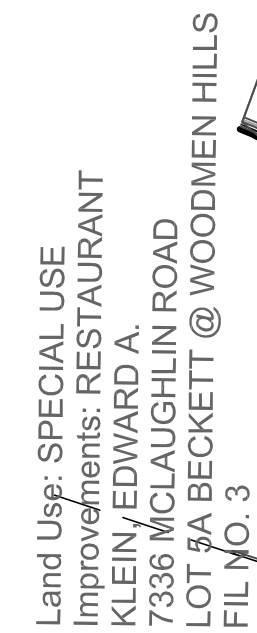
COLORADO SPRINGS, CO 80915 (719) 570-1456

D1-7074

7300 McLaughlin Road, Feyoill CO 80031

PROPOSED DRAINAGE MAP

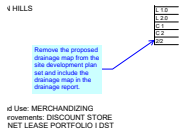
2/2



PCD FILE NO. PPR-17-055

Markup Summary

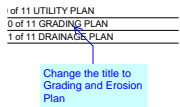
dsdlaforce (8)



Subject: Callout
Page Label: 1
Lock: Locked
Author: dsdlaforce
Date: 6/20/2018 2:01:07 PM
Color: ■

Sheet has been removed.

Remove the proposed drainage map from the site development plan set and include the drainage map in the drainage report.



Subject: Callout
Page Label: 1
Lock: Locked
Author: dsdlaforce
Date: 6/20/2018 2:01:08 PM
Color: ■

Title has been revised.

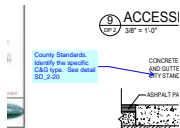
Change the title to Grading and Erosion Plan



Subject: Callout
Page Label: 1
Lock: Locked
Author: dsdlaforce
Date: 6/20/2018 2:01:09 PM
Color: ■

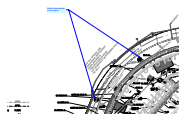
Adjacent property is owned by the same entity. However the cross access has been removed.

Neither the Plat or Lot 5 site plan identify a cross access drive. A cross access agreement and offsite improvement with the adjacent owner must be obtained. Provide a copy to the County.



Subject: Callout
Page Label: 2
Lock: Locked
Author: dsdlaforce
Date: 6/20/2018 2:01:14 PM
Color: ■

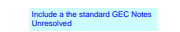
County Standards.
Identify the specific C&G type. See detail SD_2-20



Subject: Callout
Page Label: [2] Shops @ McLaughlin_FLP_1st Submittal-DP L2.0
Lock: Locked
Author: dsdlaforce
Date: 6/20/2018 2:01:15 PM
Color: ■

Information has been added to the legend.

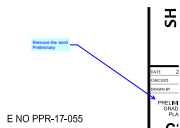
Add the bmp symbols on the legend.



Subject: Text Box
Page Label: [2] Shops @ McLaughlin_FLP_1st Submittal-DP L2.0
Lock: Locked
Author: dsdlaforce
Date: 6/20/2018 2:01:15 PM
Color: ■

Information has been added to the drawing.

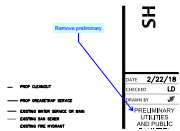
Include a the standard GEC Notes Unresolved



Subject: Callout
Page Label: [2] Shops @ McLaughlin_FLP_1st Submittal-DP L2.0
Lock: Locked
Author: dsdlaforce
Date: 6/20/2018 2:01:21 PM
Color: ■

'Preliminary' has been removed.

Remove the word Preliminary



SH

Subject: Callout

Page Label: [2] Shops @ McLaughlin_FLP_1st Submittal-DP Remove preliminary
L2.0

Lock: Locked

Author: dsdlaforce

Date: 6/20/2018 2:01:22 PM

Color: ■

'Preliminary' has been removed.

dsdseigny (1)

PPR-17-055

Subject: Text Box

Page Label: [1] Shops @ McLaughlin_FLP_1st Submittal-DP PPR-17-055
L1.0

Lock: Locked

Author: dsdseigny

Date: 6/20/2018 2:01:23 PM

Color: ■

File number has been added to the drawing.

Markup Summary

dsdseigny (2)

PPR-17-055

Subject: Text Box

Page Label: [1] Shops @ McLaughlin_FLP_1st Submittal-DP PPR-17-055

L1.0

Lock: Locked

Author: dsdseigny

Date: 6/20/2018 2:03:19 PM

Color: ■

File number has been added to the drawing.



Subject: Callout

Page Label: [1] Shops @ McLaughlin_FLP_1st Submittal-DP See Site Plan for drive way access issues.

L1.0

Lock: Locked

Author: dsdseigny

Date: 6/20/2018 2:03:20 PM

Color: ■

Adjacent property is owned by the same entity. However the cross access has been removed.