

VICINITY MAP



SHOPS AT MCLAUGHLIN II

7368 McLaughlin Road, Peyton CO 80831

DEVELOPMENT PLAN

Lot 2 Beckett at Woodmen Hills FIL No 3

PROJECT DATA:

ADDRESS: 7368 MCLAUGHLIN RD, PEYTON, CO 80831  
LEGAL DESCRIPTION: LOT 2 BECKETT AT WOODMEN HILLS FIL NO 3  
PLAT NO: 11483  
PARCEL NUMBER: 4307202031  
ZONING: CR (COMMERCIAL REGIONAL)  
LOT SIZE: 37,482 SF  
CURRENT USE: VACANT  
PROJECT NAME: SHOPS AT MCLAUGHLIN II

BUILDING INFORMATION:

BUILDING AREA: 5,912 SF  
OCCUPANCY TYPE: GENERAL RETAIL  
CONSTRUCTION TYPE: IIB  
FIRE SYSTEMS: N/A  
SEPARATION WALLS: NONE

ZONING CODE STUDY:

BUILDING TYPE: RETAIL  
USE & OCCUPANCIES: RETAIL, GENERAL  
ROADWAY LANDSCAPING: 10' DEEP / NON-ARTERIAL ROADWAY  
INTERIOR LANDSCAPE COVERAGE: MINIMUM 5%/1,407 SF ACTUAL 2,796 SF  
BUILDING HEIGHT: MAXIMUM 45' ACTUAL 22'-0"  
FRONT SETBACK: 50'  
SIDE SETBACK: 25'  
REAR SETBACK: N/A

BUILDING DEPARTMENT WITH JURISDICTION:  
PIKES PEAK REGIONAL BUILDING DEPT.

REQUIRED PARKING SPACES:

STANDARD PARKING: 1 SPACE PER 250 SF OF BUILDING  
REQUIRED: 24 ACTUAL: 24

DISABLED PARKING: 1 SPACE, VAN ACCESSIBLE  
REQUIRED: 1 ACTUAL: 1

DEVELOPMENT APPLICANT:

Applicant Name: James A. Childs, AIA  
Company: T-Bone Construction  
1310 Ford St.  
Colorado Springs 80915  
Phone: 719-570-1456  
Email: jim@tboneconstruction.com

SHEET #	SHEET NAME
DP 1	1 of 10 SITE PLAN
DP 2	2 of 10 SITE DETAILS
DP 3	3 of 10 ELEVATIONS
DP 4	4 of 10 ELEVATIONS
DP 5	5 of 10 FLOOR PLAN
DP 6	6 of 10 PHOTOMETRIC PLAN
L 1.0	7 of 10 LANDSCAPE PLAN
L 2.0	8 of 10 LANDSCAPE DETAILS
C 1	9 of 10 UTILITY PLAN
C 2	10 of 10 GRADING AND EROSION PLAN

Land Use: SPECIAL USE  
Improvements: RESTAURANT  
KLEIN, EDWARD A.  
7336 MCLAUGHLIN ROAD  
LOT 5A BECKETT @ WOODMEN HILLS  
FIL NO. 3

Land Use: CODE 200  
PAHK, CHUN  
7344 MCLAUGHLIN ROAD  
LOT 3 BECKETT @ WOODMEN HILLS  
FIL NO. 3

Land Use: SPECIAL PURPOSE  
Improvements: FAST FOOD RESTAURANT  
HARMAN CAFES EMPLOYEE PROFIT  
SHARING TRUST  
7384 MCLAUGHLIN ROAD  
LOT 3 BECKETT @ WOODMEN HILLS  
FIL NO.1

Land Use: MERCHANDIZING  
Improvements: DISCOUNT STORE  
CF NET LEASE PORTFOLIO I DST  
7392 MCLAUGHLIN ROAD  
LOT 4 BECKETT @ WOODMEN HILLS  
FIL NO.1

Land Use: MERCHANDIZING  
Improvements: NEIGHBORHOOD SHOPPING CTR.  
MTDB LLC  
7358 MCLAUGHLIN ROAD  
LOT 5 BECKETT @ WOODMEN HILLS  
FIL NO.1 ZONE:PBC

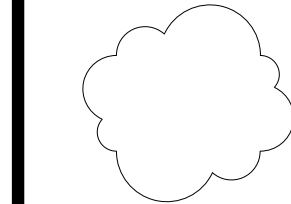
Land Use: SPECIAL PURPOSE  
Improvements: SERVICE GARAGE  
SA MANAGEMENT LLC  
7352 MCLAUGHLIN ROAD  
LOT 2 BECKETT @ WOODMEN HILLS  
FIL NO.2 ZONE:PBC

1 SITE PLAN  
1" = 20'-0"

NOTE:  
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THE PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

SIGNATURES:

FILE # PCD FILE NO. PPR-17-055



Design Development  
Consultants @

1310 FORD STREET  
COLORADO SPRINGS, CO 80915  
(719) 570-1456

Revisions	#	DESCRIPTION	DATE
	1	DP RESUBMITTAL	5-09-2018
	2	DP RESUBMITTAL	8-08-2018

SHOPS AT MCLAUGHLIN II

7368 McLaughlin Road, Peyton CO 80831

7213

CD

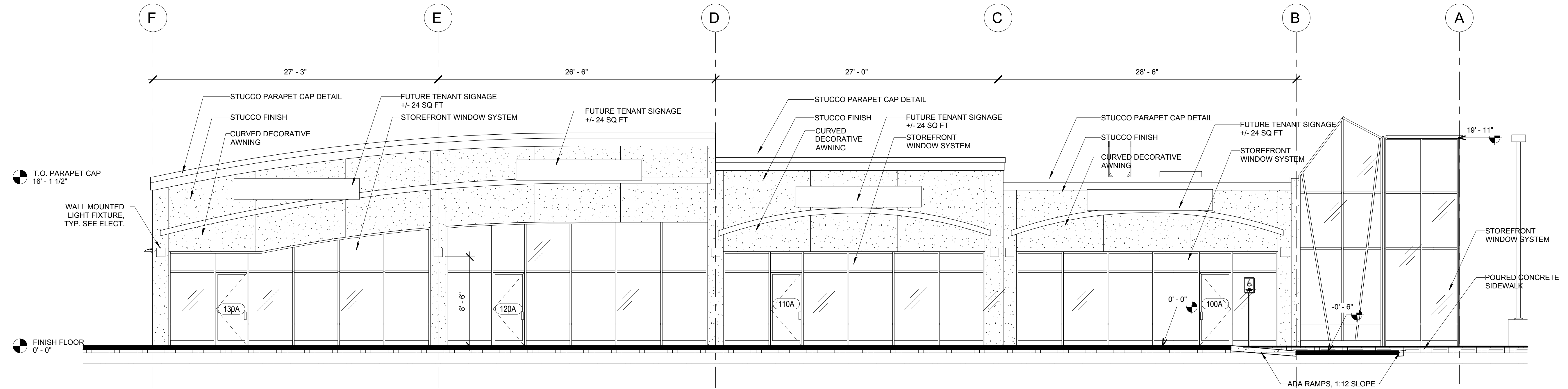
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DRAWN BY JM

1 of 10 SITE  
PLAN

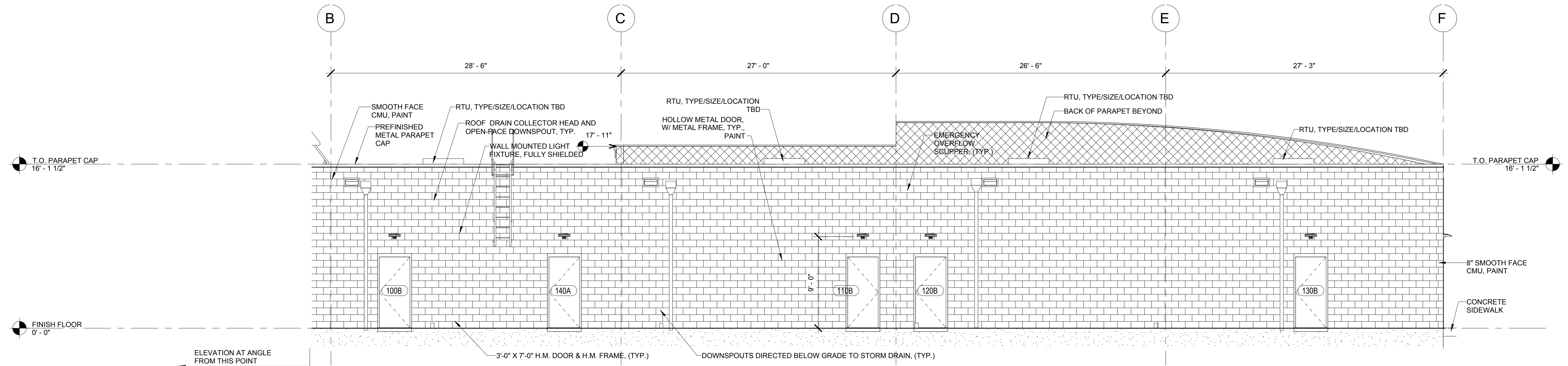
DP 1







1 DEV PLAN NORTH  
DP 3 3/16" = 1'-0"



2 DEV PLAN SOUTH  
DP 3 3/16" = 1'-0"



Design Development  
Consultants @

1310 FORD STREET  
COLORADO SPRINGS, CO 80915 (719) 570-1456

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Revisions		DATE
#	DESCRIPTION	
2	DP RESUBMITTAL 8-08-2018	

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7368 McLaughlin Road, Peyton CO 80831

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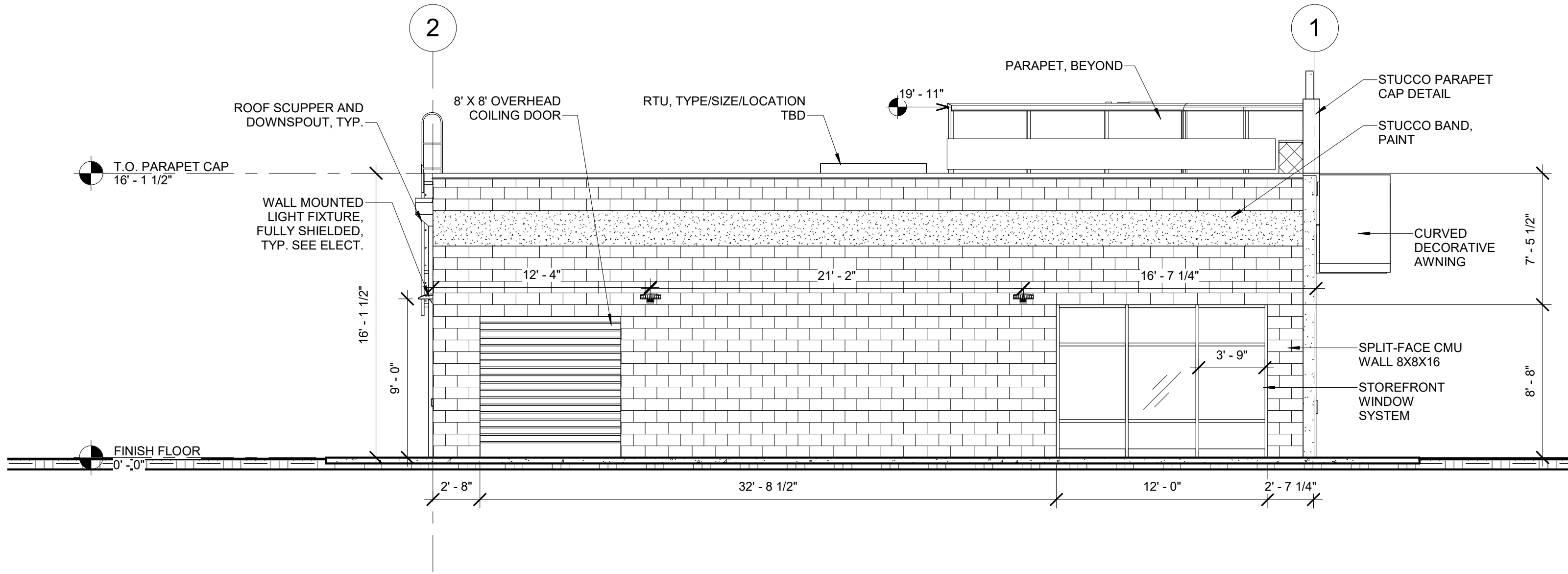
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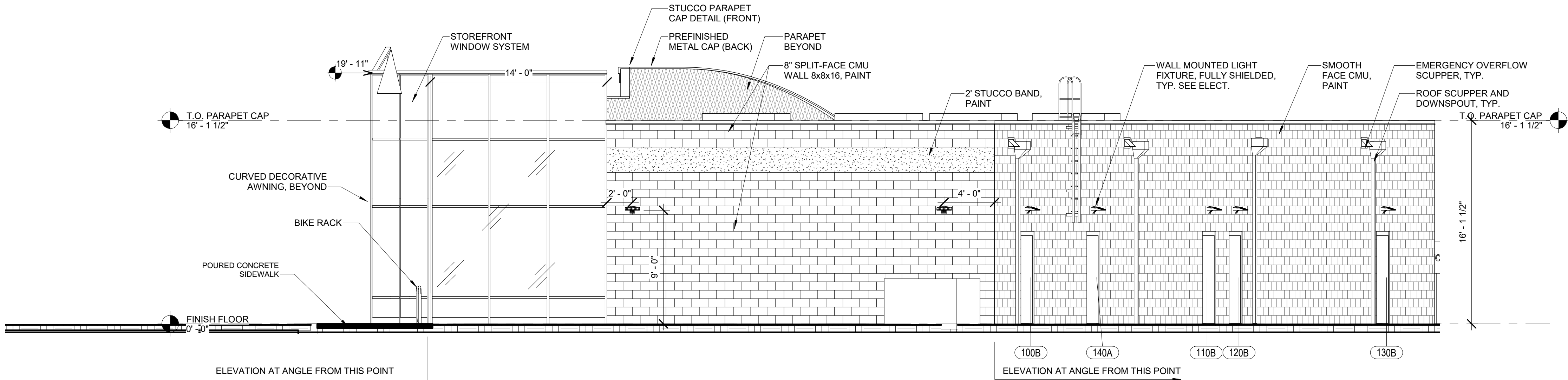
3 of 10  
ELEVATIONS

DP 3





1 DEV PLAN EAST  
DP 4 3/16" = 1'-0"



3 DEV PLAN WEST  
DP 4 3/16" = 1'-0"



Design Development  
Consultants @

1310 FORD STREET  
COLORADO SPRINGS, CO 80915

(719) 570-1456

Revisions		DATE
#	DESCRIPTION	

## SHOPS AT MCLAUGHLIN II

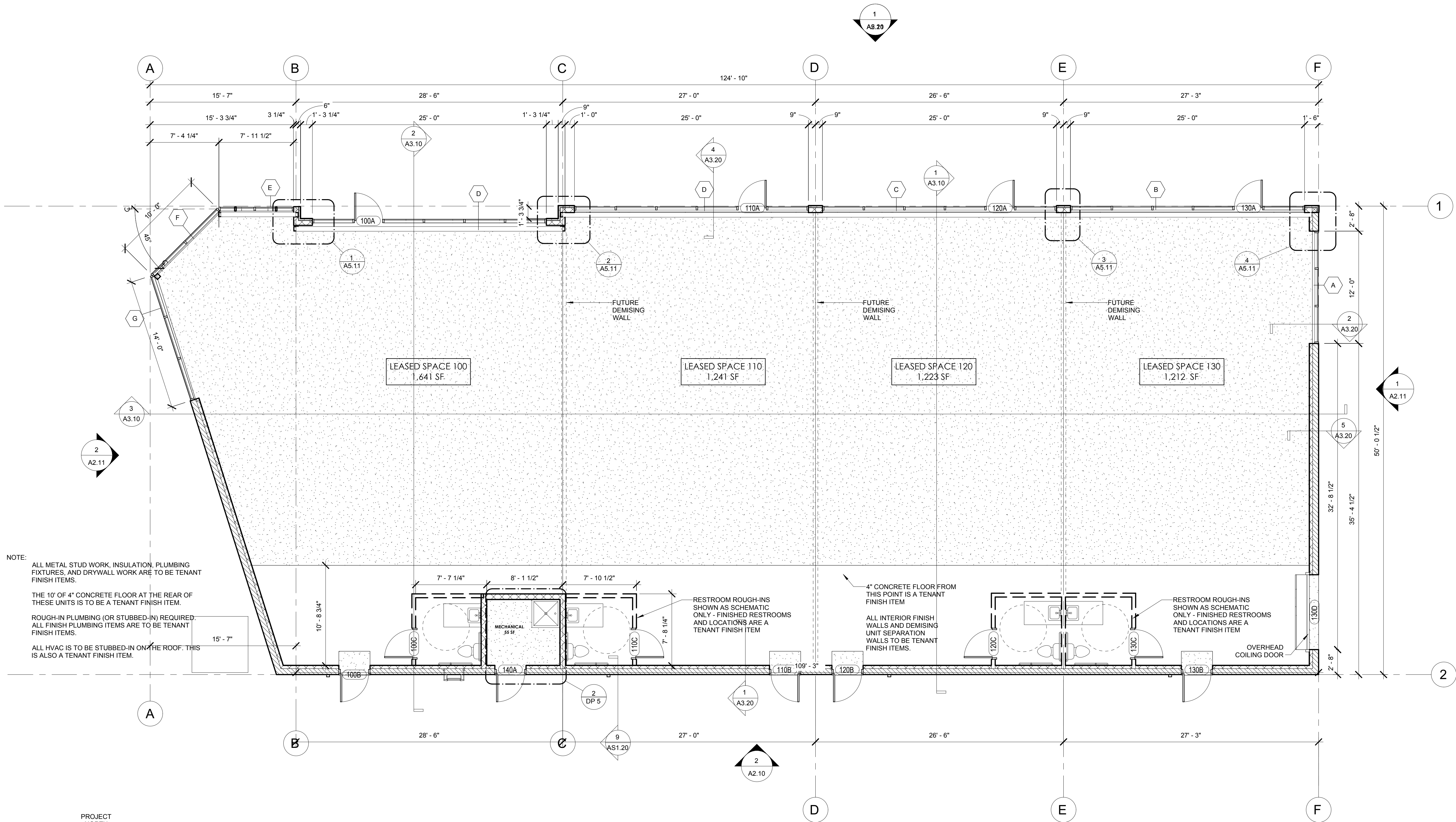
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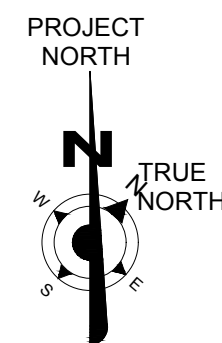
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DRAWN BY JM

4 of 10  
ELEVATIONS

DP 4

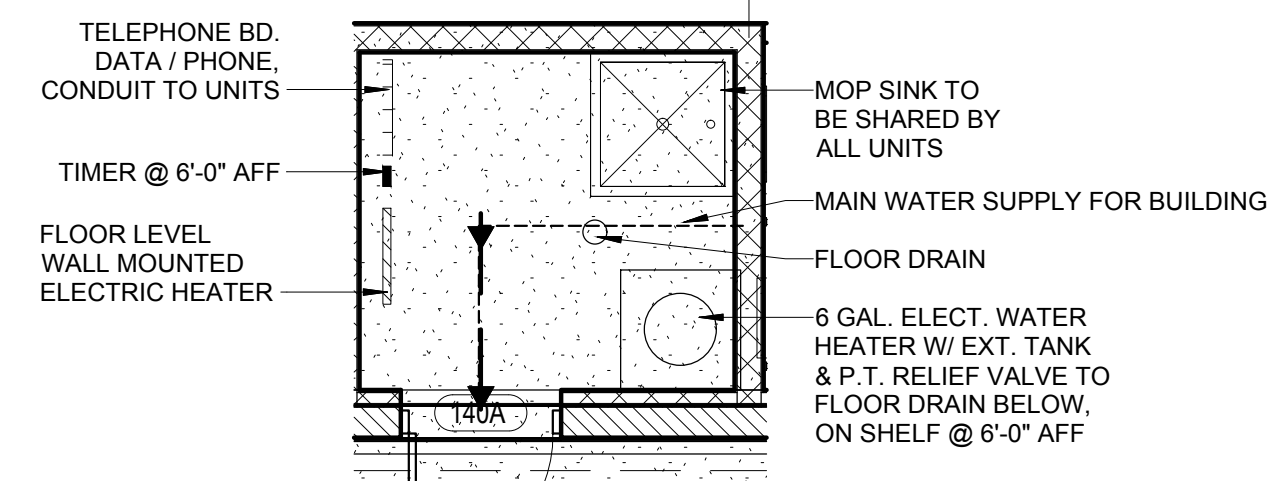


NOTE:  
ALL METAL STUD WORK, INSULATION, PLUMBING FIXTURES, AND DRYWALL WORK ARE TO BE TENANT FINISH ITEMS.  
THE 10' OF 4" CONCRETE FLOOR AT THE REAR OF THESE UNITS IS TO BE A TENANT FINISH ITEM.  
ROUGH-IN PLUMBING (OR STUBBED-IN) REQUIRED. ALL FINISH PLUMBING ITEMS ARE TO BE TENANT FINISH ITEMS.  
ALL HVAC IS TO BE STUBBED-IN ON THE ROOF. THIS IS ALSO A TENANT FINISH ITEM.



## FLOOR PLAN - DEV PLAN

1 DP 5  
3/16" = 1'-0"



## 2 LARGE FLOOR PLAN - MECH RM

DP 5  
1/4" = 1'-0"

PCD FILE NO. PPR-17-055



Design Development  
Consultants @

1310 FORD STREET  
COLORADO SPRINGS, CO 80915  
(719) 570-1456

Revisions	#	DESCRIPTION	DATE
	1	DP RESUBMITTAL	5-09-2018

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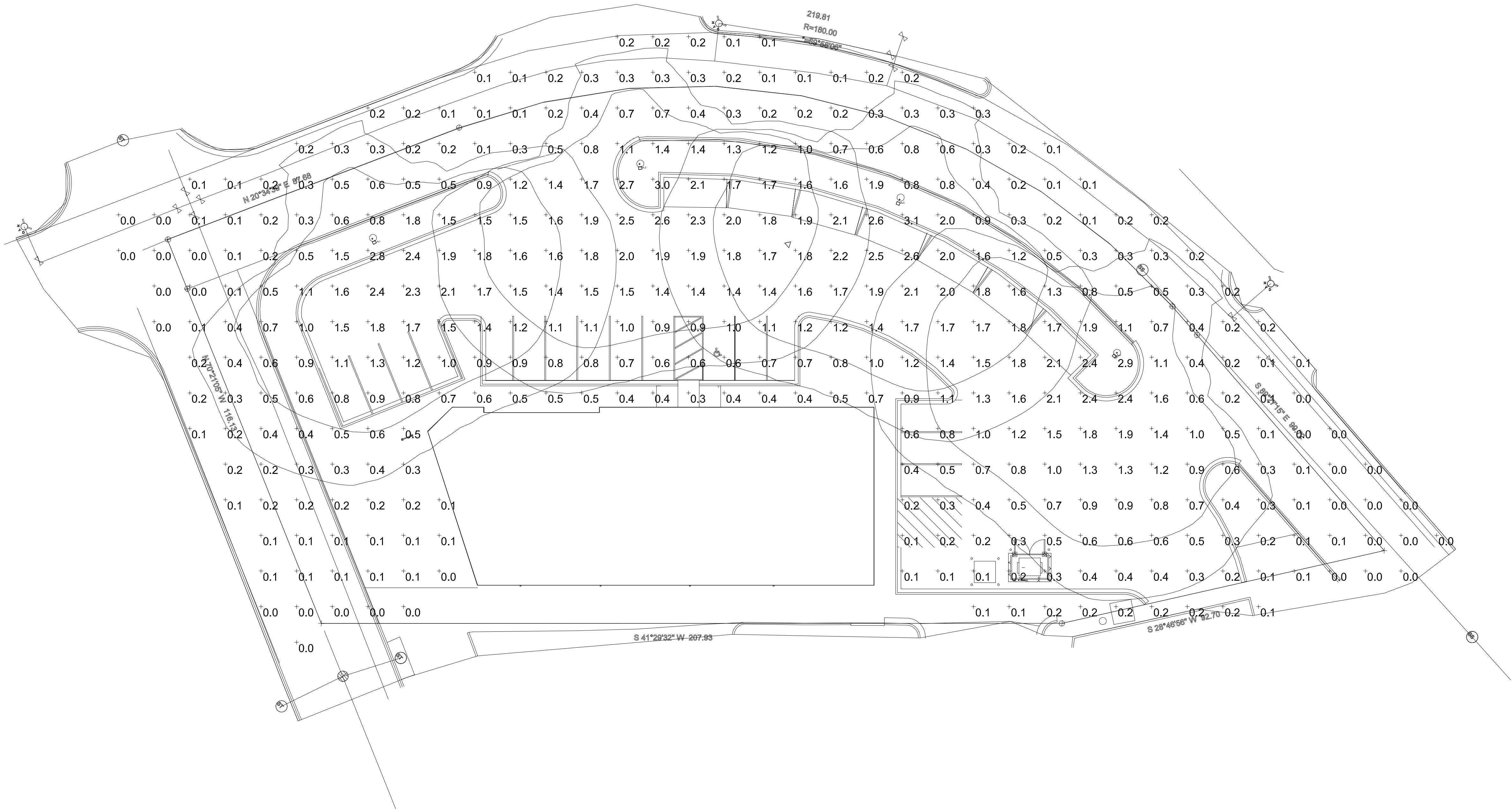
DATE 10-24-2017  
CHECKED DCW  
DRAWN BY JM

5 of 10  
FLOOR  
PLAN  
DP 5



Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
<div><div></div><div></div></div>	A	4	Lithonia Lighting	DSX1 LED P2 40K T4M MVOLT	DSX1 LED P2 40K T4M MVOLT	LED	1	DSX1_LED_P2_40K_T4M_MVOLT.ies	8707	0.95	70

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.8 fc	3.1 fc	0.0 fc	N/A	N/A



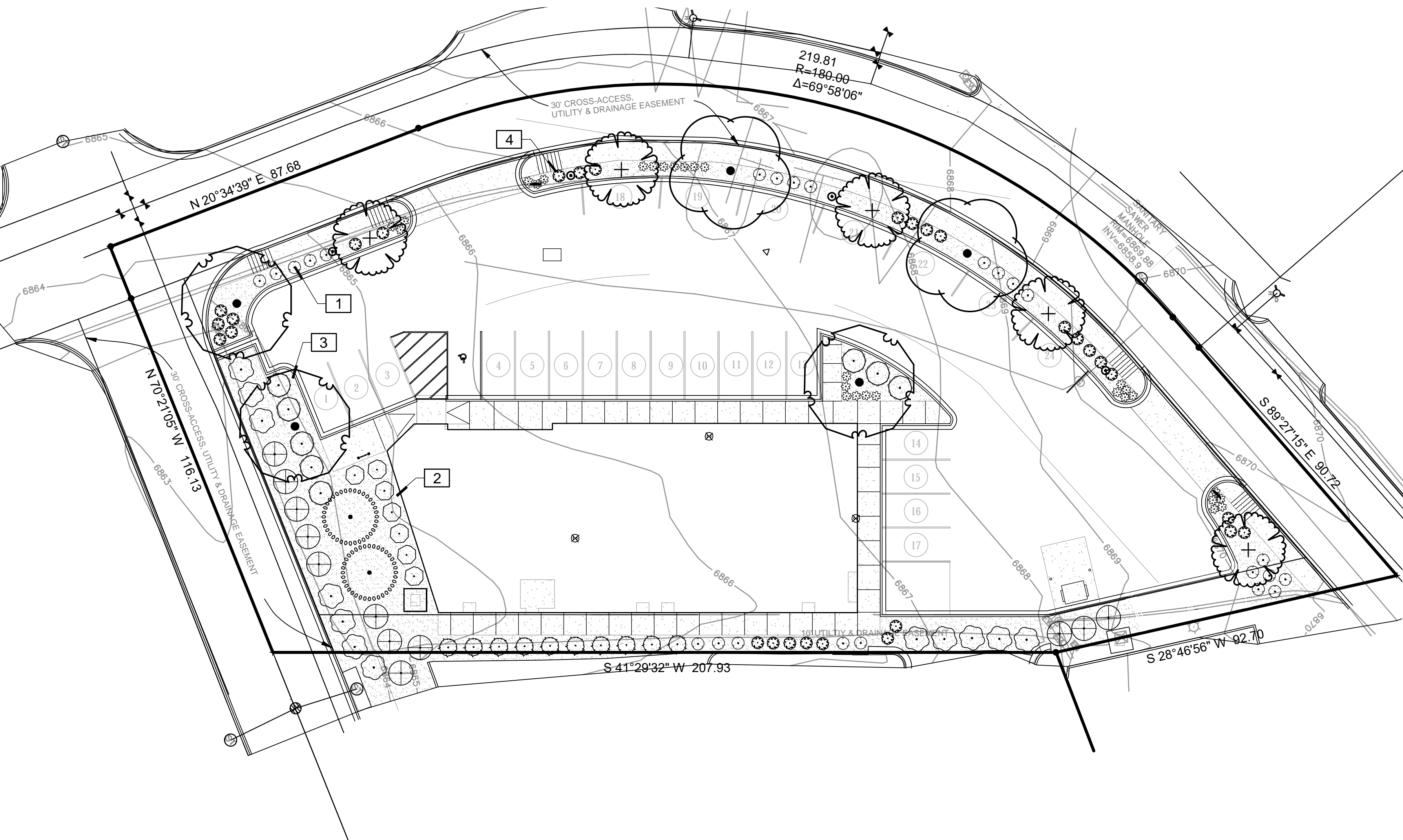
Plan View



SHOPS AT MCLAUGHLIN II  
7368 MCLAUGHLIN ROAD, PEYTON CO 80831

Designer  
Date  
10/20/2017  
Scale  
Not to Scale  
Drawing No.  
Summary

PCD File No. PPR-17-055



## LANDSCAPE PLAN

SCALE: 1" = 30'




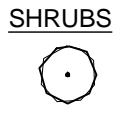
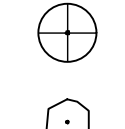
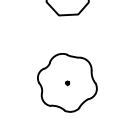
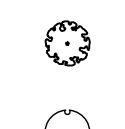

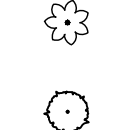
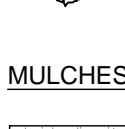
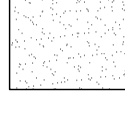


### PLAN NOTES:

- NO SUBSTITUTIONS WITHOUT PREVIOUS APPROVAL OF LANDSCAPE ARCHITECT. UNAPPROVED DEVIATIONS FROM THIS PLAN WILL BE RECTIFIED AT CONTRACTORS EXPENSE.
- CONTRACTOR TO PROVIDE ANALYSIS OF ANY AMENDMENTS PROPOSED FOR PLANTING AREAS PRIOR TO INSTALLATION OF SUCH MATERIALS.
- NO FABRIC UNDER WOOD MULCH IN ANY AREAS. ALL PLANTS IN ROCK MULCH AREAS TO RECEIVE SHREDDED CEDAR MULCH RINGS EQUAL TO THE ROOTBALL OF THE PLANT. MASSING SHALL HAVE CONTINUOUS SHREDDED MULCH BANDS. SEE DETAILS SHEET L2.0.
- DIPLINE TO BE PLACED OVER WEED BARRIER FABRIC AND STAKED ON TOP OF WEED BARRIER.
- WEED BARRIER CUTOUTS FOR PLANTS IN ROCK AREAS SHALL ACCOUNT FOR MATURE SIZE OF PLANTS, AND EQUAL AT LEAST THE DIAMETER OF THE ROOTBALL. SEE DETAILS SHEET L2.0
- ALL EMITTERS PER IRRIGATION PLAN.
- ALL EMITTERS TO BE PLACED AT THE APPROPRIATE LOCATIONS. ALL EMITTERS TO USE MICRO TUBING, STAKES, AND BUG CAPS.
- SEE LANDSCAPE DETAILS SHEET FOR ADDITIONAL NOTES AND DETAILS.
- RETAIN 10% OF ALL PLANT TAGS PER SPECIES FOR DURATION OF WARRANTY PERIOD.

### REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
1	PLACE SHREDDED CEDAR MULCH AROUND BASE OF ALL PERENNIALS AND GRASSES IN LARGE COBBLE AREAS. MASSED PERENNIALS TO RECEIVE LARGE RING AROUND ENTIRE GROUP (TYP). WOOD MULCH NOT REQUIRED AROUND BASE OF PLANTS LOCATED IN PEA GRAVEL.	
2	MINIMUM 3' ROOTBALL OFFSET FROM BUILDING, TYP.	
3	PLACE PLANTS TO PROVIDE MIN. 2' CLEARANCE FROM BACK OF CURB AT MATURE SPREAD.	
4	UTILIZE ROCK MULCH ALONG ROADWAYS TO MINIMIZE WATER USAGE AND POTENTIAL MAINTENANCE ISSUES	

### PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL
	3	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM / SHADEMASTER LOCUST	B & B	2" CAL
	2	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEETREE	B & B	2" CAL
	5	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	B & B	1.5" CAL
	2	PINUS EDULIS / PINON PINE	6' B&B	
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2
	8	ARCTOSTAPHYLOS X COLORADOENSIS 'CHIEFTAIN' / MANZANITA	5 GAL	
	12	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH	5 GAL	
	7	PHILADELPHUS LEWISII 'CHEYENNE' / LEWIS MOCK ORANGE	5 GAL	
	12	PHYSOCARPUS OPULIFOLIUS 'DIABLO' / DIABLO NINEBARK	5 GAL	
	29	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' / DWARF PURPLE NINEBARK	5 GAL	
	25	POTENTILLA FRUTICOSA 'GOLDFINGER' / GOLDFINGER POTENTILLA	5 GAL	
GRASSES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2
	29	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLUE GRAMA	1 GAL	
	10	SPOROBOLUS WRIGHTII / BIG SACATON	1 GAL	
MULCHES	QTY	BOTANICAL NAME / COMMON NAME		
	5,431 SF	AGGREGATE / RIVER ROCK MIXTURE MATCH ADJACENT SITES AND PLACE TO A UNIFORM DEPTH OF 3" OVER PERMEABLE WEED BARRIER FABRIC.		

### SITE CATEGORY REQUIREMENTS

ROADWAY LANDSCAPING (or Double Frontage Lot Streetscapes)					
Street Name or Zone Boundary (elev.) McLaughlin Rd	Street Classification Non-arterial	Setback Width Req. / Prov. 10' / 10'	Linear Footage 306	Tree/Feet Required 1 / 30	No. of Trees Req. / Prov. 11 / 8
Shrub and Orn. Grass Substitutes 30 / 30	Setback Plant Abbrev. Denoted on Plan -	Percent Ground Plane Veg. Req. / Provided 75% / 79%	High Water-use Turf % 0%		
PARKING LOTS					
No. of Vehicle Spaces Provided 22	Shade Trees (1/15) Required / Provided 2 / 2	Vehicle Lot Frontage (s) McLaughlin Rd	Length of Frontage (ft.) (excluding driveways) 140	2/3 Length of Frontage (ft.) 94	
Frontage Screening Provided (LF) 102	Evergreen LF Req.(50%) / Prov. 47	Length of Screening Wall or Berm Provided -	Vehicle Lot Plant Abbr. on Plan N/A	Percent Ground Plane Veg. Req. / Provided 75% / 80%	
INTERNAL LANDSCAPING					
Net Site Area (SF) (less public R.O.W.) 37,483	Percent Min. Internal Area (%) 5%	Internal Area (SF) Required / Provided 1,874 / (6,616)	Internal Trees (1/500 SF) Required / Provided 4 / 2	Internal Trees (1/500 SF) Shrub Sub Req/Prov 20 / 20	
Internal Plant Abbr. Denoted on Plan IN	Percent Ground Plane Veg. Req. / Provided 75% / 79%				
LANDSCAPE BUFFERS & SCREENS					
Street Name or Property Line (elev.)	Width (in. ft.) Req./ Prov.	Linear Footage	Buffer Trees (1/25') Required / Provided	Evergreen Trees Req.(50%) / Provided	Length of 6 ft. Opaque Structure Req. / Prov.

LEGAL DESCRIPTION:	LOT 2 BECKETT AT WOODMEN HILLS
COUNTY ZONING:	CS (COMMERCIAL SERVICE)
LOT AREA:	37,483 S.F. (0.86 ac.)
PROJECT AREA:	5,887 (RETAIL)
BLDG. COVERAGE:	5,887S.F. / 37,483 = 15.7%
LSP. COVERAGE:	6,616 S.F. / 37,483 = 17.65%
HARDSCAPE:	24,980 S.F. / 37,483 = 66.7%

SHOPS @ MCLAUGHLIN II  
PEYTON, CO

FINAL LANDSCAPE PLAN

REVISIONS:  
Comments: 01.25.18

NDS  
NATURAL DESIGN SOLUTIONS  
Landscape Architecture  
Land Planning  
Irrigation Design  
5539 Cell Drive, Longmont, CO 80503  
(303) 443-0300 • nds@indecolorado.com

PROJ. NO.:  
DATE: 09.14.17  
SCALE: See Sheet  
DRAWN: JRO  
CHKD BY: NAM  
SHEET L10  
7 OF 10

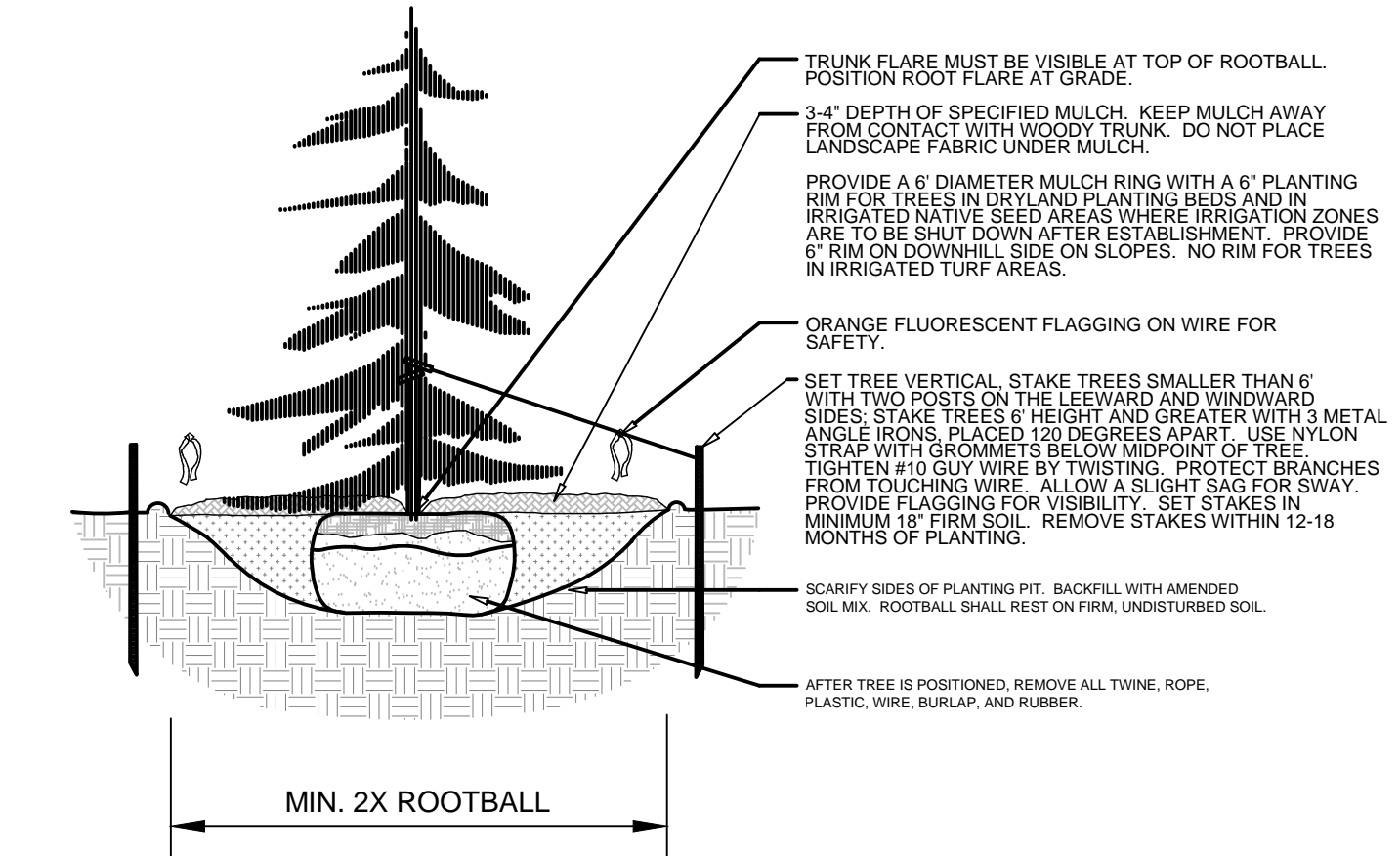
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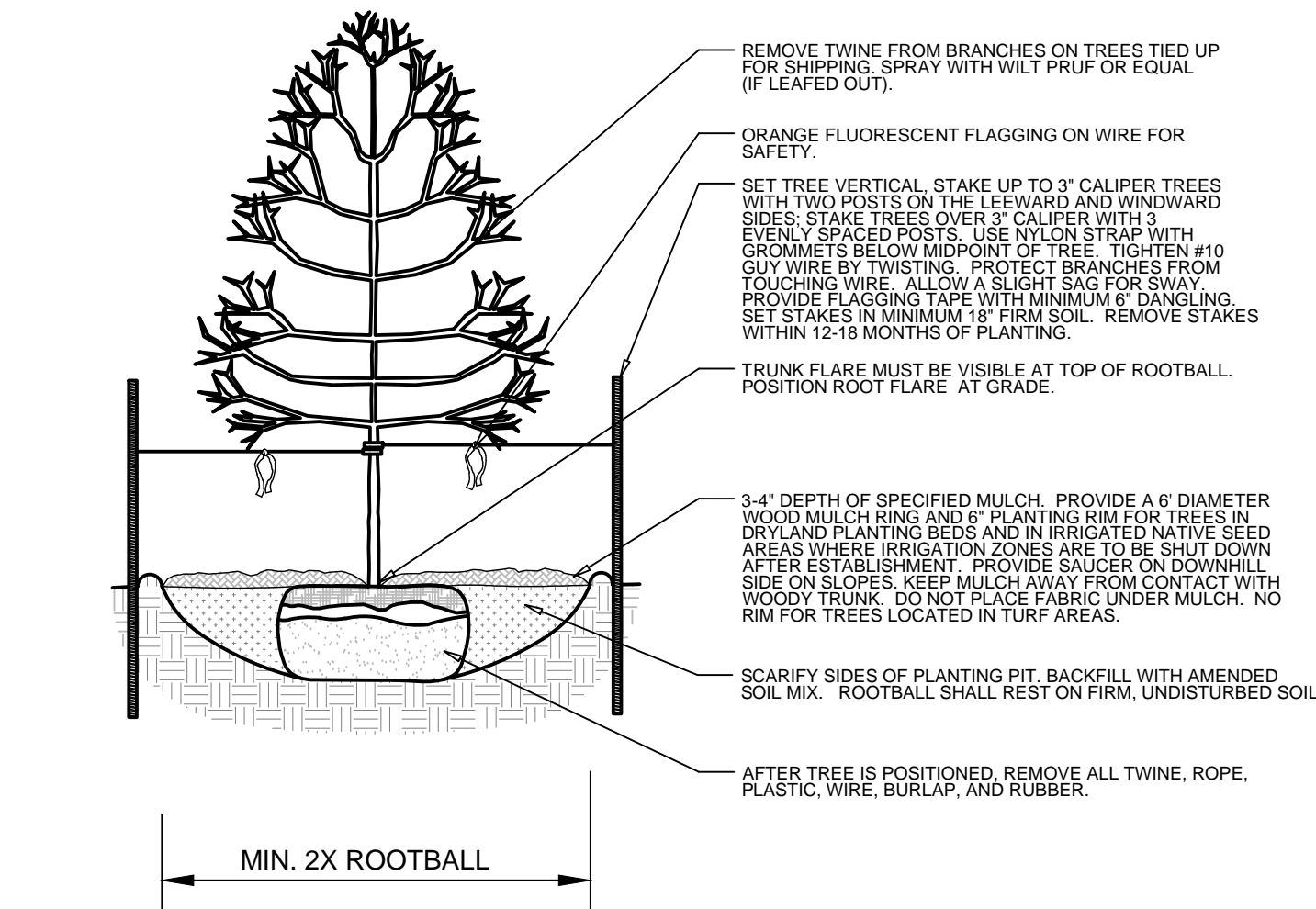
(Note: All references to "Contractor" are specific to "Landscape Contractor" unless notified as "General or other type of Contractor")

- TREES IN COBBLE/ROCK MULCH TO RECEIVE 4" DIAMETER OF WOOD MULCH, 3" DEEP. SHRUBS AND GROUNDCOVERS IN COBBLE/ROCK MULCH AREAS TO RECEIVE 3" DIAMETER OF WOOD MULCH, 3" DEEP. NO FABRIC UNDERLAYMENT IN WOOD MULCH AREAS.

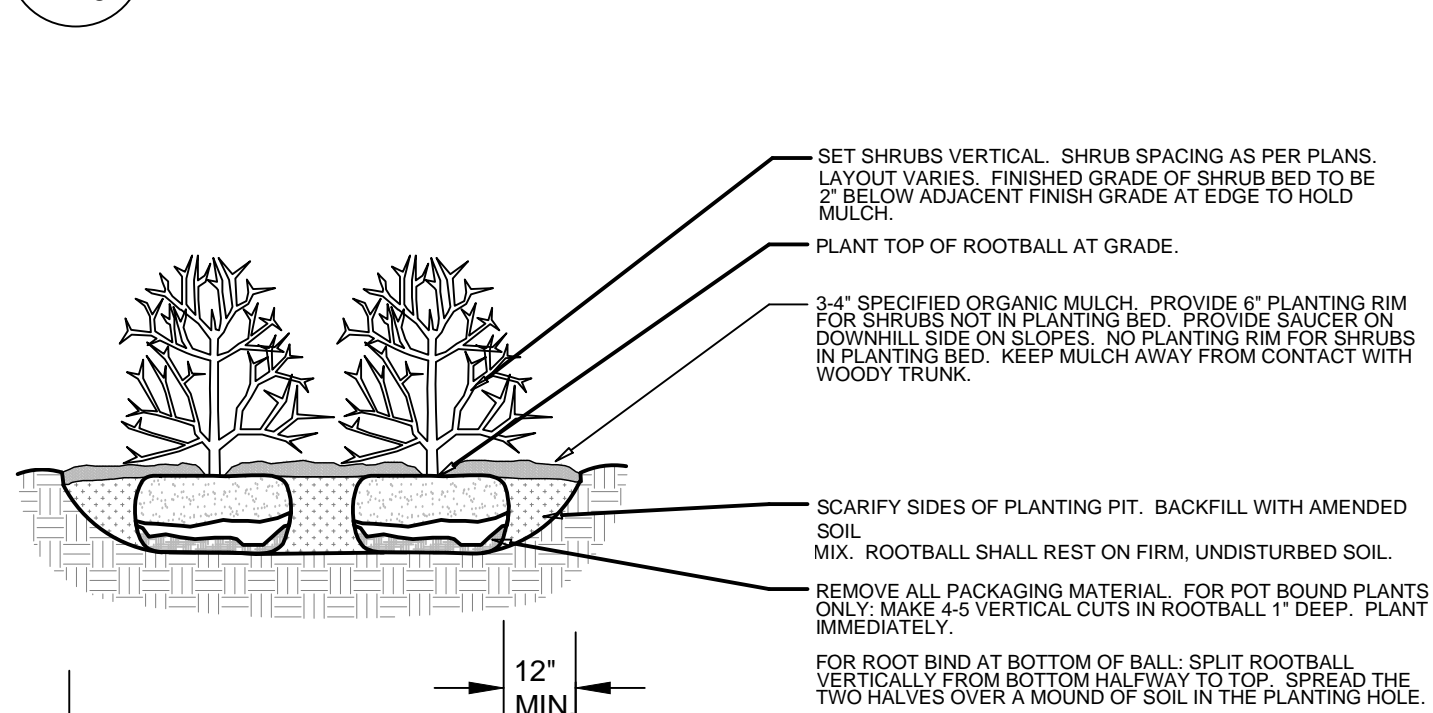
- ALL NATIVE SEED AREAS TO BE PERMANENTLY IRRIGATED.



TES:  
MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE  
WHENEVER POSSIBLE.  
\* AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS  
BR  
BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED.  
HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.  
\* STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING  
SEASONS.  
\* KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.  
\* DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.  
\* AMENDED BACKFILL SHALL BE AS STATED ON THIS SHEET.  
\* PROTECT TRUNK ON EXPOSED SITES AT SPACES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE.  
\* COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.  
\* DEEP WATER ALL PLANTS AT TIME OF PLANTING.



4 DECIDUOUS TREE PLANTING DETAIL SECTION

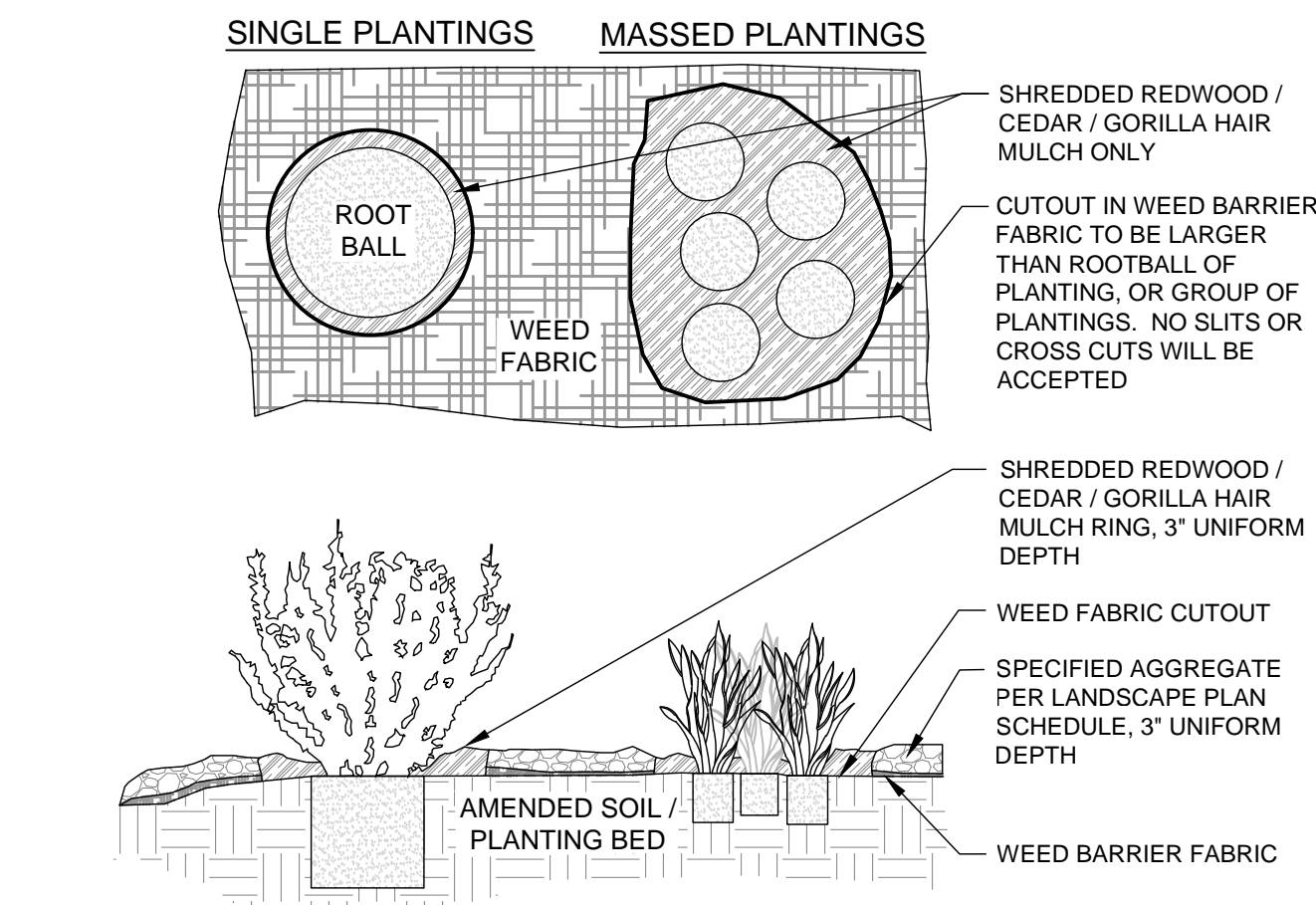


5  
120 SHRUB PLANTING DETAIL  
NOT TO SCALE

SECTION

- 
- Diagram illustrating the required depth for planting in a raised garden bed. The diagram shows a cross-section of the bed with plants and mulch. Key labels include:
- PLACE AS PER PLANS
  - SHREDDED REDWOOD / CEDAR / GORILLA HAIR MULCH ONLY
  - 6" MIN.
  - CUTOUT IN WEED BARRIER FABRIC TO BE LARGER THAN ROOTBALL OF PLANTING, OR GROUP OF PLANTINGS. NO SLITS OR CROSS CUTS WILL BE ACCEPTED

1 PERENNIAL/GROUNDCOVER PLANTING DETAIL  
L2.0 NOT TO SCALE



2 FABRIC CUTOUT / WOOD MULCH RING DETAIL  
L2.0 NOT TO SCALE

- 
- Diagram illustrating the planting specifications for shrubs, showing a cross-section of the planting pit and the shrub root system.
- SET SHRUBS VERTICAL. SHRUB SPACING AS PER PLANS. LAYOUT VARIES. FINISHED GRADE OF SHRUB BED TO BE 2" BELOW ADJACENT FINISH GRADE AT EDGE TO HOLD MULCH.
  - PLANT TOP OF ROOTBALL AT GRADE.
  - 3-4" SPECIFIED ORGANIC MULCH. PROVIDE 6" PLANTING RIM FOR SHRUBS NOT IN PLANTING BED. PROVIDE SCAURON RIM ON DOWNHILL SIDE ON SLOPES. NO PLANTING RIM FOR SHRUBS IN PLANTING BED. KEEP MULCH AWAY FROM CONTACT WITH WOODY TRUNK.
  - SCARIFY SIDES OF PLANTING PIT. BACKFILL WITH AMENDED SOIL. MIX. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL.
  - REMOVE ALL PACKAGING MATERIAL. FOR POT BOUND PLANTS ONLY, MAKE 4-5 VERTICAL CUTS IN ROOTBALL 1" DEEP. PLANT IMMEDIATELY.
  - FOR ROOT BIND AT BOTTOM OF BALL: SPLIT ROOTBALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN THE PLANTING HOLE.
  - 12" MIN

5 SHRUB PLANTING DETAIL  
120 NOT TO SCALE SECTION



PRESSURE ZONE: TBD





GRADING & EROSION CONTROL NOTES

1. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS.
2. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
3. BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMP'S MAY BE REQUIRED BY CITY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES (E.G., ESTIMATED TIME OF EXPOSURE, SEASON OF THE YEAR, ETC.).
4. VEHICLE TRACKING OF SOILS OFF-SITE SHALL BE MINIMIZED.
5. ALL WASTES COMPOSED OF BUILDING MATERIALS MUST BE REMOVED FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
6. NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE CITY ENGINEER. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
7. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT AND SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OF FACILITIES.
8. ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMP'S IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE MANUAL AND IN ACCORDANCE WITH THE EROSION AND STORMWATER QUALITY CONTROL PLAN APPROVED BY THE CITY OF COLORADO SPRINGS, IF REQUIRED.
9. ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMP'S AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCES OPERATION, SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS AND THE MANUAL AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION. THE INSTALLATION OF THE FIRST LEVEL OF TEMPORARY EROSION CONTROL FACILITIES AND BMP'S SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY EARTH DISTURBANCE OPERATIONS TAKING PLACE.
10. ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION.
11. ALL EARTH DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED IN SUCH A MANNER SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME.
12. ALL WORK AND EARTH DISTURBANCES SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
13. SUSPENDED SEDIMENT CAUSED BY THE ACCELERATED SOIL EROSION SHALL BE MINIMIZED IN RUNOFF WATER BEFORE IT LEAVES THE SITE OF EARTH DISTURBANCE.
14. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY.
15. TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO THE STANDARDS AND SPECIFICATIONS PRESCRIBED IN THE MANUAL, AND IN ACCORDANCE WITH THE PERMANENT EROSION CONTROL FEATURES SHOWN ON THE EROSION ND STORMWATER QUALITY CONTROL PLANS APPROVED BY THE CITY OF COLORADO SPRINGS, IF REQUIRED.
16. SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY OTHER DISTURBED LAND AREA SHALL BE COMPLETED WITHIN TWENTY-ONE (21) CALENDAR DAYS AFTER FINAL GRADING, OR FINAL EARTH DISTURBANCE, HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMP'S SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.
17. NO PERSON SHALL CAUSE, PERMIT, OR CONTRIBUTE TO THE DISCHARGE INTO THE MUNICIPAL SEPARATE STORM SEWER POLLUTANTS THAT COULD CAUSE THE CITY OF COLORADO SPRINGS TO BE IN VIOLATION OF ITS COLORADO DISCHARGE PERMIT SYSTEM MUNICIPAL STORMWATER DISCHARGE PERMIT.
18. THE OWNER, SITE DEVELOPER, CONTRACTOR, AND OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
19. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER, INCLUDING THE TEMPORARY OR PERMANENT RAMPING WITH MATERIALS FOR VEHICLE ACCESS.
20. INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), REGULATIONS PROMULGATED, CERTIFICATIONS OR PERMITS ISSUED, IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE MANUAL. IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
21. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURE'S LABELS. MATERIALS SHALL NOT BE STORED IN A LOCATION WHERE THEY MAY BE CARRIED BY STORMWATER RUNOFF INTO A STATE WATER AT ANY TIME.
22. SPILL PREVENTION AND CONTAINMENT MEASURES SHALL BE USED AT STORAGE, AND EQUIPMENT FUELING AND SERVICING AREAS TO PREVENT THE POLLUTION OF ANY STATE WATERS, INCLUDING WETLANDS. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY, OR CONTAINED UNTIL APPROPRIATE CLEANUP METHODS CAN BE EMPLOYED. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE FOLLOWED, ALONG WITH PROPER DISPOSAL METHODS.

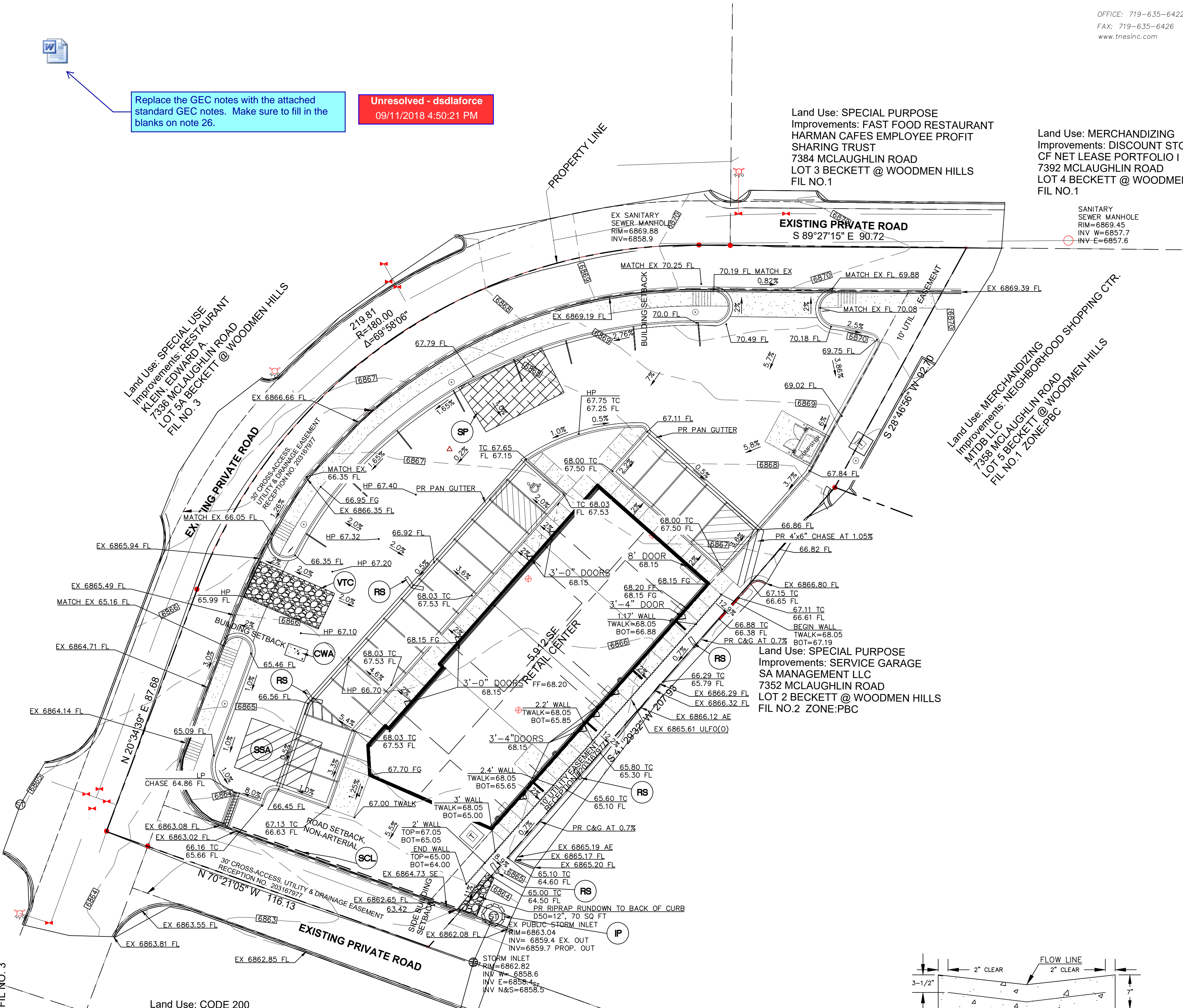
GRADING LEGEND

EXISTING CONTOURS - MINOR	---	6132	---
EXISTING CONTOURS - MAJOR	---	6130	---
UNERGROUNDELECTRICLOCATES (RED FLAGS)	ULE(R)		
UNDERGROUND GAS LOCATES (YELLOW FLAGS)	ULG(Y)		
UNDERGROUND FIB. OPT. LOCATES (ORANGE FLAGS)	ULL(R)		
UNDERGROUND WATER LOCATES (BLUE FLAGS)	ULW(B)		
UNDERGROUND CTV LOCATES (ORANGE FLAGS)	ULCTV(O)		
UNDERGROUND TEL. LOCATES (ORANGE FLAGS)	ULT(O)		
PROPOSED FINISHED SURFACE	FS		
PROPOSED FLOWLINE	FL		
SPOT ELEVATION	SE		
ASPHALT EDGE	AE		
LOW POINT	LP		
HIGH POINT	HP		
EXISTING ELEVATION	12.00*		
GRADE & DIRECTION	2.2%		
TERRAIN STRING	TS		
BOUNDARY MONUMENT	BM		
CONCRETE CURB TOP BACK	TBC		
PROPOSED CONTOUR	62		
EXISTING SPOT GRADE	x EX 7314.00		
PROPOSED SPOT GRADE	x 7314.00		
CONCRETE EDGE	CE		
PROPOSED FINISHED GROUND	FG		

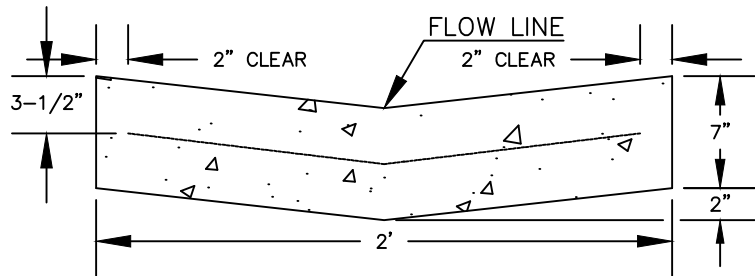
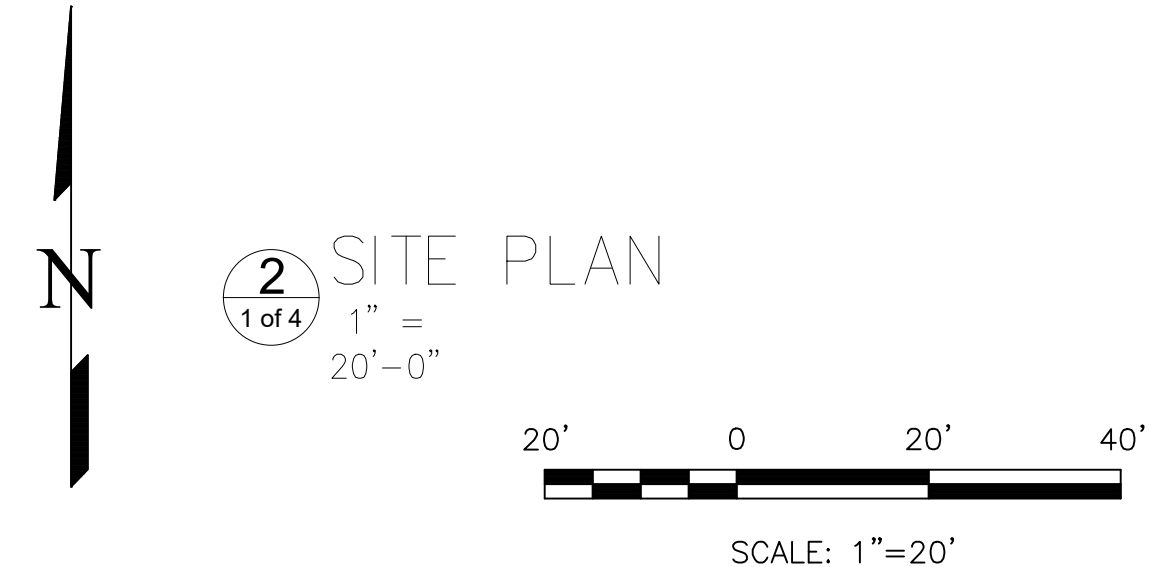
EROSION CONTROL LEGEND

KEY	TITLE	SYMBOL
SF	SEDIMENT CONTROL LOG	SCL
SSA	STABILIZED STAGING AREA	
SP	STOCKPILE PROTECTION	
CWA	CONCRETE WASHOUT AREA	
IP	INLET PROTECTION	
VTC	VEHICLE TRACKING CONTROL	
RS	ROCK SOCK	

Land Use: SPECIAL USE  
Improvements: RESTAURANT  
KLEIN, EDWARD A.  
7336 MCLAUGHLIN ROAD  
LOT 3A BECKETT @ WOODMEN HILLS  
FIL NO. 3



Land Use: CODE 200  
PAHK, CHUN  
7344 MCLAUGHLIN ROAD  
LOT 3 BECKETT @ WOODMEN HILLS  
FIL NO. 3



2' PAN GUTTER SECTION

125 N. WAHSATCH AVE., SUITE 101  
COLORADO SPRINGS, CO. 80903

OFFICE: 719-635-6422  
FAX: 719-635-6426  
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Design Development  
Consultants @

1310 FORD STREET  
COLORADO SPRINGS, CO 80915  
(719) 570-1456

Revisions		DATE
#	DESCRIPTION	

SHOPS AT MCLAUGHLIN II

7368 McLaughlin Road, Peyton CO 80831

D1-7074

DATE	8/07/2018
CHECKED	LD
DRAWN BY	JF

GRADING &  
EROSION  
PLAN

C2



# Markup Summary

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Replace the GEC notes with the attached standard GEC notes. Make sure to fill in the blanks on note 26. (1)

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**Page Label:** [1] 172900 DP-GRAD  
**Lock:** Locked  
**Author:** dsdlaforce  
**Date:** 9/12/2018 1:14:02 PM  
**Color:** ■

Replace the GEC notes with the attached standard GEC notes. Make sure to fill in the blanks on note 26.

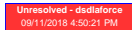
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(2)

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**Page Label:** [1] 172900 DP-GRAD  
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**Author:** dsdlaforce  
**Date:** 9/12/2018 1:14:02 PM  
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