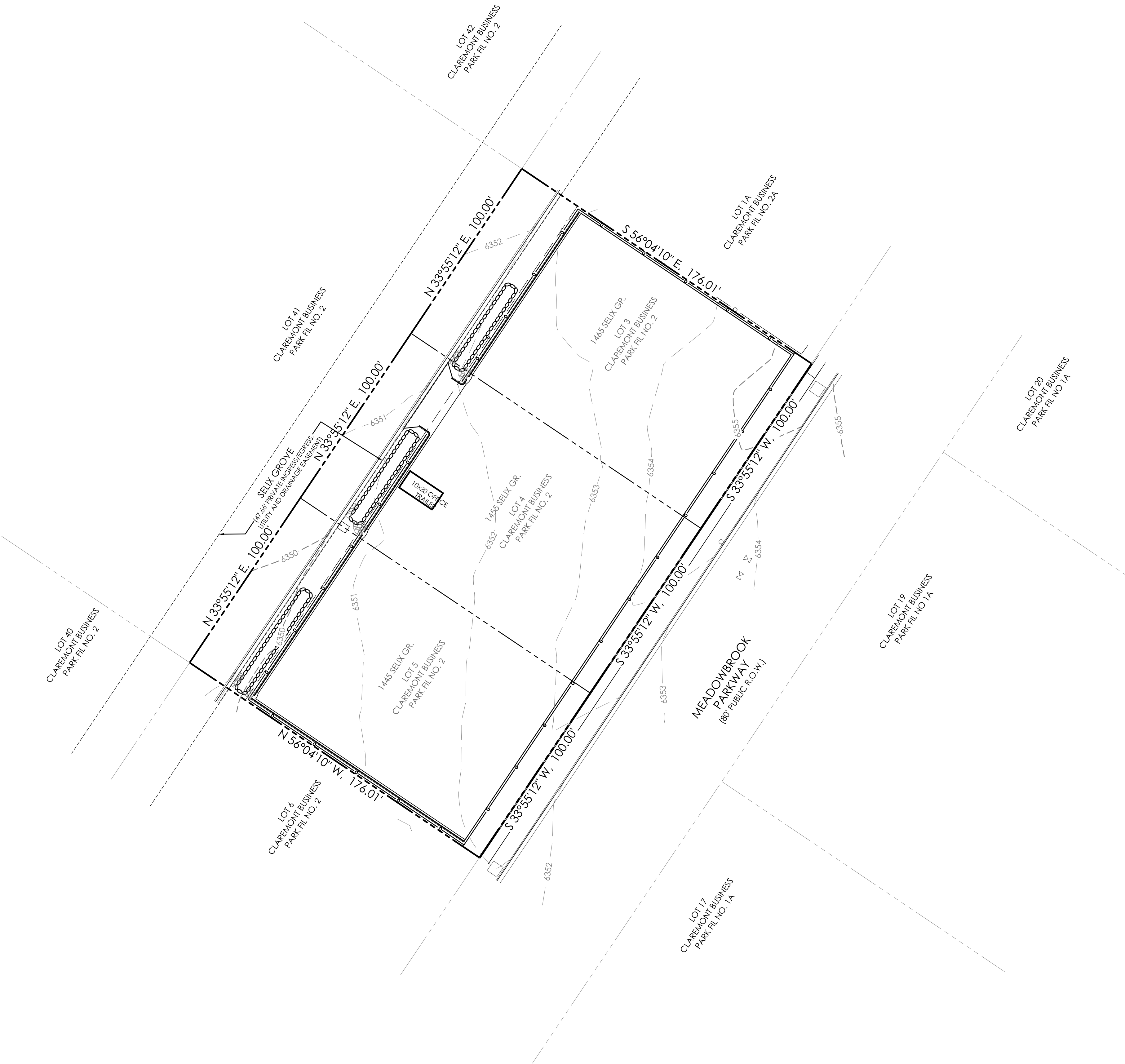


GULFEAGLE SUPPLY - SITE PLAN

LOTS 3-5, CLAREMONT BUSINESS PARK FILING NO. 2,
1455 SELIX GROVE, EL PASO COUNTY, COLORADO



LEGEND

----- PROPERTY LINE

----- EASEMENT LINE

----- LOT LINE

----- BUILDING SETBACK LINE

----- ADJACENT PROPERTY LINE

EXISTING

---5985--- INDEX CONTOUR

---84--- INTERMEDIATE CONTOUR

CONCRETE AREA

ASPHALT AREA

CURB AND GUTTER

BUILDING/
BUILDING OVERHANG

DECK

RETAINING WALL - SOLID/
ROCK

SIGN

BOLLARD

WOOD FENCE

CHAIN LINK FENCE

BARBED WIRE FENCE

TREE (EVERGREEN/DECIDUOUS)

SHRUB

ROCK

PROPOSED

---5985--- INDEX CONTOUR

---84--- INTERMEDIATE CONTOUR

CONCRETE AREA

ASPHALT AREA

CURB AND GUTTER

BUILDING/
BUILDING OVERHANG

DECK

RETAINING WALL - SOLID
ROCK

SIGN

BOLLARD

86.0 TW
83.0 FG
86.85
83.35
84.26 TSW

TOP OF WALL/GRADE AT BOTTOM
OF WALL

TOP OF CURB/FLOWLINE

SPOT ELEVATION
FL = FLOWLINE
TSW = TOP OF SIDEWALK

FINISHED FLOOR ELEVATION

FF = 5986.00

CHAINLINK FENCE

OWNER
SBJ RESCH FAMILY PARTNERSHIP, LTD.
2900 7TH AVENUE EAST, SUITE 200
TAMPA, FL 33605
(813) 248-4911

DEVELOPER
GULFEAGLE SUPPLY
JEFF BARNES, BRANCH MANAGER
1456 SELIX GROVE
COLORADO SPRINGS, CO 80915
(719) 574-7663

ENGINEER
M.V.E., INC.
1903 LELARAY STREET, STE 200
COLORADO SPRINGS, CO 80909
(719) 635-5736

ZONING
CS, CAD-0 (COMMERCIAL SERVICE,
COMMERCIAL AIRPORT DISTRICT)

SETBACK
FRONT = 25 FT
REAR = 25 FT
SIDE = 25 FT

LOT INFORMATION
MAXIMUM LOT COVERAGE - NONE
MAXIMUM BUILDING HEIGHT = 45 FT
SPECIAL USE REQUIRED FOR
CONTRACTOR STORAGE

LEGAL DESCRIPTION
LOTS 3, 4 & 5, CLAREMONT BUSINESS
PARK FILING NO. 2

TAX SCHEDULE NO.
5408102007 = LOT 3
5408102008 = LOT 4
5408102009 = LOT 5

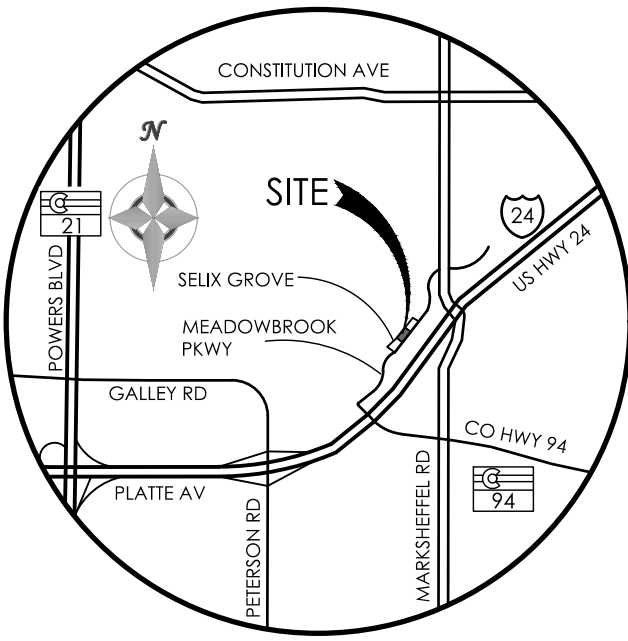
- SITE SPECIFIC NOTES:**
- THE ENTIRE FENCED AREA OF THIS PROPERTY IS FOR THE USE OF MATERIAL STORAGE.
 - THIS STORAGE YARD IS IN SUPPORT OF GULFEAGLE SUPPLY ON THE OPPOSITE SIDE OF SELIX GROVE (1456 SELIX GROVE).
 - THE TRAILER SHOWN IS FOR TEMPORARY SHELTER DURING LOADING / UNLOADING OPERATIONS. THE TRAILER WILL HAVE ELECTRIC SERVICE ONLY.
 - THE ENTIRE FENCED AREA OF THIS PROPERTY SHALL BE RECYCLED ASPHALT / GRAVEL.

ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

SITE SPECIFIC ADA NOTE:

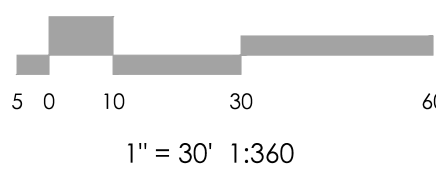
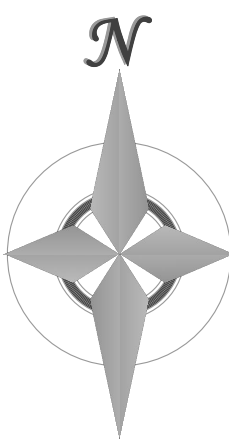
THIS STORAGE YARD IS IN SUPPORT OF GULFEAGLE SUPPLY ON THE OPPOSITE SIDE OF SELIX GROVE (1456 SELIX GROVE). THE SITE IS WITHIN A LOCKED GATED FENCE AND NOT INTENDED FOR PUBLIC ACCESS. ADA PARKING FOR THE GULFEAGLE SUPPLY FACILITY IS PROVIDED AT 1456 SELIX GROVE. NO ADA ACCESS IS PROPOSED FOR THIS STORAGE YARD SITE.



VICINITY MAP
NOT TO SCALE

BENCHMARK
ELEVATIONS SHOWN ON THIS DRAWING ARE
BASED ON THE CSU FIMS NETWORK (NGVD29).

BASIS OF BEARINGS: THE BASIS OF ALL BEARINGS
SHOWN ON THIS DRAWING IS THE NORTH LINE
OF MEADOWBROOK PARKWAY BEARING
S33°55'12"W.



REVISIONS

DESIGNED BY
DRAWN BY
CHECKED BY
AS-BUILTS BY
CHECKED BY

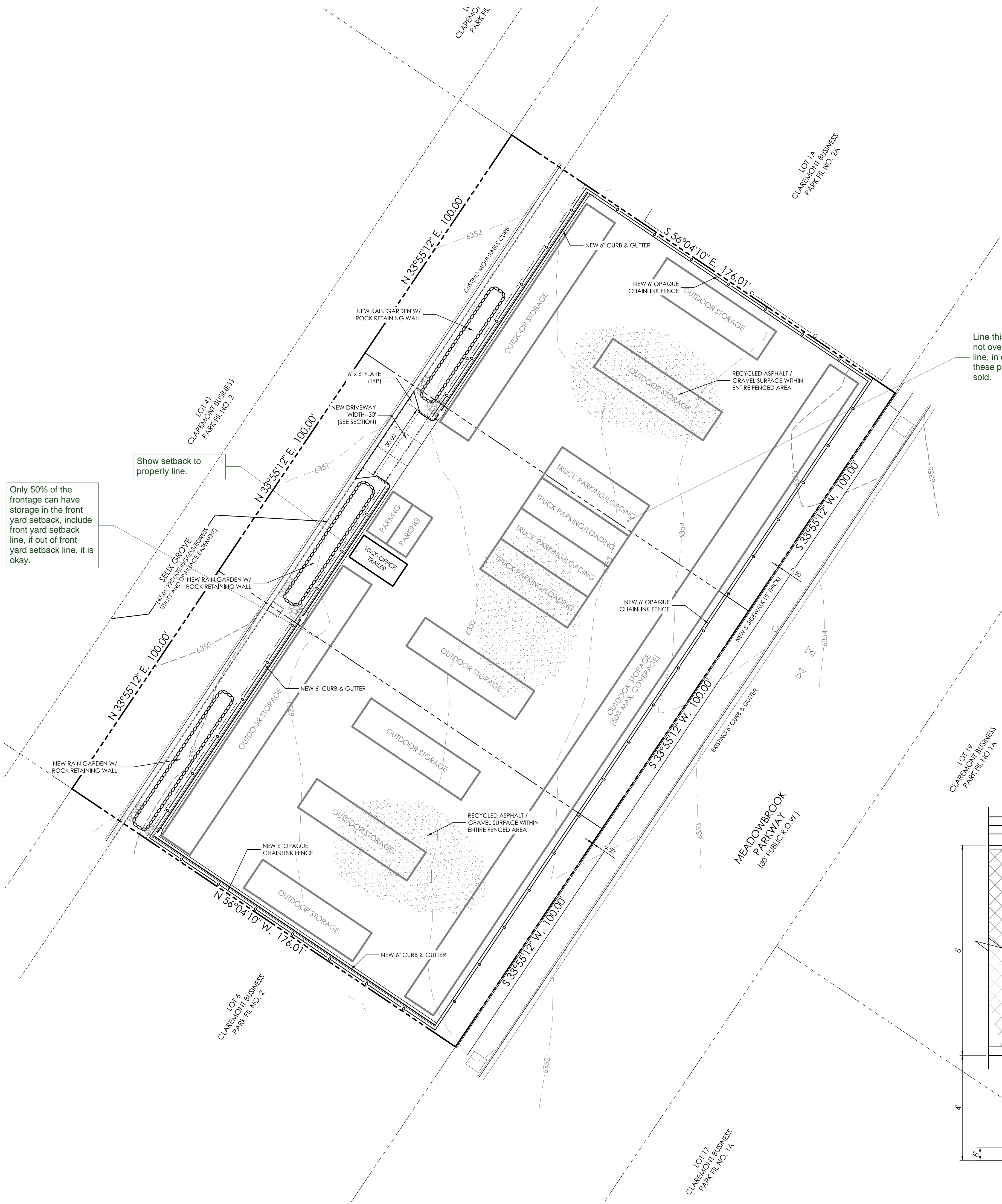
GULFEAGLE
SUPPLY

SITE DEVELOPMENT
PLAN

MVE PROJECT 61078
MVE DRAWING -DEV-SP

MAY 28, 2019
SHEET 1 OF 2

PCD FILE NO. PPR1911



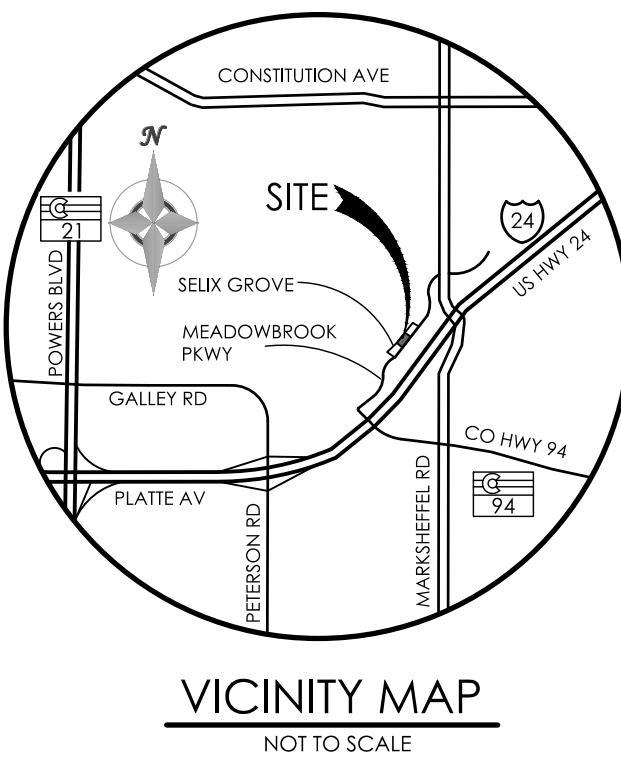
- SITE SPECIFIC NOTES:**
1. THE ENTIRE FENCED AREA OF THIS PROPERTY IS FOR THE USE OF MATERIAL STORAGE.
 2. THIS STORAGE YARD IS IN SUPPORT OF GULFEAGLE SUPPLY ON THE OPPOSITE SIDE OF SELIX GROVE (1456 SELIX GROVE).
 3. THE TRAILER SHOWN IS FOR TEMPORARY SHELTER DURING LOADING / UNLOADING OPERATIONS. THE TRAILER WILL HAVE ELECTRIC SERVICE ONLY.
 4. THE ENTIRE FENCED AREA OF THIS PROPERTY SHALL BE RECYCLED ASPHALT / GRAVEL.

ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

SITE SPECIFIC ADA NOTE:

THIS STORAGE YARD IS IN SUPPORT OF GULFEAGLE SUPPLY ON THE OPPOSITE SIDE OF SELIX GROVE (1456 SELIX GROVE). THE SITE IS WITHIN A LOCKED GATED FENCE AND NOT INTENDED FOR PUBLIC ACCESS. ADA PARKING FOR THE GULFEAGLE SUPPLY FACILITY IS PROVIDED AT 1456 SELIX GROVE. NO ADA ACCESS IS PROPOSED FOR THIS STORAGE YARD SITE.

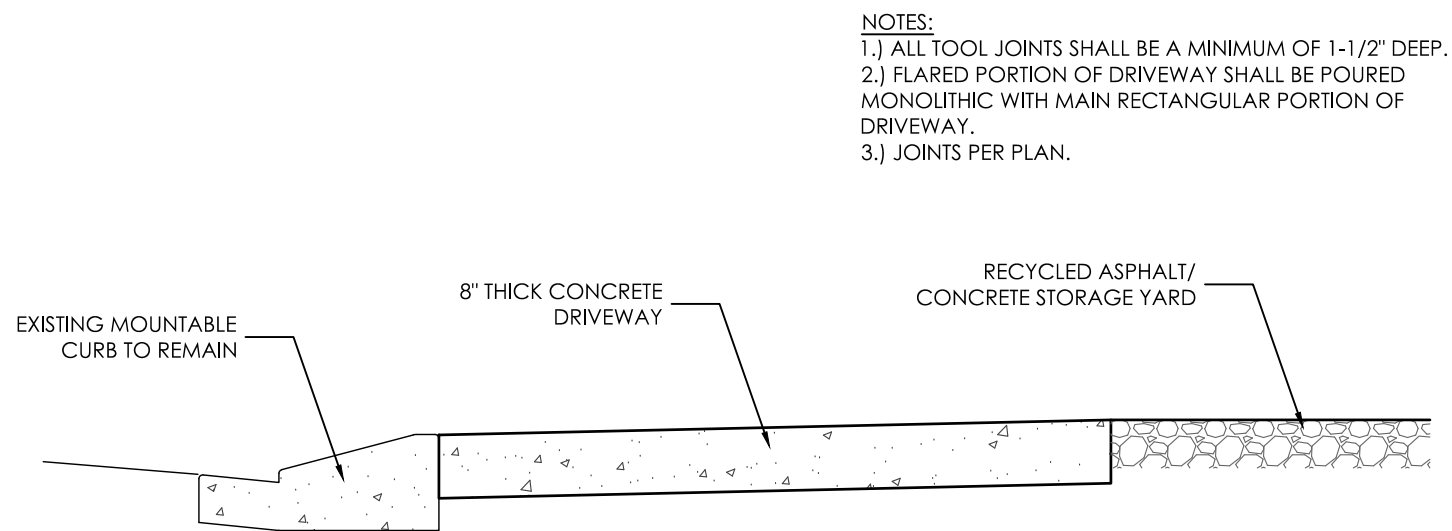


VICINITY MAP
NOT TO SCALE

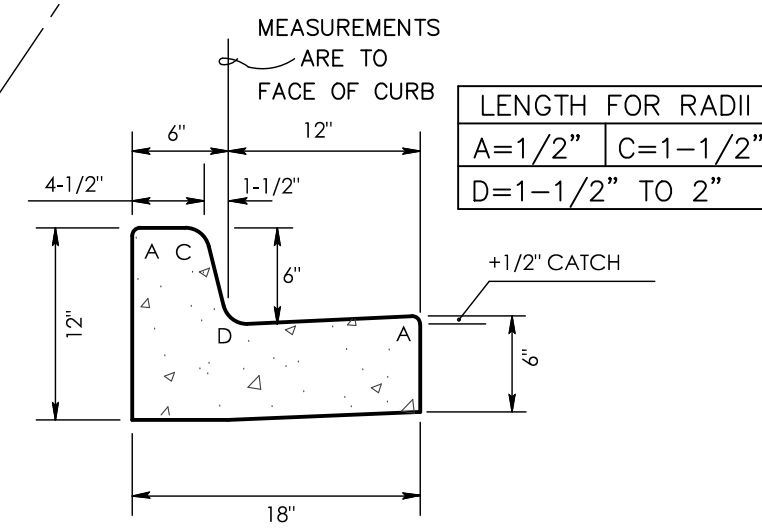
BENCHMARK
ELEVATIONS SHOWN ON THIS DRAWING ARE BASED ON THE CSU FIMS NETWORK (NGVD29).

BASIS OF BEARINGS: THE BASIS OF ALL BEARINGS SHOWN ON THIS DRAWING IS THE NORTH LINE OF MEADOWBROOK PARKWAY BEARING S33°55'12"W.

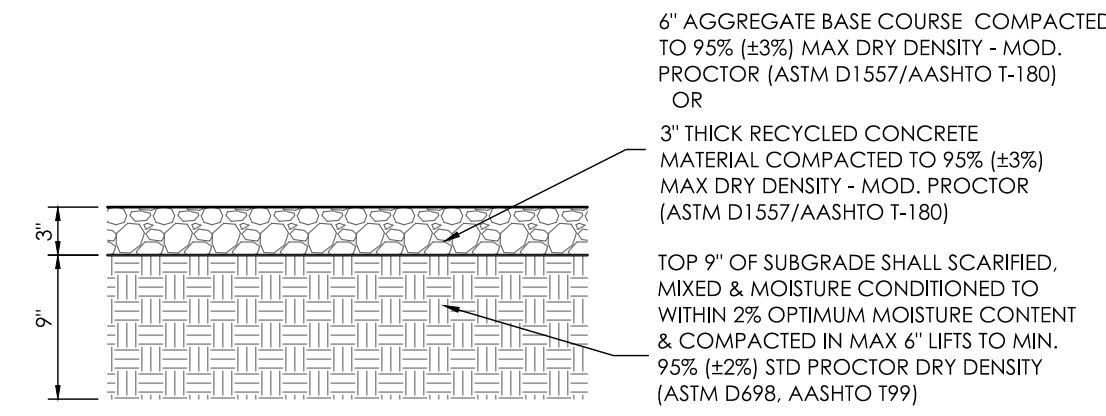
Line this up so it is not over the property line, in case one of these parcels gets sold.



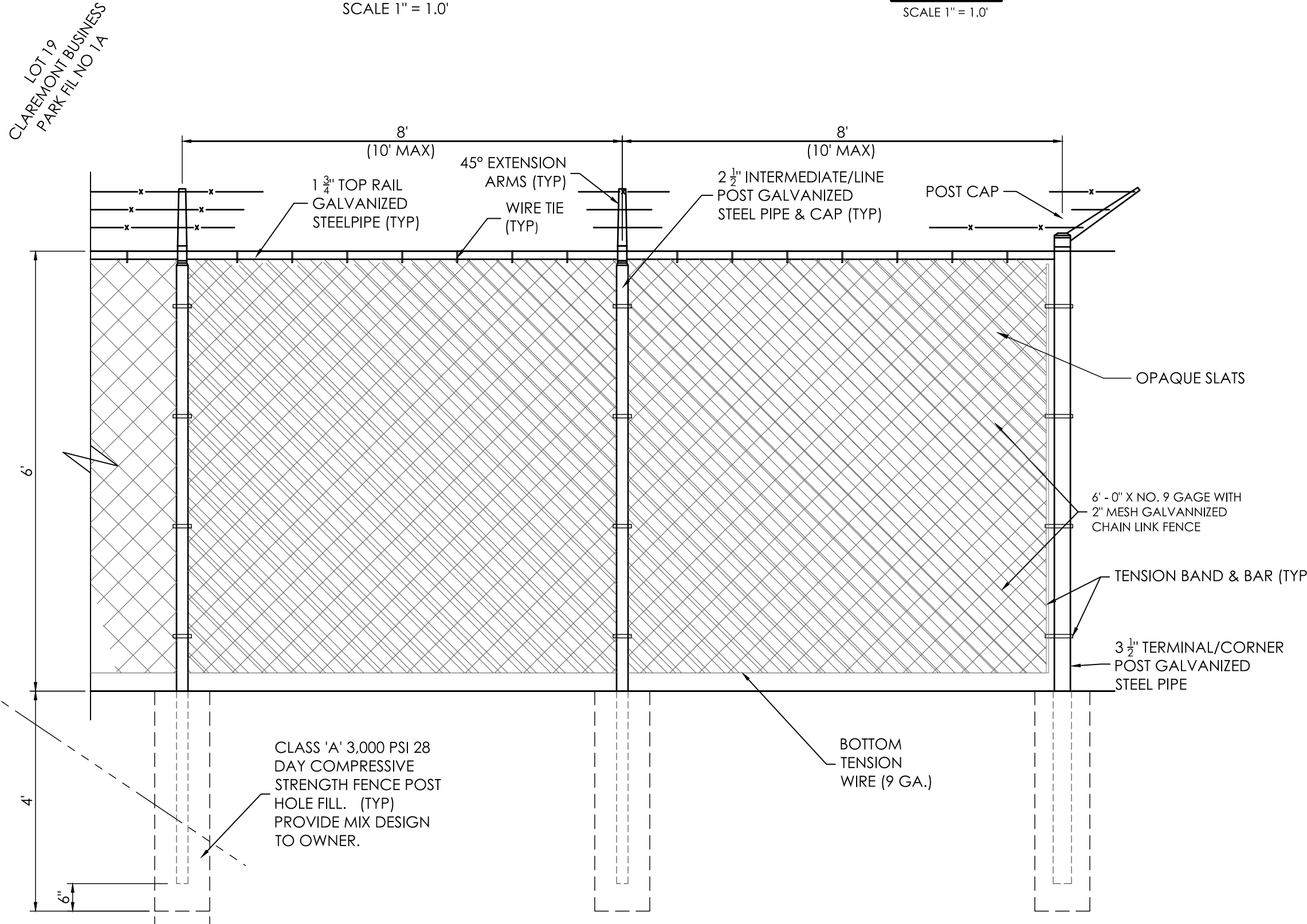
DRIVEWAY SECTION
SCALE 1" = 2.0'



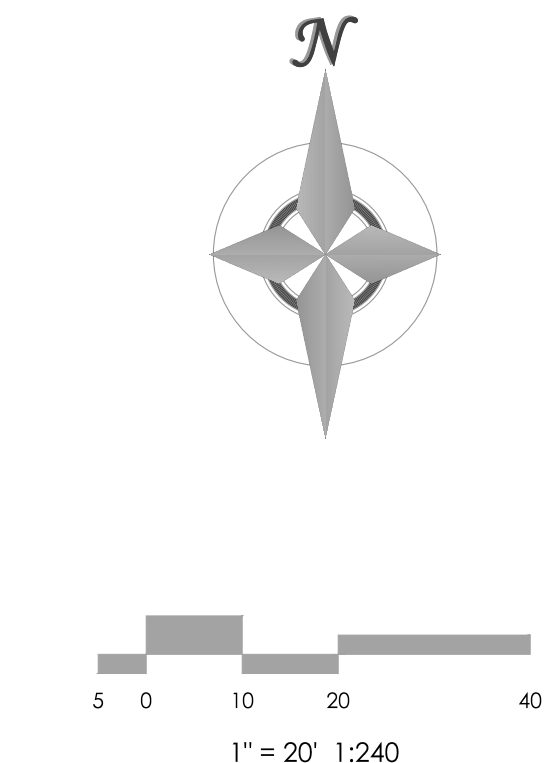
STD TYPE 3 CATCH CURB & GUTTER
SCALE 1" = 1.0'



STORAGE SURFACE PARKING SECTION
SCALE 1" = 1.0'



6' CHAIN LINK FENCE DETAIL
SCALE: 1" = 2'



MVE, INC.
ENGINEERS, SURVEYORS

1903 liberty street, suite 200 colorado springs co 80909 719.635.5736

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILT BY _____
CHECKED BY _____

GULFEAGLE SUPPLY

SITE DEVELOPMENT PLAN

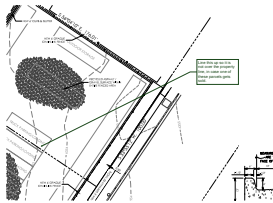
MVE PROJECT 61078
MVE DRAWING -DEV-DS

MAY 28, 2019
SHEET 2 OF 2

PCD FILE NO. PPR1911

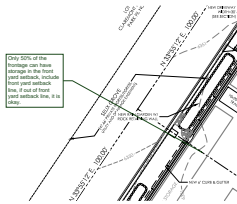
Site Plan_v2-redline.pdf Markup Summary

dsdkendall (3)



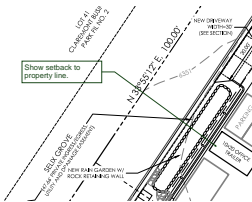
Subject: Callout
Page Label: [2] 61078-DEV-DS-DEV-DS
Lock: Unlocked
Author: dsdkendall
Date: 6/18/2019 3:52:26 PM
Status:
Color: ■
Layer:
Space:

Line this up so it is not over the property line, in case one of these parcels gets sold.



Subject: Callout
Page Label: [2] 61078-DEV-DS-DEV-DS
Lock: Unlocked
Author: dsdkendall
Date: 6/18/2019 3:54:35 PM
Status:
Color: ■
Layer:
Space:

Only 50% of the frontage can have storage in the front yard setback, include front yard setback line, if out of front yard setback line, it is okay.



Subject: Callout
Page Label: [2] 61078-DEV-DS-DEV-DS
Lock: Unlocked
Author: dsdkendall
Date: 6/18/2019 3:54:54 PM
Status:
Color: ■
Layer:
Space:

Show setback to property line.