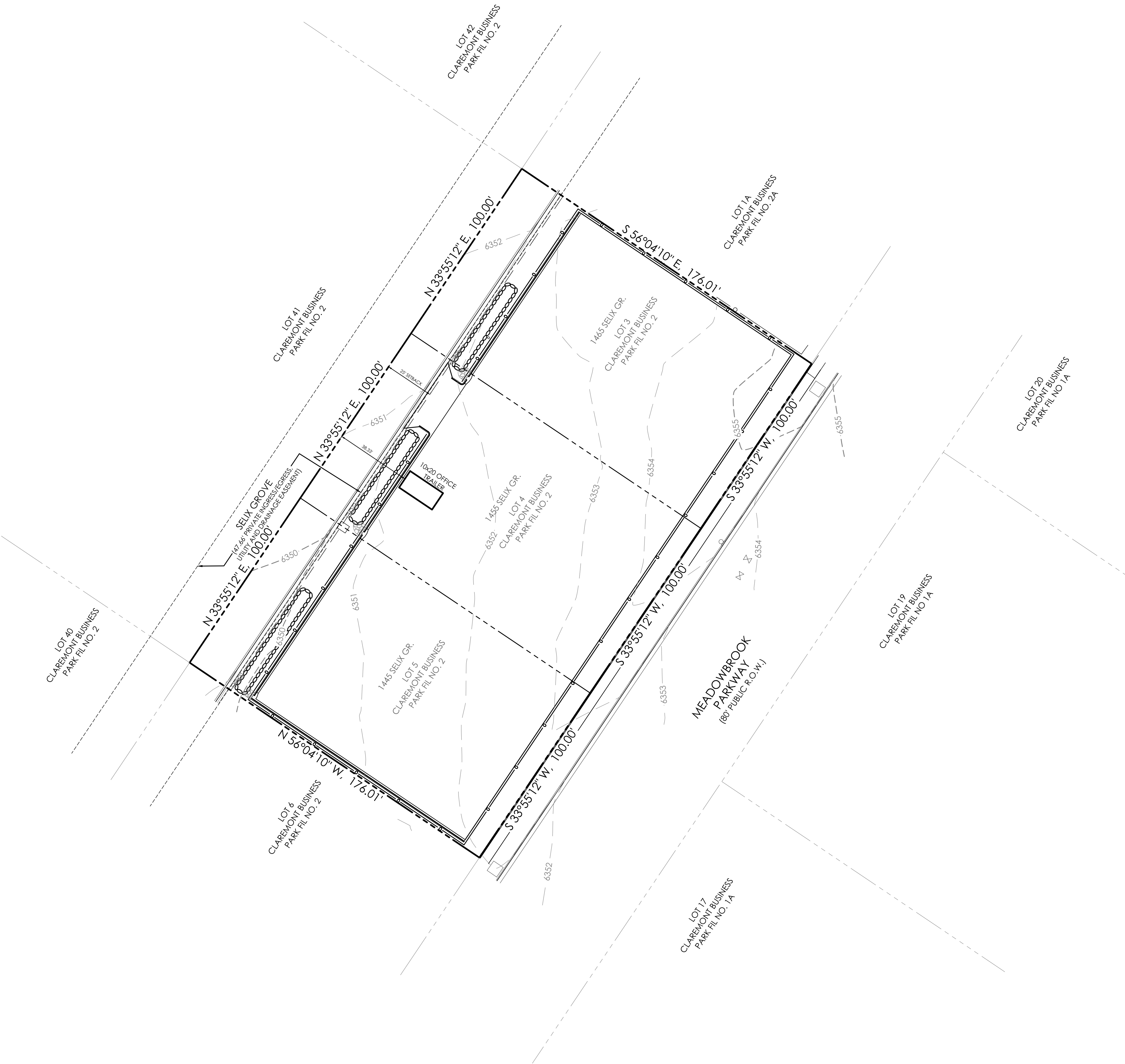


GULFEAGLE SUPPLY - SITE PLAN

LOTS 3-5, CLAREMONT BUSINESS PARK FILING NO. 2,
1455 SELIX GROVE, EL PASO COUNTY, COLORADO



LEGEND

----- PROPERTY LINE
----- EASEMENT LINE
----- LOT LINE
----- BUILDING SETBACK LINE
----- ADJACENT PROPERTY LINE

EXISTING

---5985--- INDEX CONTOUR
---84--- INTERMEDIATE CONTOUR

CONCRETE AREA
ASPHALT AREA
CURB AND GUTTER
BUILDING/
BUILDING OVERHANG
DECK
RETAINING WALL - SOLID/
ROCK
SIGN
BOLLARD
WOOD FENCE
CHAIN LINK FENCE
BARBED WIRE FENCE
TREE (EVERGREEN/DECIDUOUS)
SHRUB
ROCK

PROPOSED

---5985--- INDEX CONTOUR
---84--- INTERMEDIATE CONTOUR

CONCRETE AREA
ASPHALT AREA
CURB AND GUTTER
BUILDING/
BUILDING OVERHANG
DECK
RETAINING WALL - SOLID
ROCK
SIGN
BOLLARD

86.0 TW
83.0 FG
86.85
83.35
84.26 TSW
FF = 5986.00

TOP OF WALL/GRADE AT BOTTOM
OF WALL
TOP OF CURB/FLOWLINE
SPOT ELEVATION
FL = FLOWLINE
TSW = TOP OF SIDEWALK
FINISHED FLOOR ELEVATION
CHAINLINK FENCE

OWNER
SBJ RESCH FAMILY PARTNERSHIP, LTD.
2900 7TH AVENUE EAST, SUITE 200
TAMPA, FL 33605
(813) 248-4911

DEVELOPER
GULFEAGLE SUPPLY
JEFF BARNES, BRANCH MANAGER
1456 SELIX GROVE
COLORADO SPRINGS, CO 80915
(719) 574-7663

ENGINEER
M.V.E., INC.
1903 LELARAY STREET, STE 200
COLORADO SPRINGS, CO 80909
(719) 635-5736

ZONING
CS, CAD-0 (COMMERCIAL SERVICE,
COMMERCIAL AIRPORT DISTRICT)

SETBACK
FRONT = 25 FT
REAR = 25 FT
SIDE = 25 FT

LOT INFORMATION
MAXIMUM LOT COVERAGE - NONE
MAXIMUM BUILDING HEIGHT = 45 FT
SPECIAL USE REQUIRED FOR
CONTRACTOR STORAGE

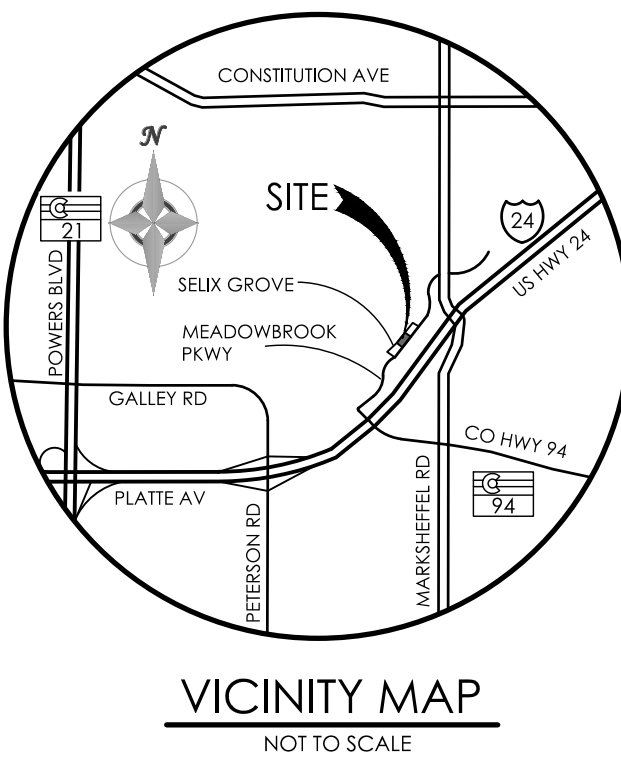
LEGAL DESCRIPTION
LOTS 3, 4 & 5, CLAREMONT BUSINESS
PARK FILING NO. 2

TAX SCHEDULE NO.
5408102007 = LOT 3
5408102008 = LOT 4
5408102009 = LOT 5

- SITE SPECIFIC NOTES:**
1. THE ENTIRE FENCED AREA OF THIS PROPERTY IS FOR THE USE OF MATERIAL STORAGE.
 2. THIS STORAGE YARD IS IN SUPPORT OF GULFEAGLE SUPPLY ON THE OPPOSITE SIDE OF SELIX GROVE (1456 SELIX GROVE).
 3. THE TRAILER SHOWN IS FOR TEMPORARY SHELTER DURING LOADING / UNLOADING OPERATIONS. THE TRAILER WILL HAVE ELECTRIC SERVICE ONLY.
 4. THE ENTIRE FENCED AREA OF THIS PROPERTY SHALL BE RECYCLED ASPHALT / GRAVEL.

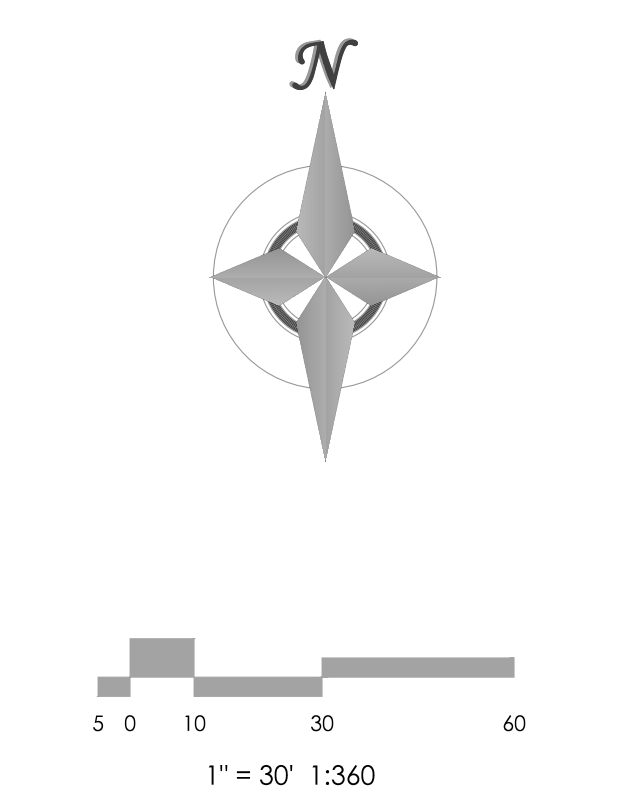
ADA NOTE
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

SITE SPECIFIC ADA NOTE:
THIS STORAGE YARD IS IN SUPPORT OF GULFEAGLE SUPPLY ON THE OPPOSITE SIDE OF SELIX GROVE (1456 SELIX GROVE). THE SITE IS WITHIN A LOCKED GATED FENCE AND NOT INTENDED FOR PUBLIC ACCESS. ADA PARKING FOR THE GULFEAGLE SUPPLY FACILITY IS PROVIDED AT 1456 SELIX GROVE. NO ADA ACCESS IS PROPOSED FOR THIS STORAGE YARD SITE.



BENCHMARK
ELEVATIONS SHOWN ON THIS DRAWING ARE
BASED ON THE CSU FIMS NETWORK (NGVD29).

BASIS OF BEARINGS: THE BASIS OF ALL BEARINGS
SHOWN ON THIS DRAWING IS THE NORTH LINE
OF MEADOWBROOK PARKWAY BEARING
S33°55'12"W.



MVE, INC.
ENGINEERS, SURVEYORS

1903 LELARAY STREET, SUITE 200
COLORADO SPRINGS, CO 80909
719.635.5736

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

GULFEAGLE SUPPLY

SITE DEVELOPMENT PLAN

MVE PROJECT 61078
MVE DRAWING -DEV-SP

June 18, 2019
SHEET 1 OF 2

PCD FILE NO. AL198

SITE SPECIFIC NOTES:

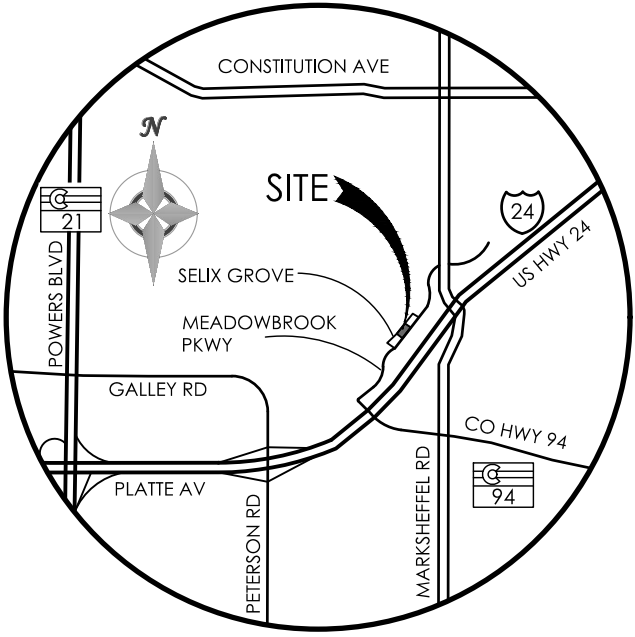
1. THE ENTIRE FENCED AREA OF THIS PROPERTY IS FOR THE USE OF MATERIAL STORAGE.
2. THIS STORAGE YARD IS IN SUPPORT OF GULFEAGLE SUPPLY ON THE OPPOSITE SIDE OF SELIX GROVE (1456 SELIX GROVE).
3. THE TRAILER SHOWN IS FOR TEMPORARY SHELTER DURING LOADING / UNLOADING OPERATIONS. THE TRAILER WILL HAVE ELECTRIC SERVICE ONLY.
4. THE ENTIRE FENCED AREA OF THIS PROPERTY SHALL BE RECYCLED ASPHALT / GRAVEL.

ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

SITE SPECIFIC ADA NOTE:

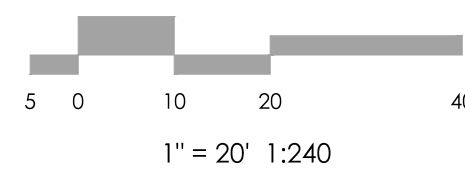
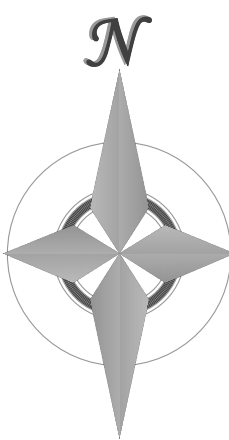
THIS STORAGE YARD IS IN SUPPORT OF GULFEAGLE SUPPLY ON THE OPPOSITE SIDE OF SELIX GROVE (1456 SELIX GROVE). THE SITE IS WITHIN A LOCKED GATED FENCE AND NOT INTENDED FOR PUBLIC ACCESS. ADA PARKING FOR THE GULFEAGLE SUPPLY FACILITY IS PROVIDED AT 1456 SELIX GROVE. NO ADA ACCESS IS PROPOSED FOR THIS STORAGE YARD SITE.



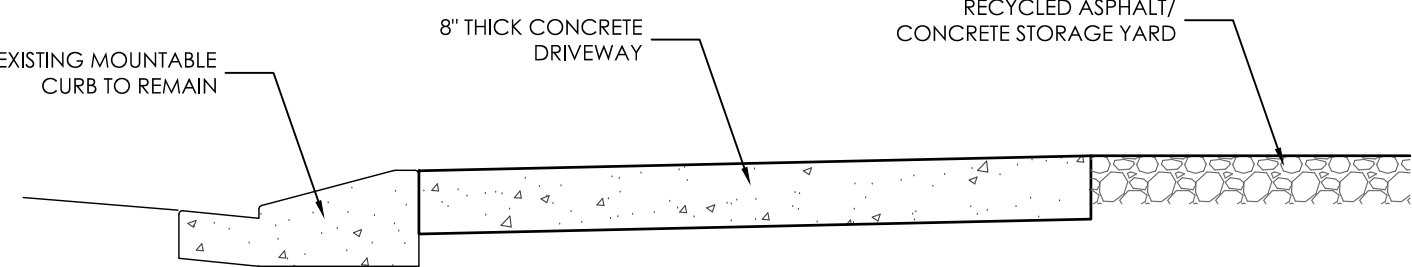
VICINITY MAP
NOT TO SCALE

BENCHMARK
ELEVATIONS SHOWN ON THIS DRAWING ARE BASED ON THE CSU FMS NETWORK (NGVD29).

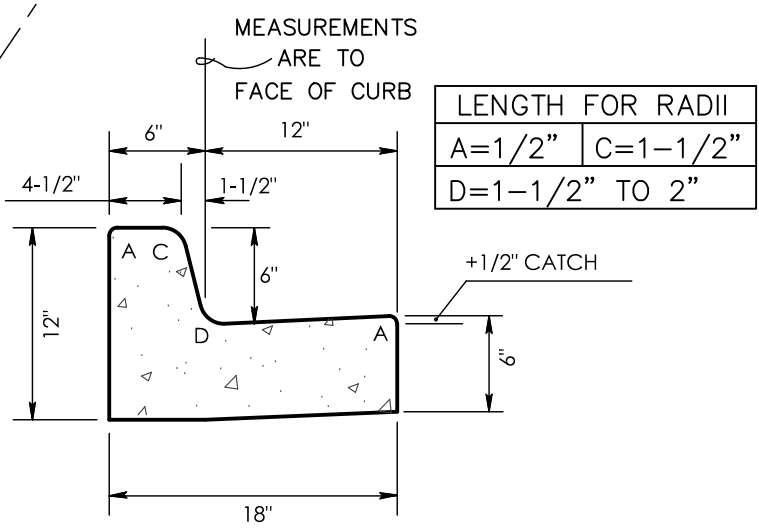
BASIS OF BEARINGS: THE BASIS OF ALL BEARINGS SHOWN ON THIS DRAWING IS THE NORTH LINE OF MEADOWBROOK PARKWAY BEARING S33°55'12"W.



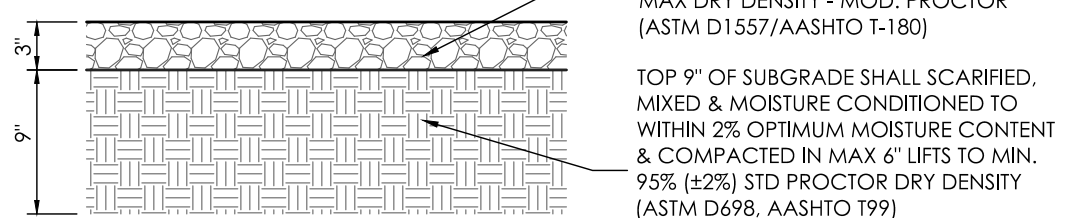
NOTES:
1.) ALL TOOL JOINTS SHALL BE A MINIMUM OF 1-1/2" DEEP.
2.) FLARED PORTION OF DRIVEWAY SHALL BE POURED MONOLITHIC WITH MAIN RECTANGULAR PORTION OF DRIVEWAY.
3.) JOINTS PER PLAN.



DRIVEWAY SECTION
SCALE 1" = 2.0'

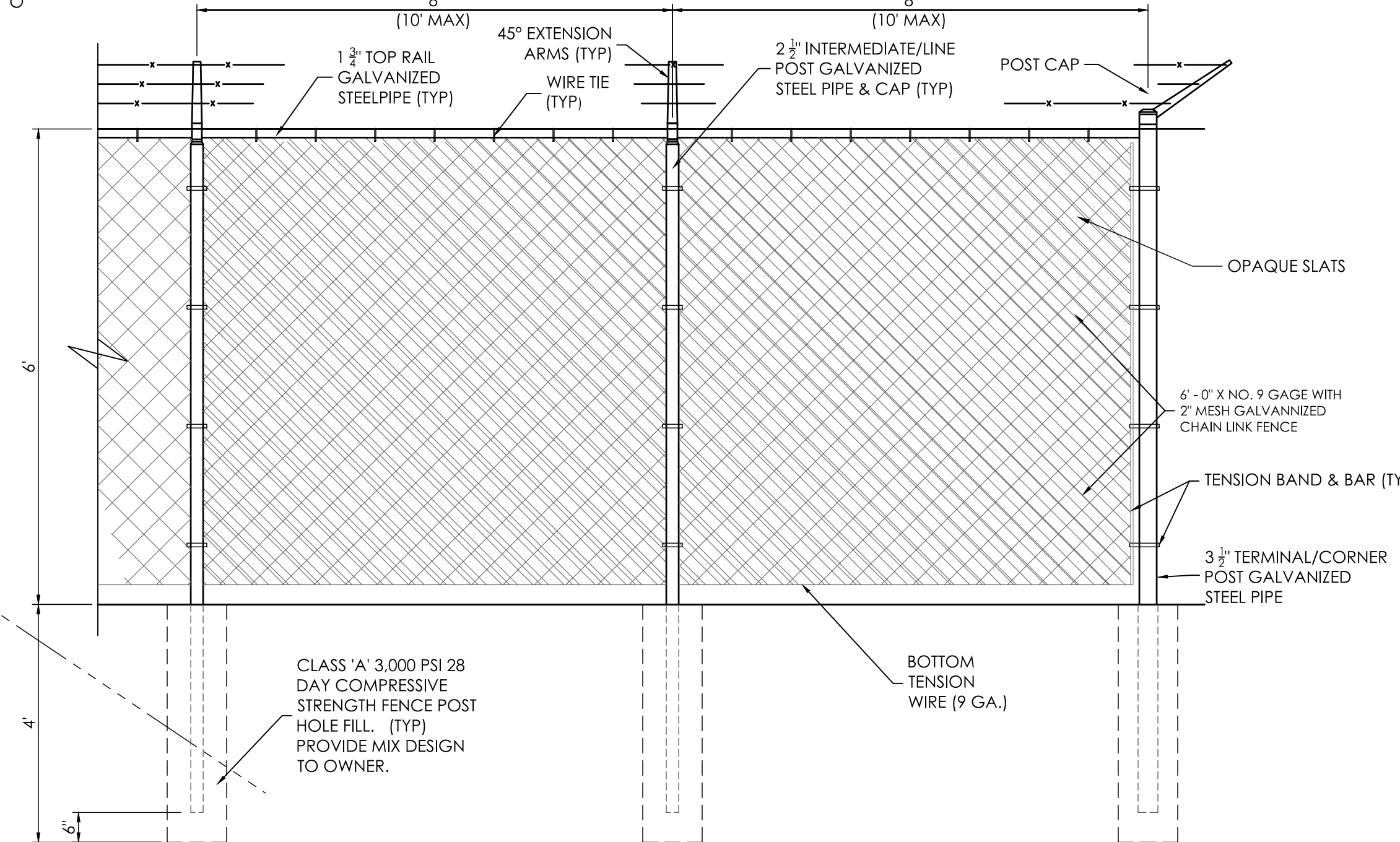


STD TYPE 3 CATCH
CURB & GUTTER
SCALE 1" = 1.0'



STORAGE SURFACE PARKING
SECTION
SCALE 1" = 1.0'

LOT 19
CLAREMONT BUSINESS
PARK FIL NO. 1A



6' CHAIN LINK FENCE DETAIL
SCALE: 1" = 2'

PCD FILE NO. AL198

REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILT BY _____
CHECKED BY _____

GULFEAGLE
SUPPLY

SITE DEVELOPMENT
PLAN

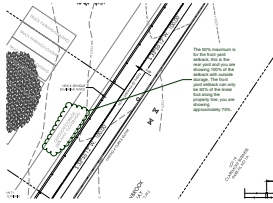
MVE PROJECT 61078
MVE DRAWING -DEV-DS

June 18, 2019
SHEET 2 OF 2



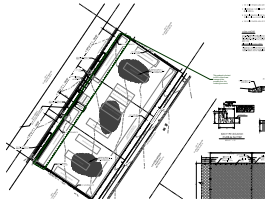
Site Plan_v3-redline.pdf Markup Summary

dsdkendall (2)



Subject: Cloud+
Page Label: [2] 61078-DEV-DS-DEV-DS
Lock: Unlocked
Author: dsdkendall
Date: 7/3/2019 8:21:50 AM
Status:
Color: ■
Layer:
Space:

The 50% maximum is for the front yard setback, this is the rear yard and you are showing 100% of the setback with outside storage, The front yard setback can only be 50% of the linear foot along the property line, you are showing approximately 75%.



Subject: Cloud+
Page Label: [2] 61078-DEV-DS-DEV-DS
Lock: Unlocked
Author: dsdkendall
Date: 7/3/2019 8:23:06 AM
Status:
Color: ■
Layer:
Space:

This setback is limited to 50% of the linear footage of the property line. it is covering too much.