

# SHOPS AT MCLAUGHLIN II

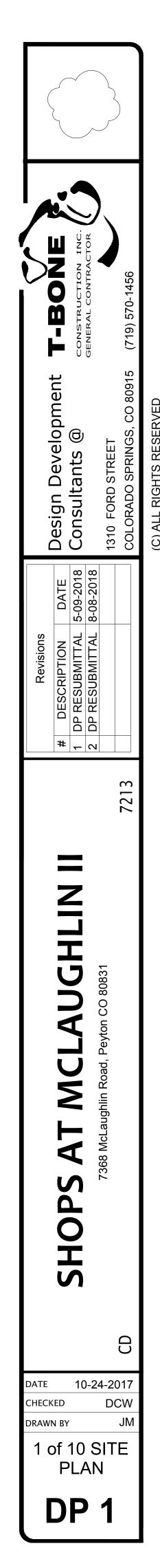
### **PROJECT DATA:**

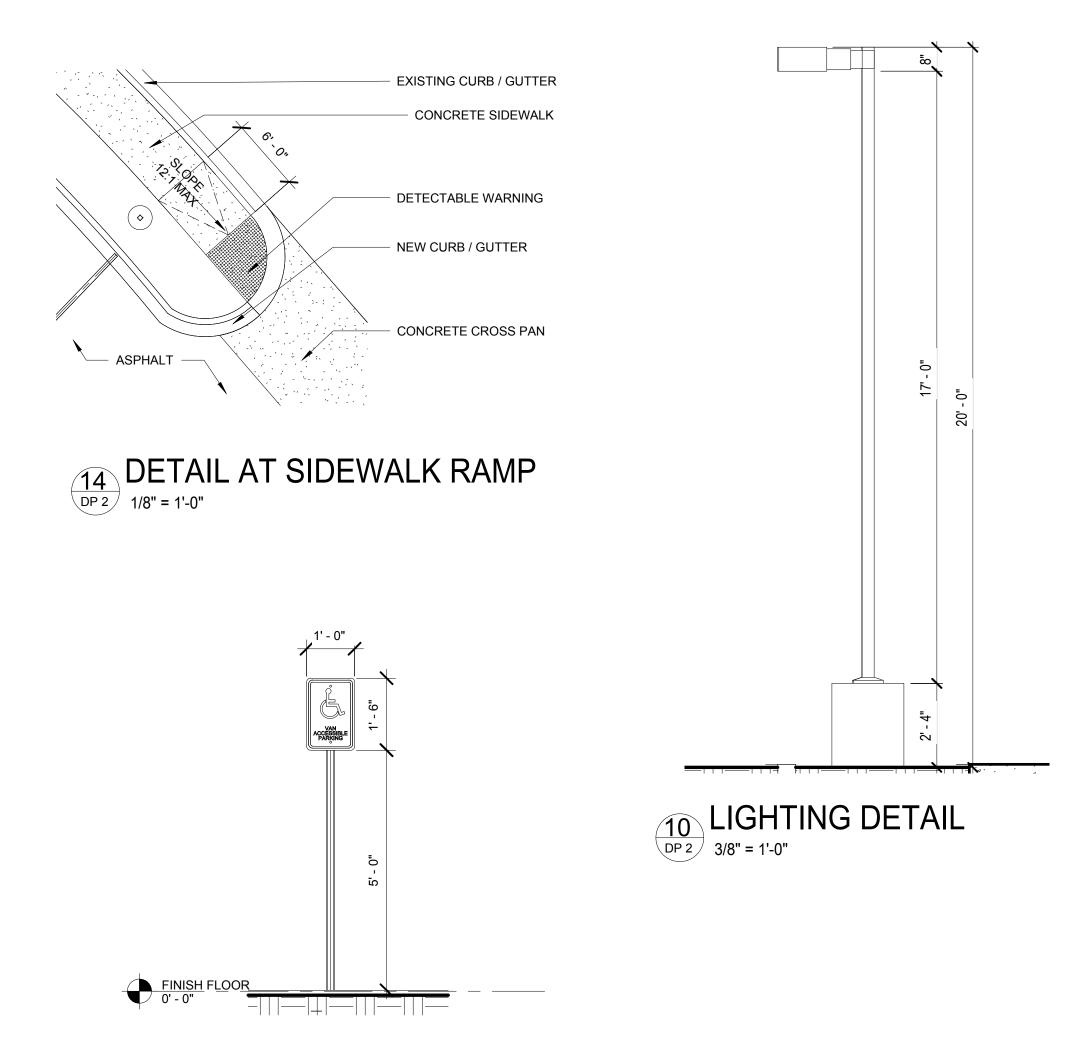
ADDRESS: LEGAL DESRIPTION:

7368 MCLAUGHLIN RD, PEYTON, CO 80831 LOT 2 BECKETT AT WOODMEN HILLS FIL NO 3

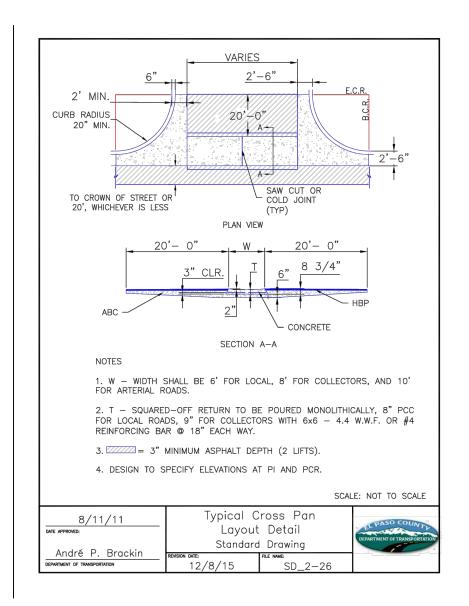
DEVELOPMENT APPLICANT:					
Applicant Name: Company:	James A. Childs, AIA T-Bone Construction 1310 Ford St.				
Phone: Email:	Colorado Springs 80915 719-570-1456 jim@tboneconstruction.com				

SHELT#	SILLINAVL
DP 1	1 of 10 SITE PLAN
DP 2	2 of 10 SITE DETAILS
DP 3	3 of 10 ELEVATIONS
DP 4	4 of 10 ELEVATIONS
DP 5	5 of 10 FLOOR PLAN
DP 6	6 of 10 PHOTOMETRIC PLAN
L 1.0	7 of 10 LANDSCAPE PLAN
L 2.0	8 of 10 LANDSCAPE DETAILS
C 1	9 of 10 UTILITY PLAN
C 2	10 of 10 GRADING AND EROSION PLAN

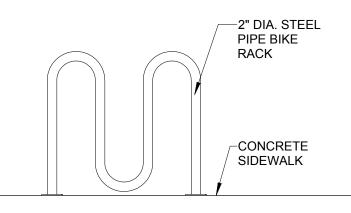




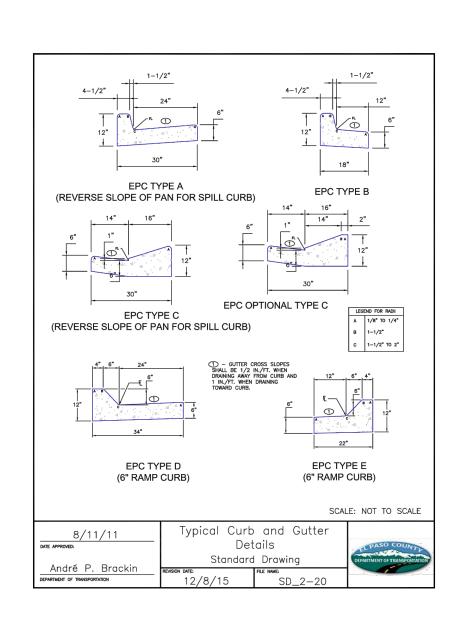
# DP 2 ELEVATION AT ADA PARKING SIGN



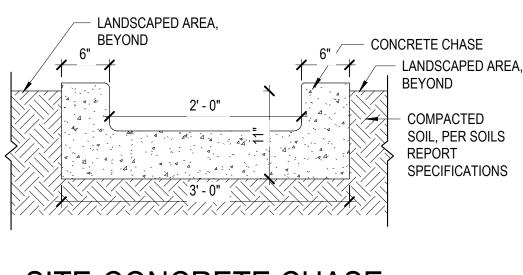
DP 2 CROSS PAN DETAIL NOT TO SCALE



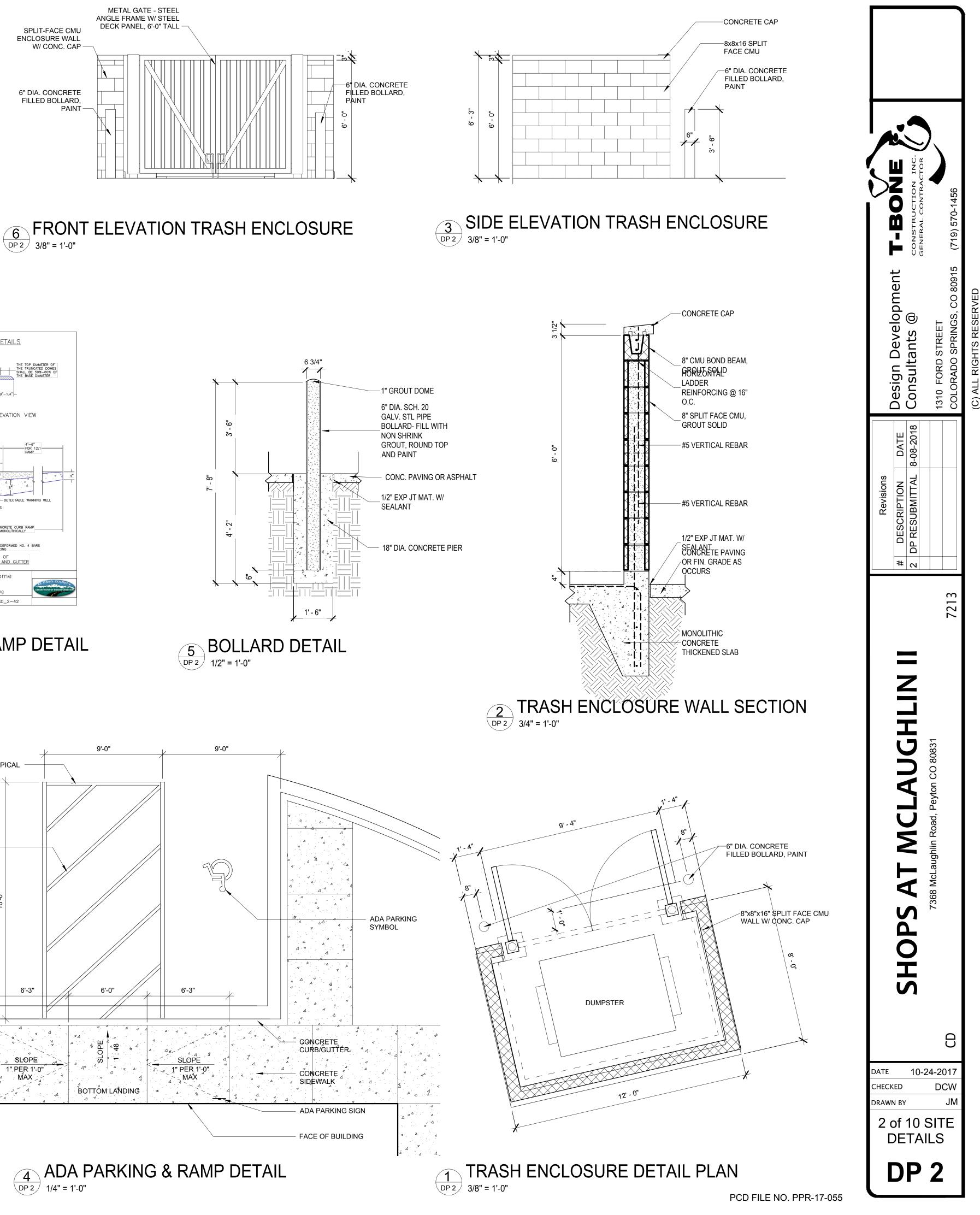


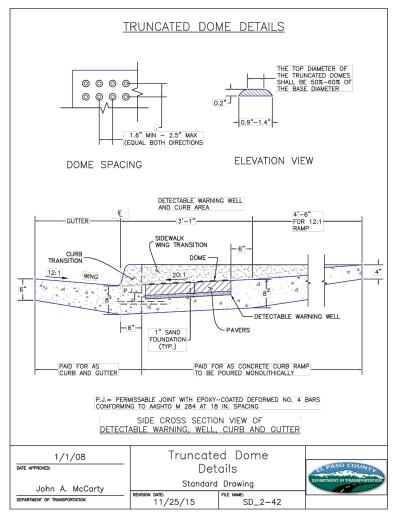


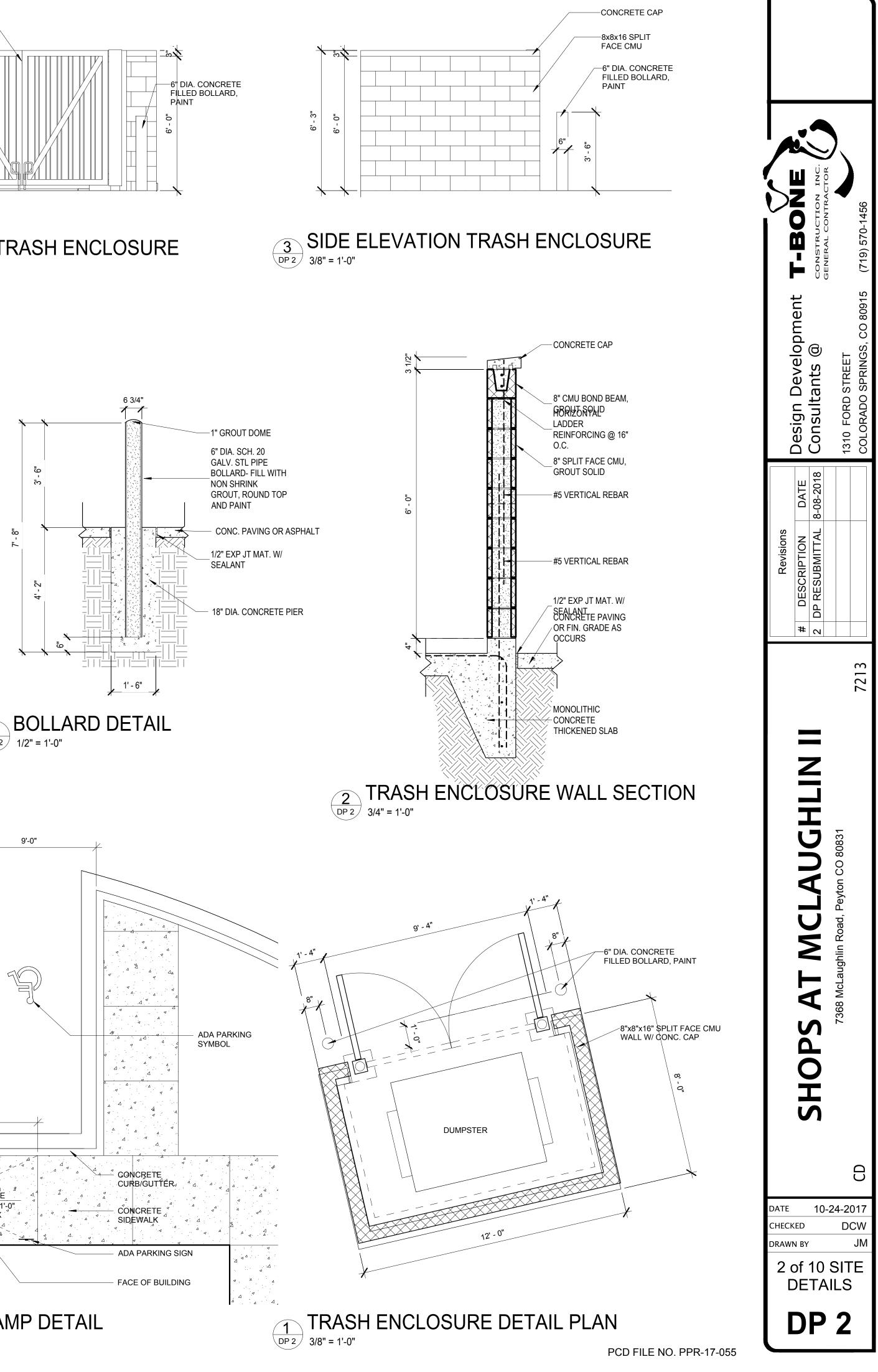
8 SITE-CURB/GUTTER @ SIDEWALK NOT TO SCALE



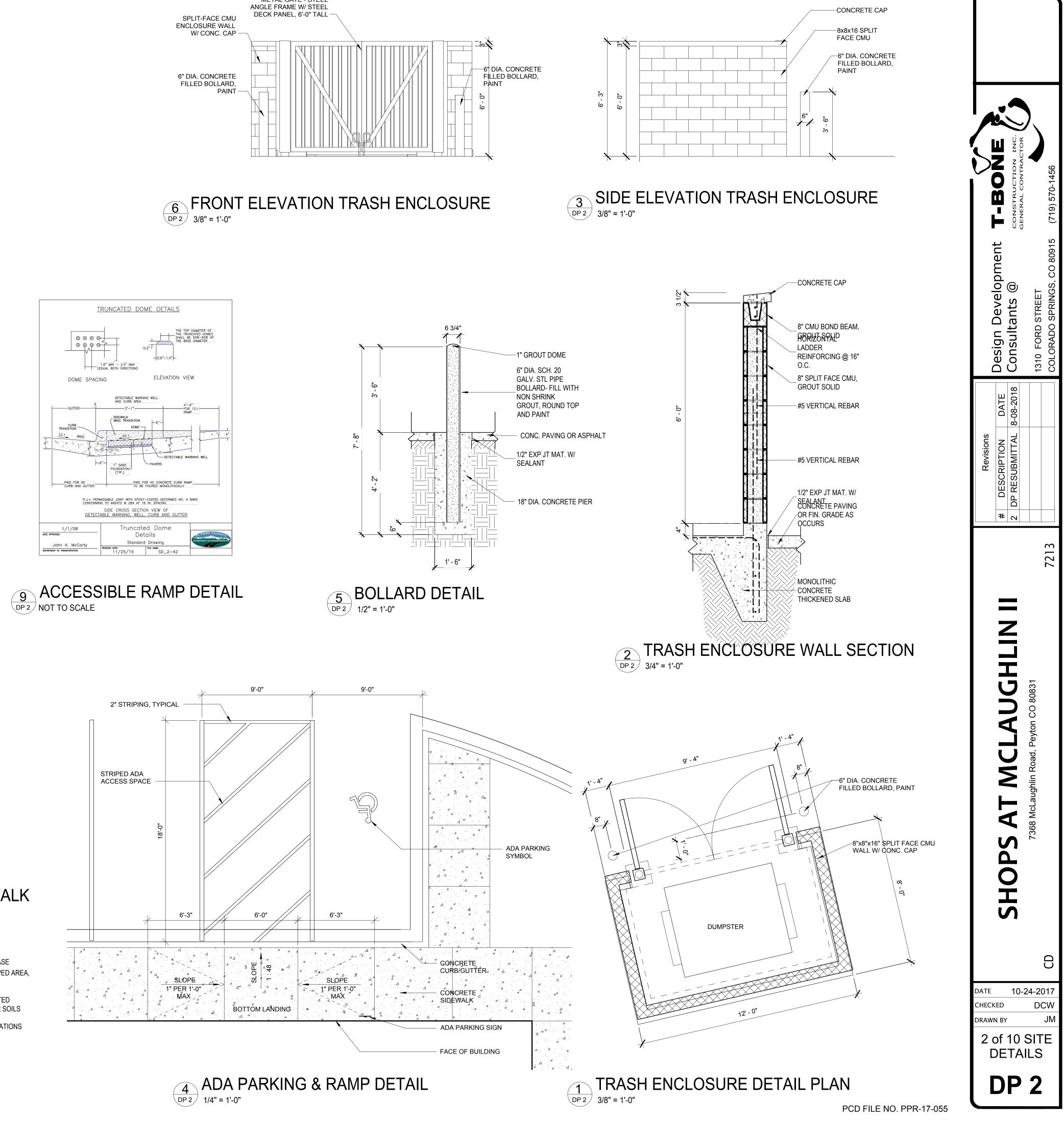






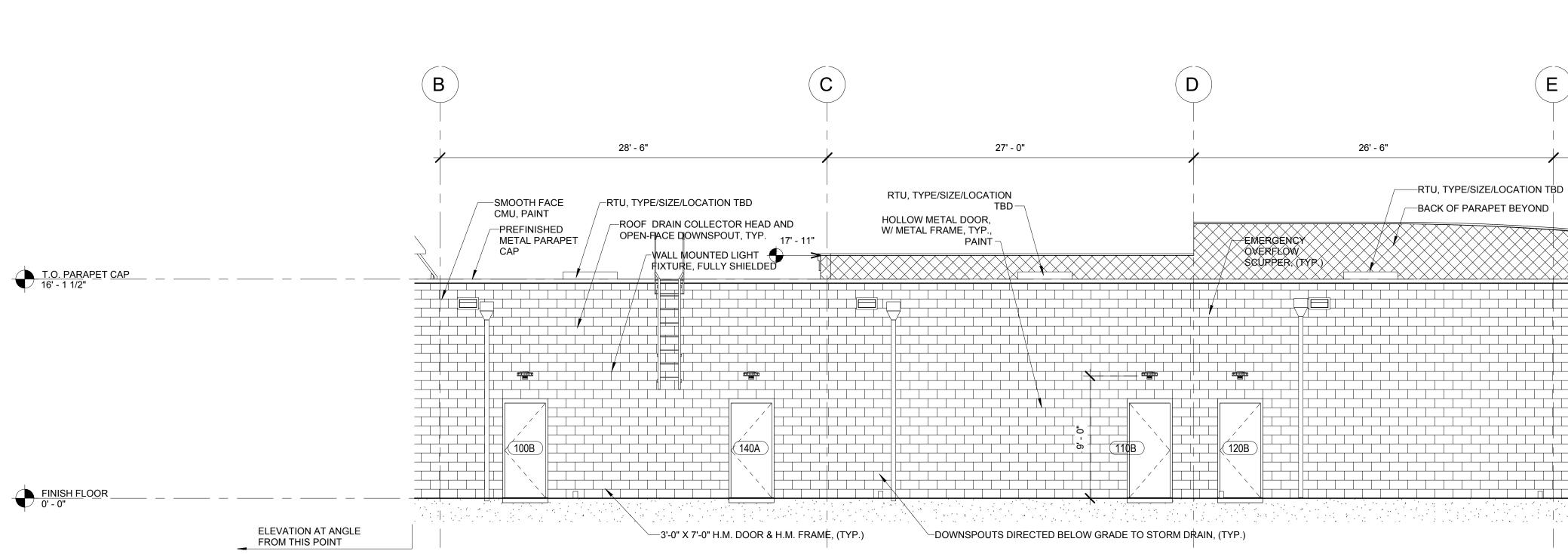


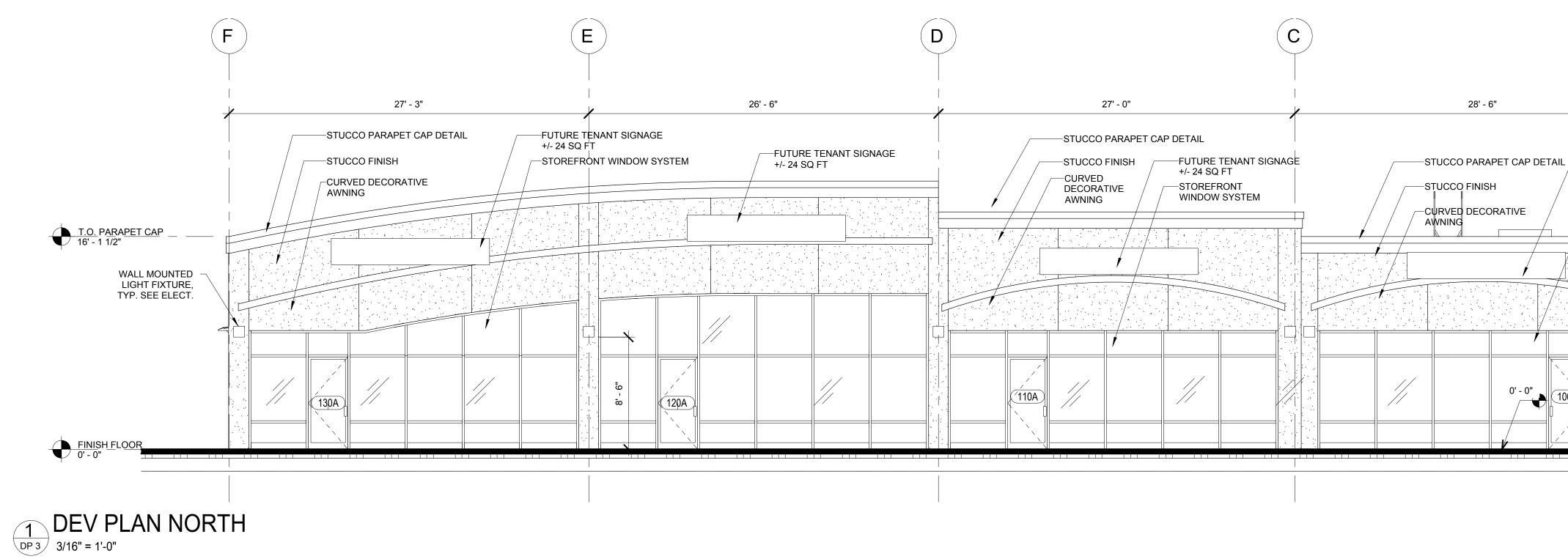


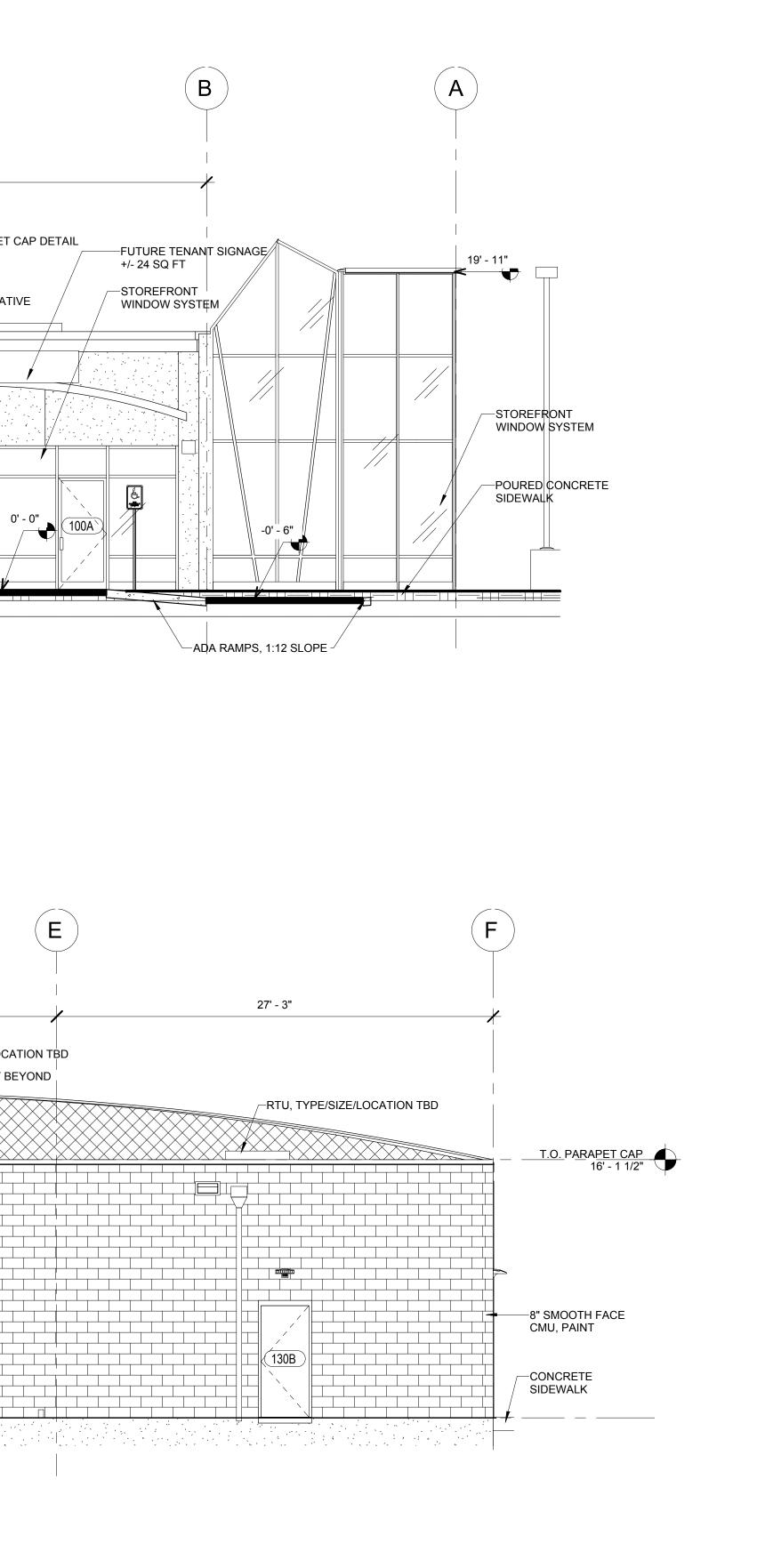


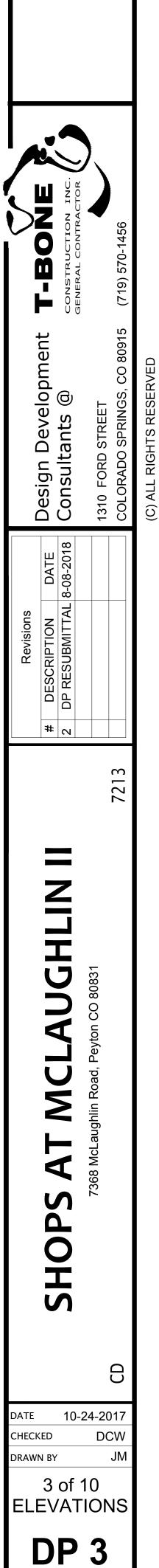






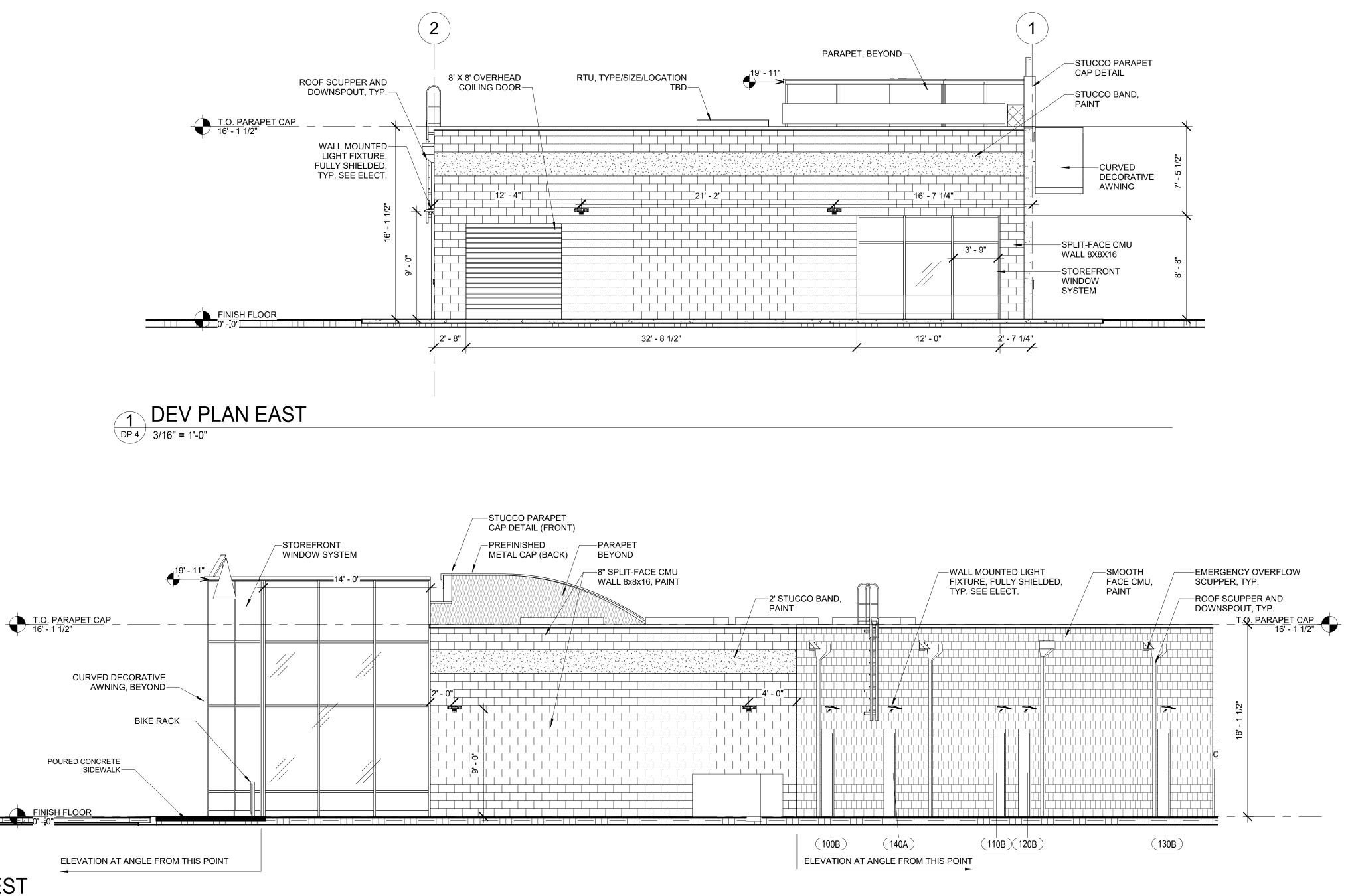


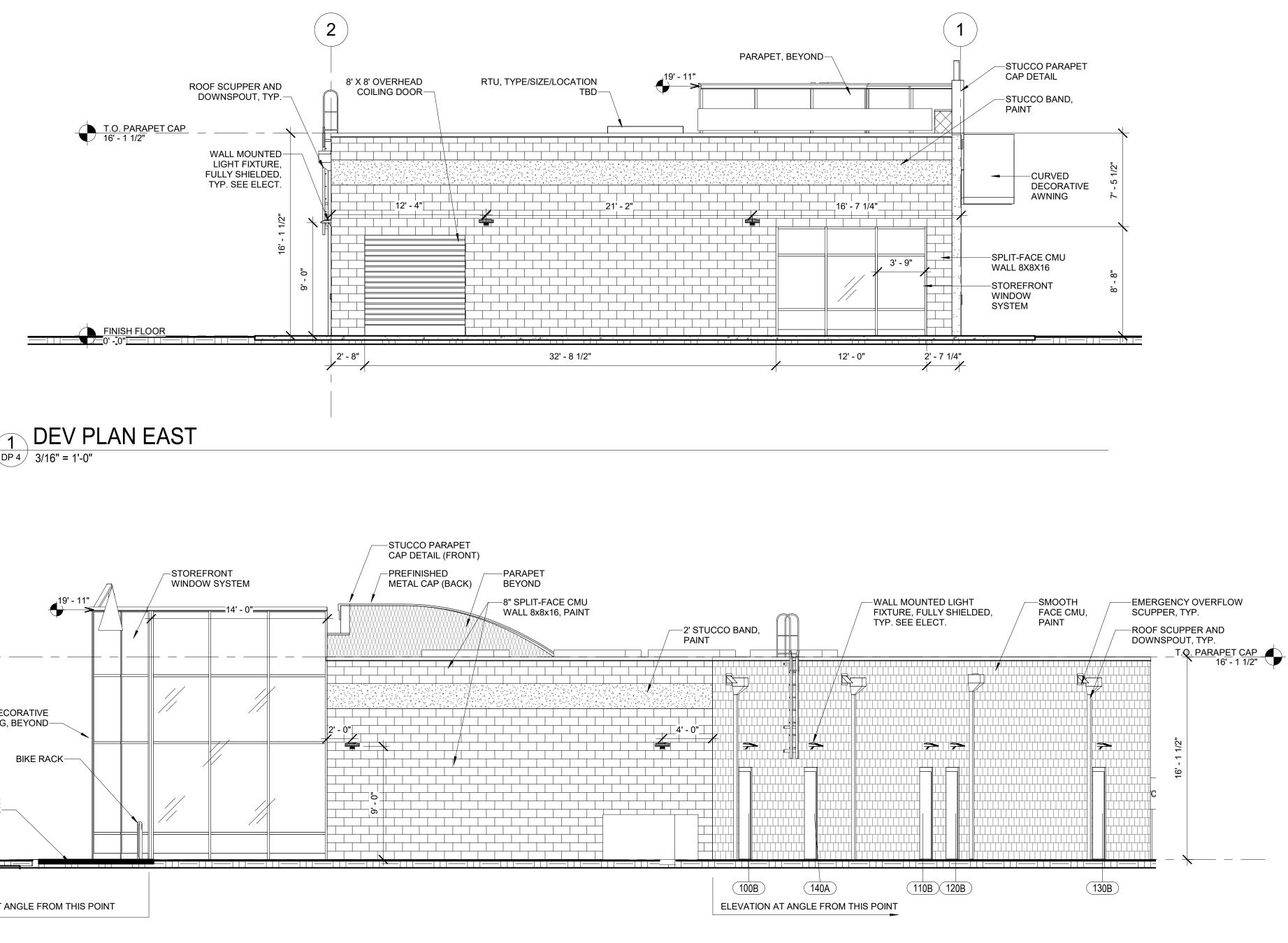


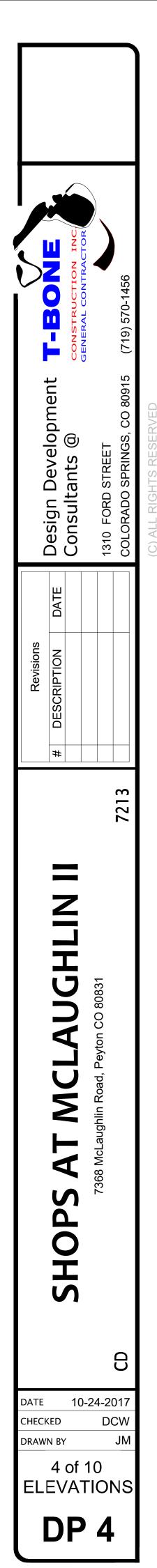


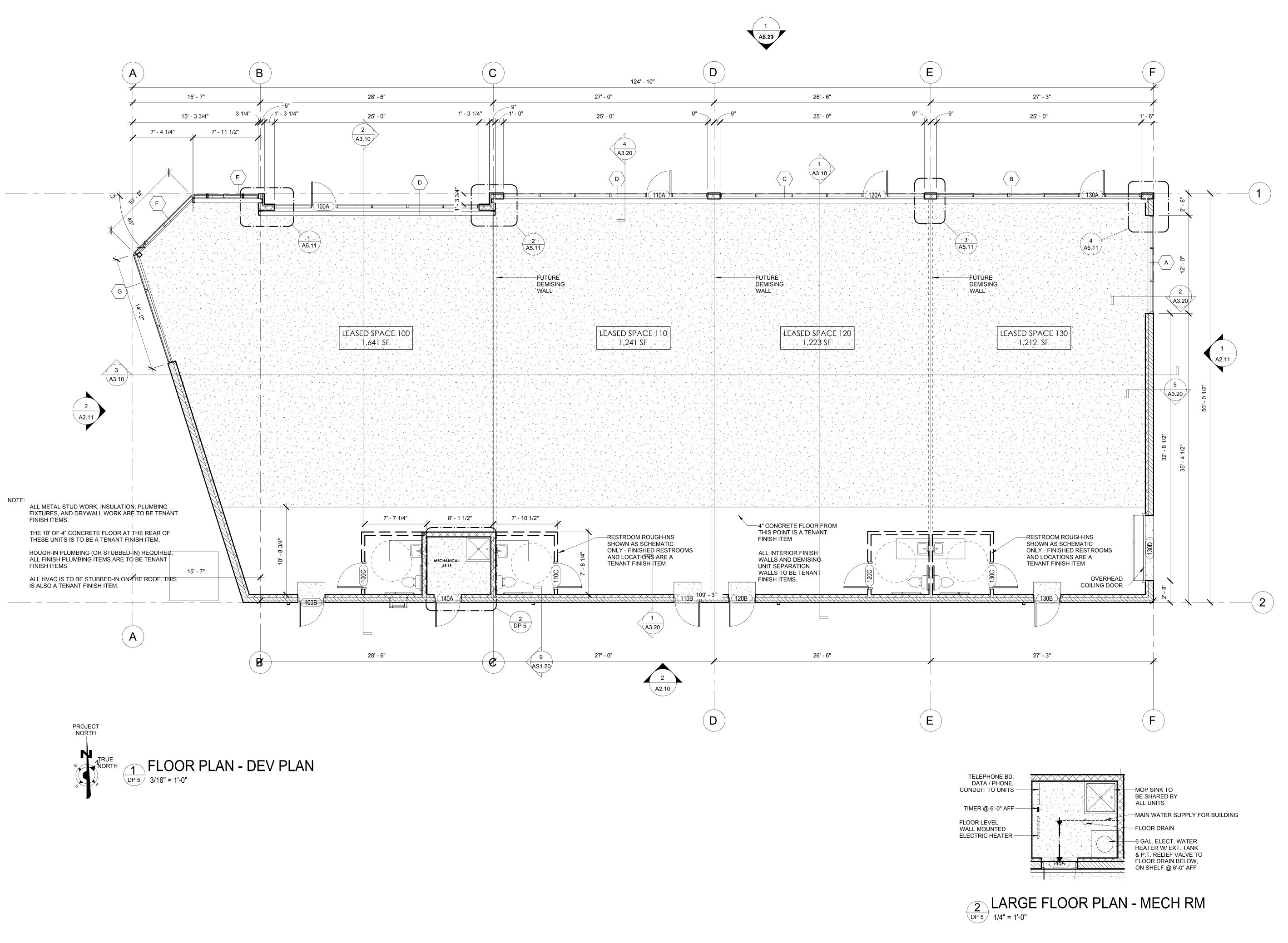
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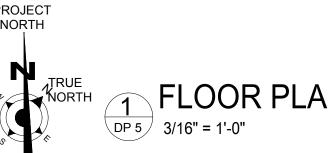


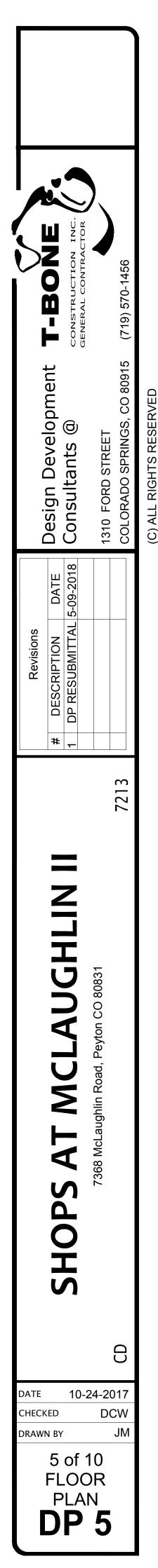




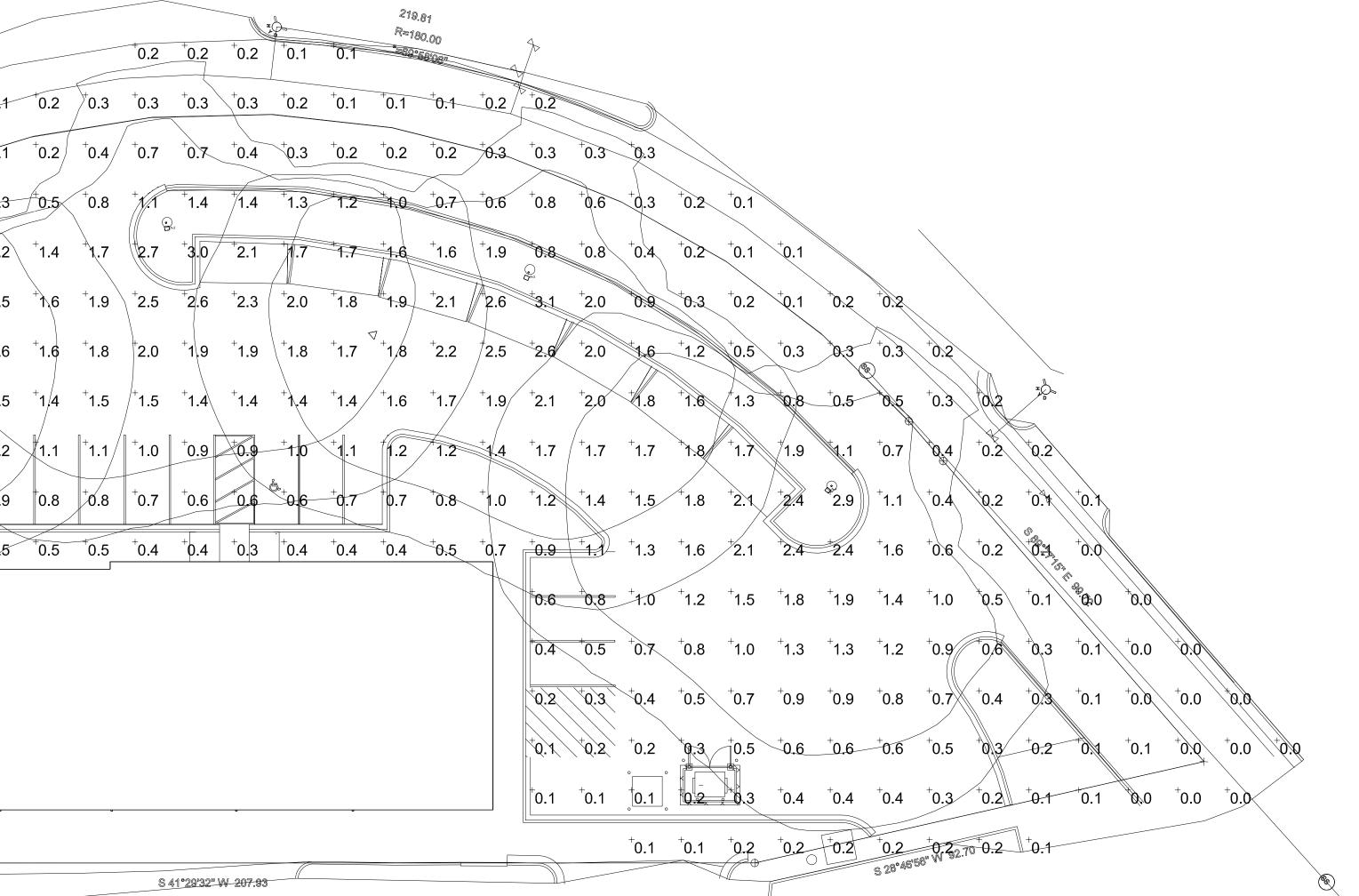








	Α	4 Lithonia Lighting	DSX1 LED P2 40K T4M MVOLT	DSX1 LED P2 40K T4M MVOLT	LED		DSX1_LED_P 2_40K_T4M_ MVOLT.ies	8707	0.95	70
atistics scription c Zone #1		rg Max Min fc 3.1 fc 0.0 fc	Max/Min Avg/ N/A N//							
						*0.2 <sup>+</sup> 0.2	2 <sup>+</sup> 0.2 <sup>+</sup> 0.1 0	219.81 R=180.00	J.	
				<sup>±</sup> 0.2 <sup>+</sup> 0.2	+0.1 +0.1 +0.2 +0.1 +0.1 +0.2	+			+0.2 +0.2 +0.3 +0.3 +0.3	
			+0.1 +0.1 +0.	+0.2 +0.3 +0.3 +0.2 	$^{+}0.2$ $^{+}0.1$ $^{+}0.3$ $^{+}0.5$ $^{+}0.5$ $0.9$ $^{+}1.2$ $^{+}1.4$			.2 +10 +0.7 .7 +1.6 +1.6	+0.6 +0.8 +0.6 +1.9 0.8 +0.8	
		+0.0	+0.0 +0.1 +0.1 +0.1 +0.		+1.5 +1.5 +1.5 +1.6				2.6 <b>*3.1</b> <sup>+</sup> 2.0	
		+0.0	+0.0 +0.0 +0.1 +0.1 +0.1 +0.1 +0.1 +0.1		+1.9 $+1.8$ $+1.6$ $+1.6+2.1$ $+1.7$ $+1.5$ $+1.4$			.7 <sup>+</sup> 1/8 <sup>+</sup> 2.2 .4 <sup>+</sup> 1.6 <sup>+</sup> 1.7	<sup>+</sup> 2.5 <sup>+</sup> 2.6 <sup>+</sup> 2.0 <sup>+</sup> 1.9 <sup>+</sup> 2.1 <sup>+</sup> 2.0	
			+0.0 $+0.1$ $+0.4$		+1.0 +0.9 +0.9 0.8			.1 1.2 1.2 .7 0.7 0.8	+1.4 +1.7 +1.7 +1.0 +1.2 +1.4	+ <sup>+</sup> 1.7
			+0.2 ±0.3 +0.	5 +0.6 +0.8 +0.9 +0.8	+0.7 +0.6 +0.5 +0.5			0.4 +0.4 +0.5	+0.7 +0.9 +1.1	
				$\begin{array}{cccccccccccccccccccccccccccccccccccc$					<b>0.6 0.8</b>	
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			+ <b>O</b> .	.1 +0.1 +0.1 +0.1 +0.1	+0.0			•	<sup>+</sup> 0.1 <sup>+</sup> 0.1	• • • • • • • • • • • •
			\\^O.	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$		S 41°29'3	2" <del>W-207.93</del>			+0.1







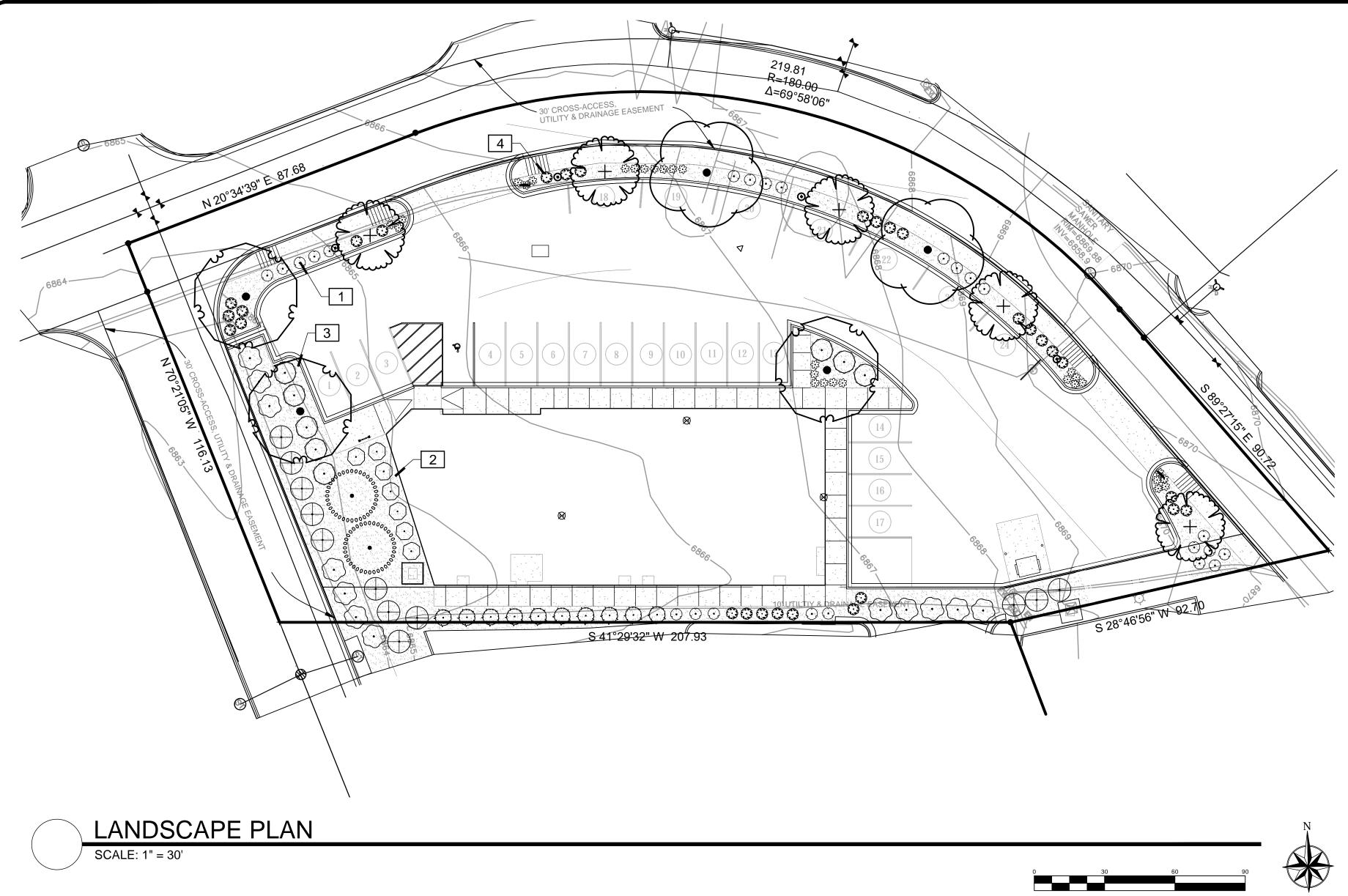
### Designer

Date 10/20/2017 Scale Not to Scale Drawing No.

Summary

# PCD File No. PPR-17-055

6 OF 10



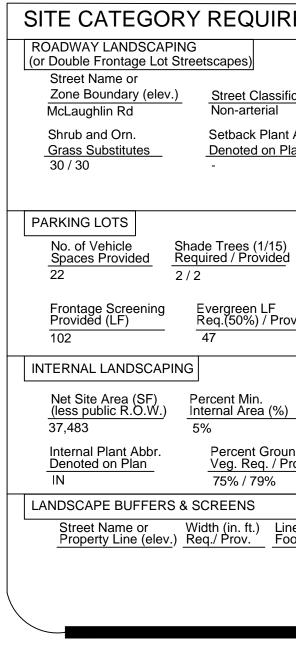
# PLAN NOTES:

- <u>NO SUBSTITUTIONS WITHOUT PREVIOUS APPROVAL OF LANDSCAPE ARCHITECT. UNAPPROVED DEVIATIONS FROM THIS</u> <u>PLAN WILL BE RECTIFIED AT CONTRACTORS EXPENSE.</u>
  CONTRACTOR TO PROVIDE ANALYSIS OF ANY AMENDMENTS PROPOSED FOR PLANTING AREAS PRIOR TO INSTALLATION
- OF SUCH MATERIALS. 3. NO FABRIC UNDER WOOD MULCH IN ANY AREAS. ALL PLANTS IN ROCK MULCH AREAS TO RECEIVE SHREDDED CEDAR
- MULCH RINGS EQUAL TO THE ROOTBALL OF THE PLANT. MASSING SHALL HAVE CONTINUOUS SHREDDED MULCH BANDS. SEE DETAILS SHEET L2.0.
- DRIPLINE TO BE PLACED OVER WEED BARRIER FABRIC AND STAKED ON TOP OF WEED BARRIER.
  WEED BARRIER CUTOUTS FOR PLANTS IN ROCK AREAS SHALL ACCOUNT FOR MATURE SIZE OF PLANTS, AND EQUAL AT LEAST THE DIAMETER OF THE ROOTBALL. SEE DETAILS SHEET L2.0
- 6. ALL EMITTERS PER IRRIGATION PLAN. 7. ALL EMITTERS TO BE PLACED AT THE APPROPRIATE LOCATIONS. ALL EMITTERS TO USE MICRO TUBING, STAKES, AND BUG CAPS.
- 8. SEE LANDSCAPE DETAILS SHEET FOR ADDITIONAL NOTES AND DETAILS.' 9. RETAIN 10% OF ALL PLANT TAGS PER SPECIES FOR DURATION OF WARRANTY PERIOD.

## REFERENCE NOTES SCHEDULE

<u>SYMBOL</u>	DESCRIPTION
1	PLACE SHREDD PERENNIALS AN PERENNIALS TO (TYP). WOOD M LOCATED IN PE
2	MINIMUM 3` ROO
3	PLACE PLANTS CURB AT MATUR
4	UTILIZE ROCK N USAGE AND PO

PLANT SC		FOR REFERENCE ONLY. FY ALL COUNTS PER PLAN		
	<u>QTY</u>	BOTANICAL NAME / COMMON NAME	<u>CONT</u>	CAL
	3	GLEDITSIA TRIACANTHOS INERMIS `SHADEMASTER` TM / SHADEMASTER LOCUST	B & B	2"CAL
	2	GYMNOCLADUS DIOICA `ESPRESSO` / KENTUCKY COFFEETREE	B & B	2"CAL
	5	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	B & B	1.5"CAL
• • • • • • • • • • • • • • • • • • •	2	PINUS EDULIS / PINON PINE	6` B&B	
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	<u>SIZE</u>	FIELD2
$\bigcirc$	8	ARCTOSTAPHYLOS X COLORADOENSIS `CHIEFTAIN` / MANZANITA	5 GAL	
$\bigoplus$	12	CHAMAEBATIARIA MILLEFOLIUM `FERNBUSH` / FERNBUSH	5 GAL	
$\bigcirc$	7	PHILADELPHUS LEWISII `CHEYENNE` / LEWIS MOCK ORANGE	5 GAL	
$\bigcirc$	12	PHYSOCARPUS OPULIFOLIUS `DIABLO` / DIABLO NINEBARK	5 GAL	
A CONSTRUCTION	29	PHYSOCARPUS OPULIFOLIUS `LITTLE DEVIL` / DWARF PURPLE NINEBARK	5 GAL	
( · · · · · · · · · · · · · · · · · · ·	25	POTENTILLA FRUTICOSA `GOLDFINGER` / GOLDFINGER POTENTILLA	5 GAL	
GRASSES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2
E	29	BOUTELOUA GRACILIS `BLONDE AMBITION` / BLUE GRAMA	1 GAL	
$\bigcirc$	10	SPOROBOLUS WRIGHTII / BIG SACATON	1 GAL	
MULCHES	QTY	BOTANICAL NAME / COMMON NAME		
	5,431 SF	AGGREGATE / RIVER ROCK MIXTURE MATCH ADJACENT SITES AND PLACE TO A UNIFORM DEPTH OF 3" OVER PERMEABLE WEED BARRIER FABRIC.		



LEGAL DESCRIPTION:	LOT 2 BECKE
COUNTY ZONING:	CS (COMME
LOT AREA:	37,483 S.F. (
PROJECT AREA:	5,887 (RETAI

BLDG. COVERAGE: LSP. COVERAGE: HARDSCAPE:

E SHREDDED CEDAR MULCH AROUND BASE OF ALL

NNIALS AND GRASSES IN LARGE COBBLE AREAS. MASSED ENNIALS TO RECEIVE LARGE RING AROUND ENTIRE GROUP WOOD MULCH NOT REQUIRED AROUND BASE OF PLANTS TED IN PEA GRAVEL.

IUM 3` ROOTBALL OFFSET FROM BUILDING, TYP.

E PLANTS TO PROVIDE MIN. 2` CLEARANCE FROM BACK OF AT MATURE SPREAD.

ZE ROCK MULCH ALONG ROADWAYS TO MINIMIZE WATER USAGE AND POTENTIAL MAINTENANCE ISSUES

IEDI	Ш	F		

<u>QTY</u>

REMENTS						
Setback WidthLinearTree/FeetNo. of TreesReq. / Prov.FootageRequiredReq. / Prov.10 / 10'3061 / 3011 / 8t Abbrev.Percent Ground PlaneHigh Water-usePlanVeg. Req. / ProvidedTurf %75% / 79%0%						
Vehicle Lot    Length of Frontage (ft.)    2/3 Length of Frontage (ft.)      Frontage (s)    (excluding driveways)    of Frontage (ft.)      McLaughlin Rd    140    94      Venicle Lot Plant    Vehicle Lot Plant    Percent Ground Plane      Wall or Berm Provided    N/A    75% / 80%						
internal Area (SF) <u>Required / Provided</u> 1,874 / (6,616) Internal Trees (1/500 SF) <u>Required / Provided</u> 4 / 2 Internal Trees (1/500 SF) <u>Shrub Sub Req/Prov</u> 20 / 20						
near Buffer Trees (1/25') Evergreen Trees Length of 6 ft. Opaque Required / Provided Req.(50%) / Provided Structure Req. / Prov.						

KETT AT WOODMEN HILLS ERCIAL SERVICE) (0.86 ac.)

AIL)

5,887S.F. / 37,483 = 15.7% 6,616 S.F. / 37,483 = 17.65% 24,980 S.F. / 37,483 = 66.7%

PCD	File	No.	PPR-17-055

THIS PLAN SHALL NOT BE COPIED WITHOUT THE PERMISSION OF NDS, INC.	SHOPS @ MCLAUGHLIN II	PEYTON, CO	Landscape Acinecute Land Planning · Irrigation Design 5539 Colt Drive, Longmont, CO 80503 (303) 443-0388 · nel@ndscolorado.com
PR DA SC DR CH	OJ. NO TE: CALE: RAWN: IKD BY SHEET	D.: 09.14 See JRC : NA	4.17 Sheet

# **GENERAL NOTES**

(Note: All references to "Contractor" are specific to "Landscape Contractor" unless notified as "General or other type of Contractor")

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF PLANT MATERIAL ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. GRAPHIC QTY'S. PREVAIL OVER WRITTEN QTY'S. PRIOR TO COMMENCEMENT OF WORK THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNERS REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING AND
- SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE CITY OR COUNTY PLANNING DEPARTMENTS.

LANDSCAPE CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO FURNISH SCOPE OF WORK AS SHOWN PER PLAN.

- EXISTING TOPSOIL IS TO BE STOCKPILED AND USED TO ESTABLISH FINAL GRADES WITHIN LANDSCAPE AREAS. ALL STOCKPILED SOIL MUST BE CLEAR OF WEEDS, ROCKS AND DEBRIS BEFORE REUSE. ALL BERMED PLANTING BEDS TO BE CREATED WITH IMPORTED TOPSOIL.
- GENERAL CONTRACTOR TO RE-SPREAD STOCKPILED SOIL AND ESTABLISH ROUGH GRADE CONDITIONS TO THE FOLLOWING SPECIFICATIONS: A. 1" BELOW CURB FOR ALL SEEDED AREAS. B. 2.5" BELOW CURB FOR ALL SODDED AREAS.
- C. 4" BELOW CURB FOR ALL PLANTING. ROCK AND MULCH BEDS. CONTRACTOR TO TILL PARKING LOT ISLANDS TO A DEPTH OF 30".
- AMEND ALL PLANTING BEDS WITH CLASS 1 COMPOST. APPLY AT RATE OF 3 CYDS. PER 1000 SQUARE FEET TO ALL PLANTING BEDS AND MANICURED LAWN AREAS, AND 2 CYDS. PER 1000 SQUARE FEET FOR SEEDED AREAS. TILL, MIXING THOROUGHLY, INTO THE UPPER 8" OF SOIL.
- FINE GRADE TO BE ESTABLISHED BY LANDSCAPE CONTRACTOR. FINE GRADE SHALL BE FREE OF ROCKS AND DEBRIS. FINE GRADE IN SEED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS ½" AND GREATER. FINE GRADE IN SODDED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS <sup>1</sup>/<sub>4</sub>"AND GREATER. CONTRACTOR TO REPORT ANY POOR DRAINAGE CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS TO PROVIDE VERIFICATION THAT ALL SOD IS OF THE SPECIES SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE ALLOWED. SOD TO BE LAID WITH TIGHT STAGGERED EDGES AND BE ROLLED AFTER INSTALLATION. SEEDED AREAS CANNOT BE SUBSTITUTED WITH SOD.
- MULCHS: ALL PLANTING BEDS THAT CALL FOR WOOD/ORGANIC MULCH TO RECEIVE 4" ORGANIC SHREDDED BARK MULCH. SHREDDED MULCH IS TO BE OF FIBROUS MATERIAL, NOT CHIPS OR CHUNKS, NO FABRIC IS TO BE PLACED UNDER WOOD/ORGANIC MULCH. TREES IN TURF AND NATIVE GRASS AREAS TO RECEIVE 4' DIAMETER OF WOOD MULCH, 3" DEPTH. SHRUBS AND GROUNDCOVERS IN NATIVE GRASS AREAS TO RECEIVE 3' DIAMETER OF WOOD MULCH, 3" DEEP. ALL MULCHED BEDS ARE TO BE SPRAYED WITH WATER AFTER INSTALLATION TO HELP MULCH TO MAT DOWN.

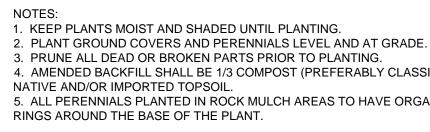
TREES IN COBBLE/ROCK MULCH TO RECEIVE 4' DIAMETER OF WOOD MULCH. 3" DEEP. SHRUBS AND GROUNDCOVERS IN COBBLE/ROCK MULCH AREAS TO RECEIVE 3' DIAMETER OF WOOD MULCH, 3" DEEP. NO FABRIC UNDERLAYMENT IN WOOD MULCH AREAS.

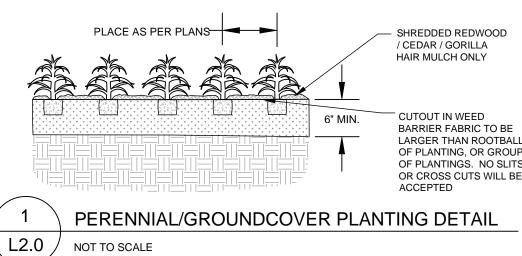
ALL PLANTING BEDS THAT CALL FOR COBBLE/ROCK MULCH TO RECEIVE MIN. 3" DEPTH OF MULCH USE PERMEABLE FABRIC UNDERLAYMENT FOR ALL COBBLE/AGGREGATE AREAS WITH SLOPES 3:1 AND LESS. USE QUICK RELEASE ORGANIC PRE-EMERGENT HERBICIDE FOR ALL MULCHED AND PERENNIAL/PLANTING BEDS (AND FOR COBBLE/AGGREGATE AREAS WITH SLOPES EXCEEDING 3:1 GRADE.

- SEED MIX INSTALLATION: CONTRACTOR TO DRILL SEED WITH BRILLION 10. TYPE APPLICATOR AND APPLY 'SOIL GUARD' BONDED FIBER MATRIX (BFM), WHERE INDICATED PER PLAN AND SCHEDULES. APPLY SEED IN TWO DIRECTIONS (PERPENDICULAR OF THE OTHER) ADD SOIL GUARD BFM FOR DRILL SEEDING WHERE NOTED PER PLAN AND ON ALL SLOPES 5:1 TO 3:1. FOR AREAS WITH 3:1 SLOPES OR GREATER CONTRACTOR TO USE SOIL GUARD APPLICATION ONLY (IN LIEU OF HYDROMULCH) CONTRACTOR TO SPOT SEED NON-GERMINATING AREAS (3) MONTHS AFTER INITIAL SEED APPLICATION. CONTRACTOR TO RE-SEED ALL BARE AREAS (6"x6") AND GREATER AFTER (6) MONTHS FROM SEED GERMINATION OR AT THE BEGINNING OF THE FOLLOWING GROWING SEASON. PRIOR TO THE 11-MONTH WARRANTY INSPECTION RE-APPLY SOIL GUARD AND SEED MIX TO ALL BARE AREAS (6"x6" OR GREATER) AND TO ALL BARE AREAS (4"x4" OR GREATER) ON ALL SLOPES 3:1 AND GREATER.
- 11 REMOVED DEAD TWIGS AND BRANCHES FROM ALL NEW AND EXISTING PLANT MATERIAL IN A MANNER THAT DOES NOT CHANGE THE NATURAL HABIT OF THE PLANT MATERIAL. SCARES OF 1" OR MORE SHALL BE PAINTED WITH ORGANIC TREE PAINT. CENTRAL LEADERS SHALL NOT BE REMOVED AT ANY TIME. NEWLY PLANTED TREES WITHOUT CENTRAL LEADERS WILL BE REJECTED.
- 12. CONTRACTOR TO APPLY FERTILIZER IN SPRING & LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.

ALL SEEDED AND SODDED AREAS TO HAVE RECOMMEND FERTILIZER APPLICATIONS ADDED 2 TO 3 WEEKS AFTER SEEDLING EMERGENCE. AND ONCE IN MID TO LATE JUNE, IN EARLY TO MID AUGUST, AND ONCE IN LATE SEPTEMBER. SEEDED AND SODDED AREAS ARE ALSO TO RECEIVE .5 LB. OF ELEMENTAL SULFUR (OR EQUIVALENT MATERIAL) PER 1,000 S.F. APPLIED IN LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.

- ALL PLANT MATERIALS AND UTILITIES ARE SHOWN AT AN APPROXIMATE LOCATIONS. THE CONTRACTOR MAY NEED TO ADJUST LOCATIONS OF PLANT MATERIAL TO ADHERE TO SPECIFIC ON-SITE CONDITIONS AND CODE REQUIREMENTS. ALL TREES AND SHRUBS TO BE PLACES AT 2' MINIMUM BACK OF CURB. CONTRACTOR TO CALL FOR UTILITY LOCATES BEFORE PLANTING (TYP.) 1-800-922-1987, OR CALL 811 BEFORE YOU DIG!
- STEEL EDGING TO BE USED TO SEPARATE ALL TURF AND/OR SEEDED 14. AREAS FROM PLANTING BEDS. USE PERFORATED EDGING SEGMENTS TO OBTAIN POSITIVE DRAINAGE FOR ALL DRAINAGE SWALES OR AREAS OF STANDING WATER.
- 15. CONTRACTOR TO PROVIDE COBBLE & UNDERLAYMENT FOR BUILDING DRAINS AND SWALES THROUGH LANDSCAPED AREAS.
- 16. ALL REQUIRED LANDSCAPING TO BE INSTALLED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- 17. ALL NURSERY STOCK TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI z60.1) AND THE COLORADO NURSERY ACT.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE 18. ARCHITECT FOR ALL REQUIRED INSPECTIONS. PROVIDE AT LEAST 48 HOURS NOTICE TO SCHEDULE AN INSPECTION. REQUIRED INSPECTIONS INCLUDE A LANDSCAPE LAYOUT AND PLANT MATERIAL VERIFICATION AND PLACEMENT INSPECTION, IRRIGATION MAIN LINE INSPECTION, LANDSCAPE AND IRRIGATION PUNCH LIST INSPECTION, AND A LANDSCAPE AND IRRIGATION FINAL INSPECTION.





19. CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIAL. TURF. IRRIGATION COMPONENTS, AND WORKMANSHIP. REPLACEMENT PLANT MATERIALS SHALL BE OF THE SAME SPECIES AND SIZE AS THE DECAYED OR DEAD PLANT MATERIAL. WARRANTY IS VOID IF PLANT MATERIAL ARE UNDER OR OVER-WATERED/FERTILIZED, DAMAGED BY VANDALISM OR NEGLECTED BY OWNER AFTER FINAL MAINTENANCE PERIOD AND FINAL ACCEPTANCE IS PROVIDED.

REMOVE ALL TREE STAKING MATERIALS AT END OF WARRANTY, PRIOR TO FINAL ACCEPTANCE

20. MAINTENANCE: THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE AND ANY RIGHT OF WAY AREAS BETWEEN THE CURB AND PROPERTY LINES OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT (INCLUDING ANNUAL BEDS). ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE "ALCC SPECIFICATIONS HANDBOOK" REVISED EDITION- 1996. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE. **IRRIGATION NOTES** ALL TURF AREAS TO BE IRRIGATED WITH AN AUTOMATIC POP-UP SPRINKLER

SYSTEM. ALL SHRUBS BEDS TO BE IRRIGATED WITH AUTOMATIC DRIP IRRIGATION SYSTEM. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF INDIVIDUAL PLANT MATERIAL.

IRRIGATION SYSTEM TO BE ADJUSTED AS NEEDED FOR PLANT ESTABLISHMENT FOR A PERIOD OF AT LEAST ONE (1) YEAR.

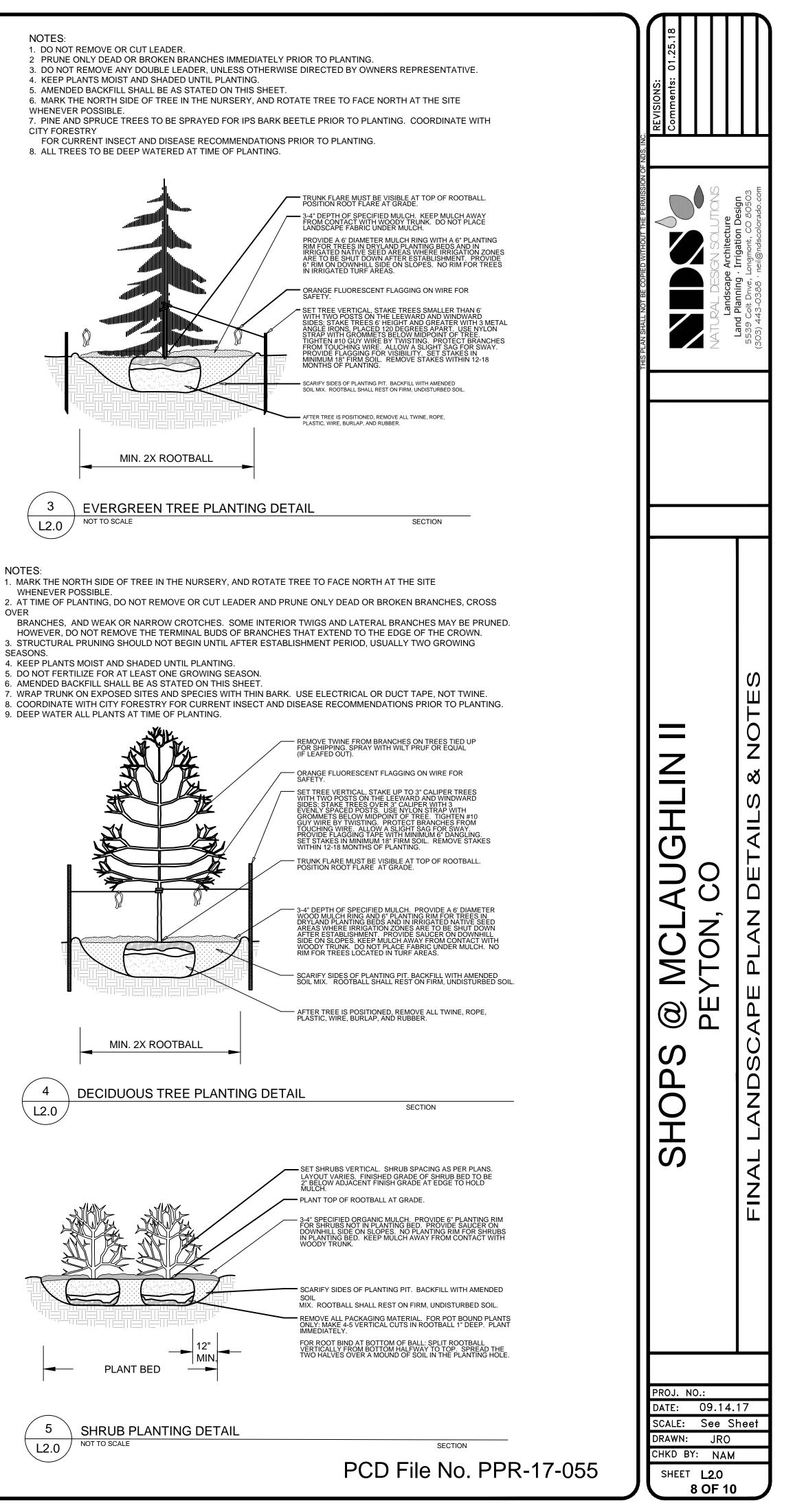
ADJUSTMENTS TO BE MADE AFTER ESTABLISHMENT BASED ON SPECIFIC PLANT REQUIREMENTS. SEE SUGGESED RUN TIMES PROVIDED WITHIN THESE PLANS.

DESIGN OF IRRIGATION SYSTEMS TO MEET OR EXCEED LOCAL REQUIREMENTS AND INDUSTRY STANDARDS. CONSTRUCTION DOCUMENTS SUITABLE FOR DEVELOPMENT COORDINATION TO BE PROVIDED.

IRRIGATION SYSTEM TO BE DESIGNED USING APPROPRIATE COMPONENTS FOR PLANT MATERIAL, AND WILL INCLUDE A SMART ET CONTROLLER AND RAIN SENSOR.

ALL NATIVE SEED AREAS TO BE PERMANENTLY IRRIGATED.

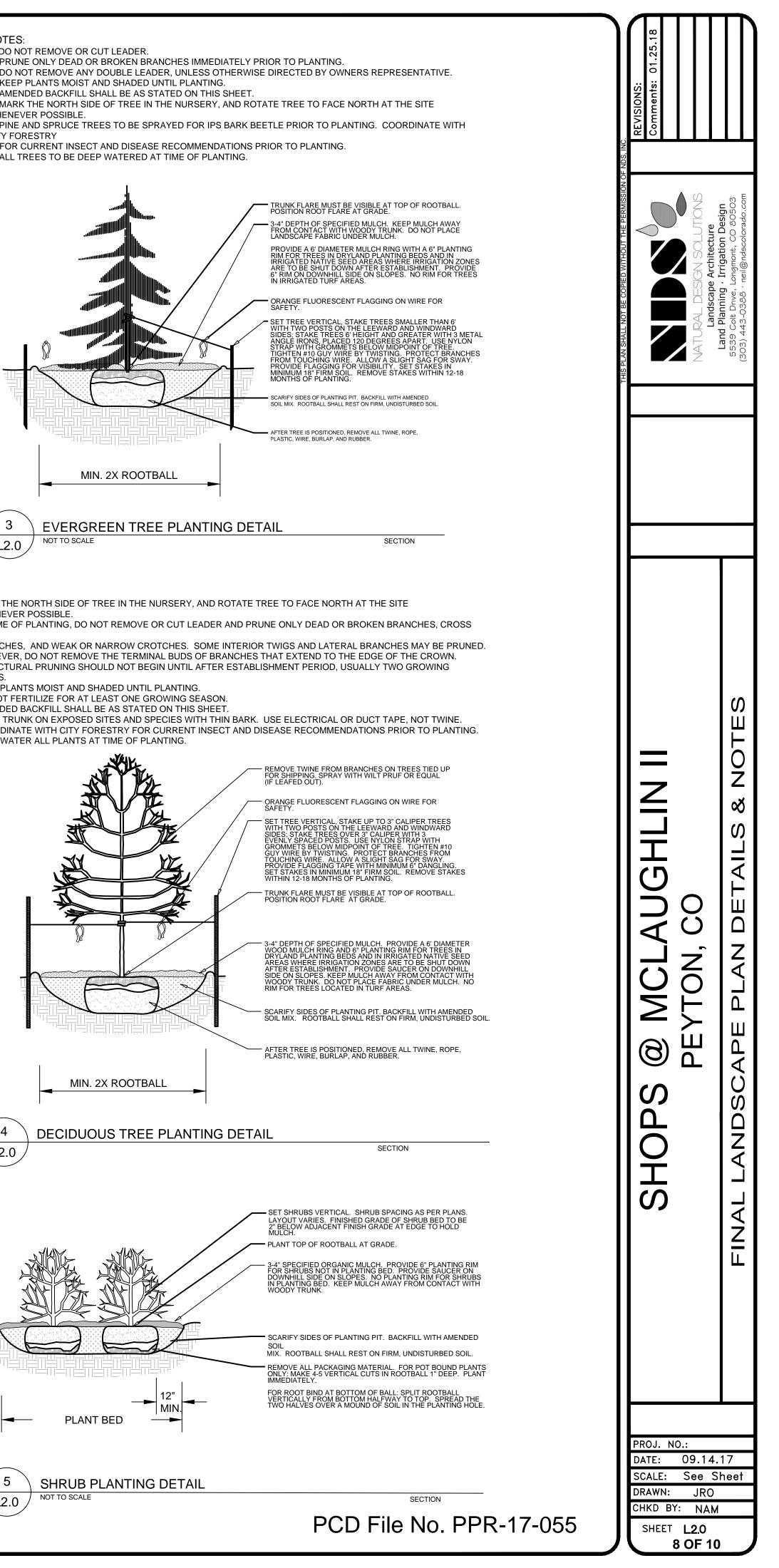
NOTES:

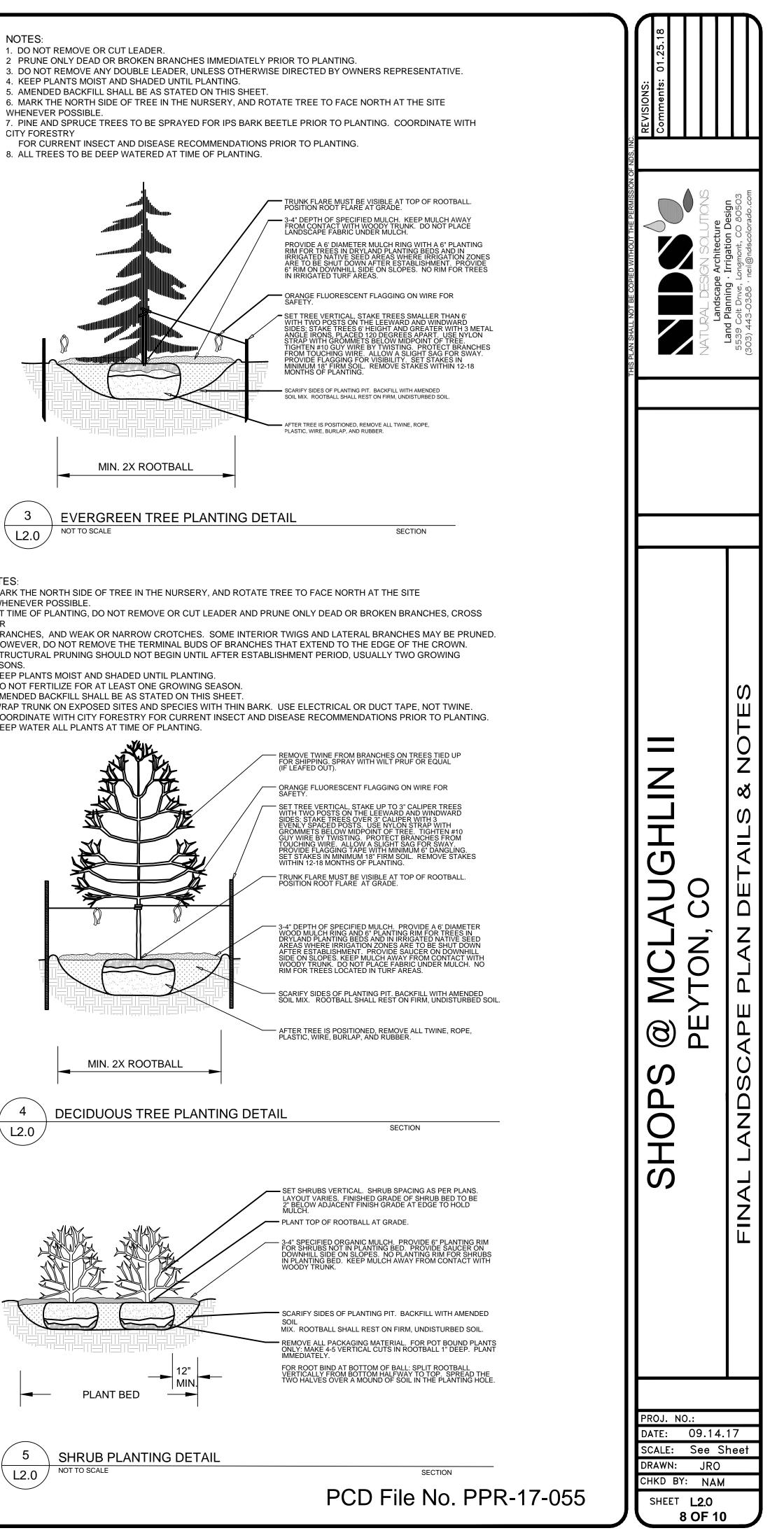


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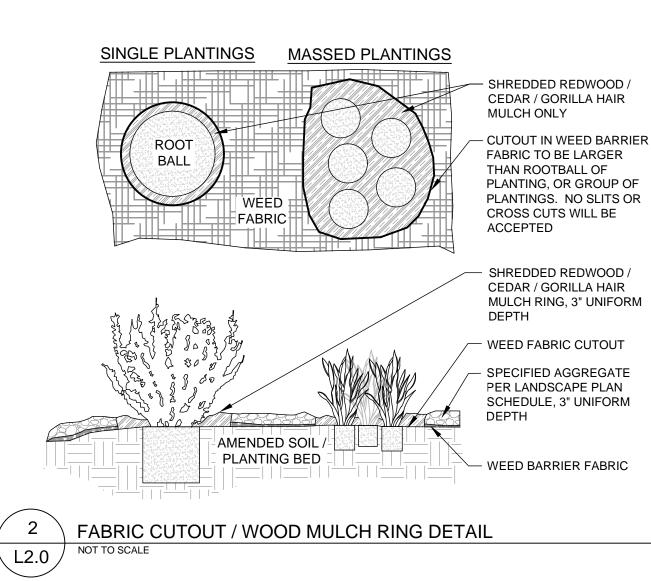
OVER

SEASONS.





4. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 5. ALL PERENNIALS PLANTED IN ROCK MULCH AREAS TO HAVE ORGANIC MULCH



PROPERTY OWNERS ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

- 1. COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- 2. PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- 3. OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES RULES AND REGULATIONS.
- 4. SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- 5. THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATION OR ALTERING THE EXISTING UTILITY FACILITIES.
- 6. OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- 7. THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- 8. OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- 9. OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- 10. IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT TH WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NESC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- 11. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS. RATES AND POLICIES OF SPRINGS UTILITIES.

	SINGLE-FAMILY				
BUILDING TYPE	V-B				
SQUARE FOOTAGE	5887 SF				
SPRINKLED	NO				
FH REQ'D.	2				
FIRE FLOW REQ'D.	2000 GPM				
FIRE FLOW PROV'D.	TBD GPM				
FLOW DURATION	2 HRS				
FH SPACING	450 FT				
HOSE LAY	225 FT				
AREA SEPARATION WALL	NO				

<u>BUILDING DATA</u>

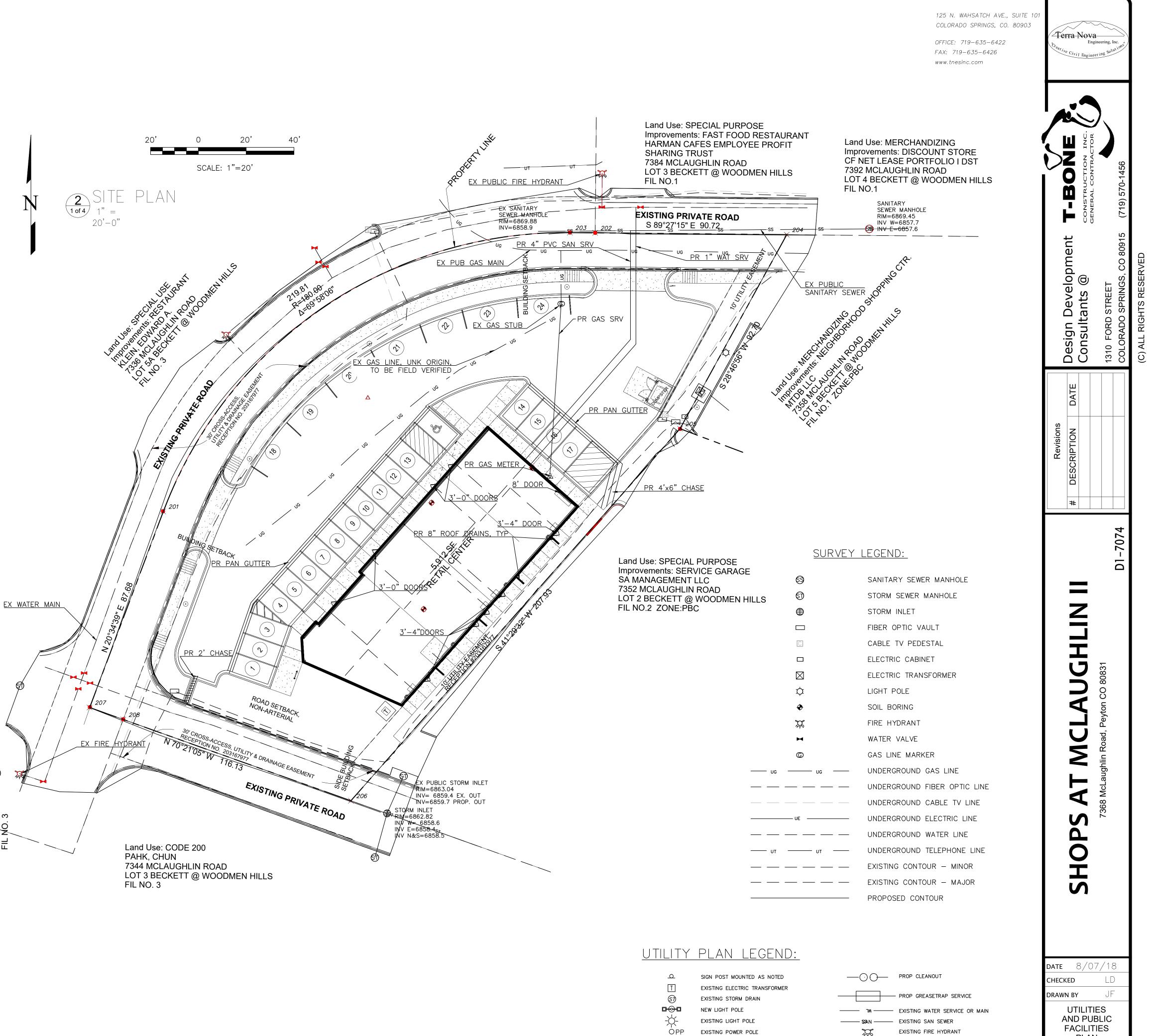
PRESSURE ZONE: TBD

**VOO** 

50 =

USE AUF





------ UG ----- EXISTING UNDERGROUND ELECTRICAL LINE (UGE)

----- UE ----- EXISTING UNDERGROUND ELECTRIC LINE

PPR <u>- 17-055</u>

EXISTING WATER VALVE

Χ

9 of 10

PLAN

**C1** 

### <u>GRADING & EROSION CONTROL NOTES</u>

1. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS.

2. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.

3. BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMP'S MAY BE REQUIRED BY CITY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES (E.G., ESTIMATED TIME OF EXPOSURE, SEASON OF THE YEAR, ETC.).

4. VEHICLE TRACKING OF SOILS OFF-SITE SHALL BE MINIMIZED.

5. ALL WASTES COMPOSED OF BUILDING MATERIALS MUST BE REMOVED FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.

6. NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE CITY ENGINEER. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.

7. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT AND SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OF FACILITIES.

8. ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMP'S IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE MANUAL AND IN ACCORDANCE WITH THE EROSION AND STORMWATER QUALITY CONTROL PLAN APPROVED BY THE CITY OF COLORADO SPRINGS, IF REQUIRED.

9. ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMP'S AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCES OPERATION, SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS AND THE MANUAL AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION. THE INSTALLATION OF THE FIRST LEVEL OF TEMPORARY EROSION CONTROL FACILITIES AND BMP'S SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY EARTH DISTURBANCE OPERATIONS TAKING PLACE.

10. ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION.

11. ALL EARTH DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED IN SUCH A MANNER SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME.

12. ALL WORK AND EARTH DISTURBANCES SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.

13. SUSPENDED SEDIMENT CAUSED BY THE ACCELERATED SOIL EROSION SHALL BE MINIMIZED IN RUNOFF WATER BEFORE IT LEAVES THE SITE OF EARTH DISTURBANCE.

14. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY.

15. TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO THE STANDARDS AND SPECIFICATIONS PRESCRIBED IN THE MANUAL, AND IN ACCORDANCE WITH THE PERMANENT EROSION CONTROL FEATURES SHOWN ON THE EROSION ND STORMWATER QUALITY CONTROL PLANS APPROVED BY THE CITY OF COLORADO SPRINGS, IF REQUIRED.

16. SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY OTHER DISTURBED LAND AREA SHALL BE COMPLETED WITHIN TWENTY-ONE (21) CALENDAR DAYS AFTER FINAL GRADING, OR FINAL EARTH DISTURBANCE, HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMP'S SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.

17. NO PERSON SHALL CAUSE, PERMIT, OR CONTRIBUTE TO THE DISCHARGE INTO THE MUNICIPAL SEPARATE STORM SEWER POLLUTANTS THAT COULD CAUSE THE CITY OF COLORADO SPRINGS TO BE IN VIOLATION OF ITS COLORADO DISCHARGE PERMIT SYSTEM MUNICIPAL STORMWATER DISCHARGE PERMIT.

18. THE OWNER, SITE DEVELOPER, CONTRACTOR, AND OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.

19. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER, INCLUDING THE TEMPORARY OR PERMANENT RAMPING WITH MATERIALS FOR VEHICLE ACCESS.

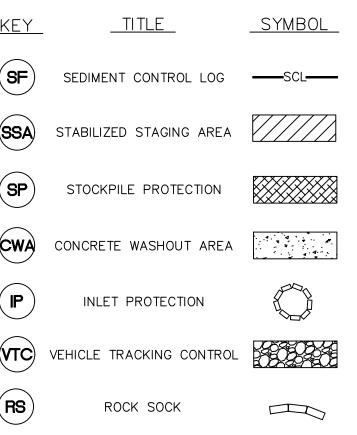
20. INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), REGULATIONS PROMULGATED, CERTIFICATIONS OR PERMITS ISSUED, IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE MANUAL. IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.

21. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURE'S LABELS. MATERIALS SHALL NOT BE STORED IN A LOCATION WHERE THEY MAY BE CARRIED BY STORMWATER RUNOFF INTO A STATE WATER AT ANY TIME.

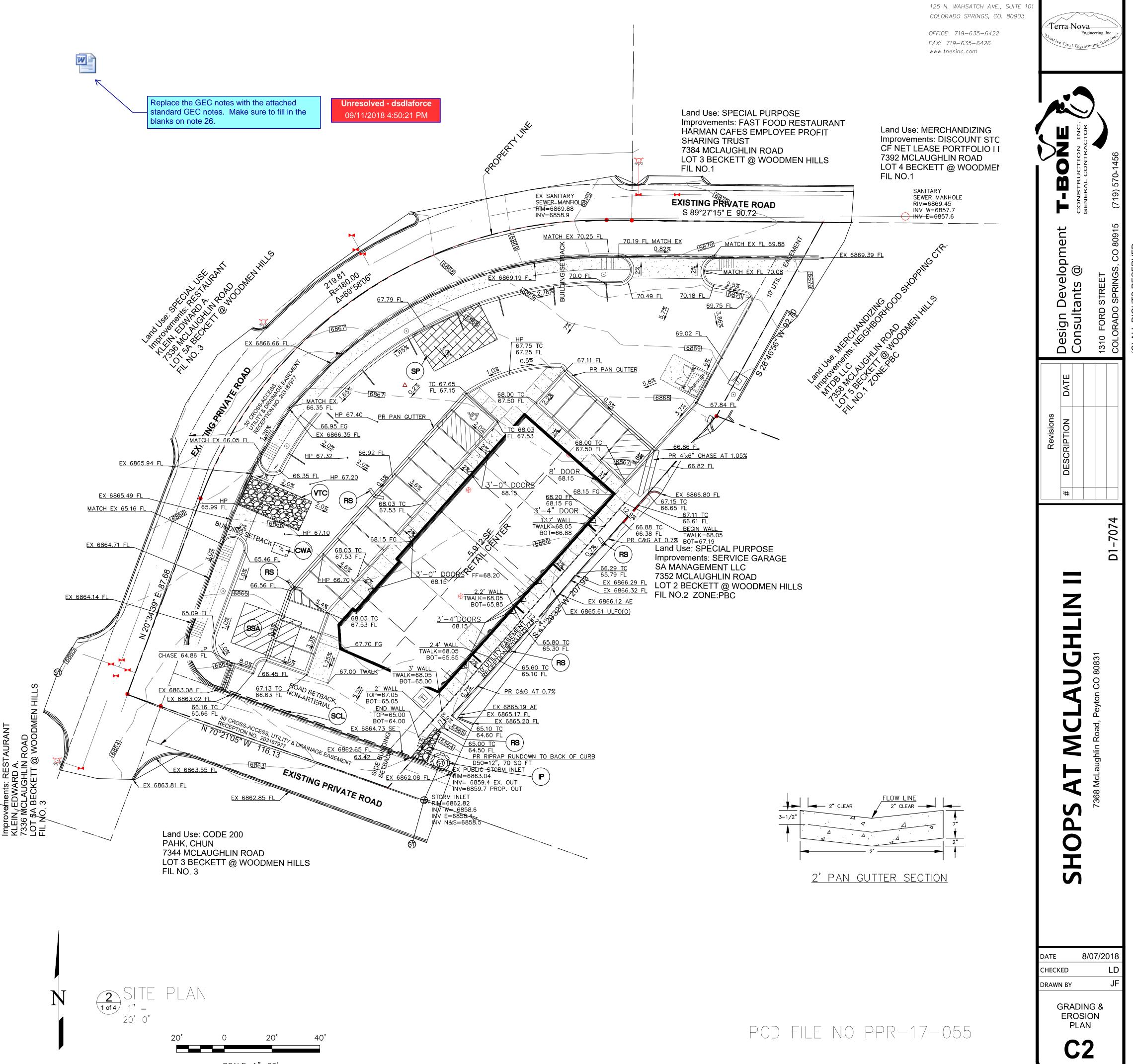
22. SPILL PREVENTION AND CONTAINMENT MEASURES SHALL BE USED AT STORAGE, AND EQUIPMENT FUELING AND SERVICING AREAS TO PREVENT THE POLLUTION OF ANY STATE WATERS, INCLUDING WETLANDS. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY, OR CONTAINED UNTIL APPROPRIATE CLEANUP METHODS CAN BE EMPLOYED. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE FOLLOWED, ALONG WITH PROPER DISPOSAL METHODS.

### GRADING LEGEND

EXISTING CONTOURS - MINOR	6132	KEY	
EXISTING CONTOURS - MAJOR	6130		
UNERGROUND ELECTRIC LOCATES (RED FLAGS)	ULE(R)	(SF)	SEDIMENT CONTROL LOG
UNDERGROUND GAS LOCATES (YELLOW FLAGS)	ULG(Y)	SSA	STABILIZED STAGING AREA
UNDERGROUND FIB. OPT. LOCATES (ORANGE FLA	AGS) ULL(R)	$\bigcirc$	
UNDERGROUND WATER LOCATES (BLUE FLAGS)	ULW(B)	(SP)	STOCKPILE PROTECTION
UNDERGROUND CTV LOCATES (ORANGE FLAGS)	ULCTV(O)	CWA	CONCRETE WASHOUT AREA
UNDERGROUND TEL. LOCATES (ORANGE FLAGS)	ULT(O)		CONCRETE WASHOOT AREA
PROPOSED FINISHED SURFACE	FS		INLET PROTECTION
PROPOSED FLOWLINE	FL	$\bigcirc$	
SPOT ELEVATION	SE	VIC	VEHICLE TRACKING CONTROL
ASPHALT EDGE	AE	RS	ROCK SOCK
LOW POINT	LP		
HIGH POINT	HP		
EXISTING ELEVATION	12.00*		
GRADE & DIRECTION	2.2%		
TERRAIN STRING	TS		
BOUNDARY MONUMENT	BM		
CONCRETE CURB TOP BACK	TBC		
PROPOSED CONTOUR	<u>~62</u>		
EXISTING SPOT GRADE	× EX 7314.00		
PROPOSED SPOT GRADE	× 7314.00		
CONCRETE EDGE	CE		
PROPOSED FINISHED GROUND	FG		



EROSION CONTROL LEGEND



SCALE: 1"=20'

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## Markup Summary

Replace the GEC notes with the attached standard GEC notes. Make sure to fill in the blanks on note 26. (1)

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Subject: Callout Page Label: [1] 172900 DP-GRAD Lock: Locked Author: dsdlaforce Date: 9/12/2018 1:14:02 PM Color:

Replace the GEC notes with the attached standard GEC notes. Make sure to fill in the blanks on note 26.

(2)



Subject: File Attachment Page Label: [1] 172900 DP-GRAD Lock: Locked Author: dsdlaforce Date: 9/12/2018 1:14:01 PM Color:

Unresolved - dsdlaforce 09/11/2018 4:50:21 PM Subject: Unresolved Page Label: [1] 172900 DP-GRAD Lock: Locked Author: dsdlaforce Date: 9/12/2018 1:14:02 PM Color: