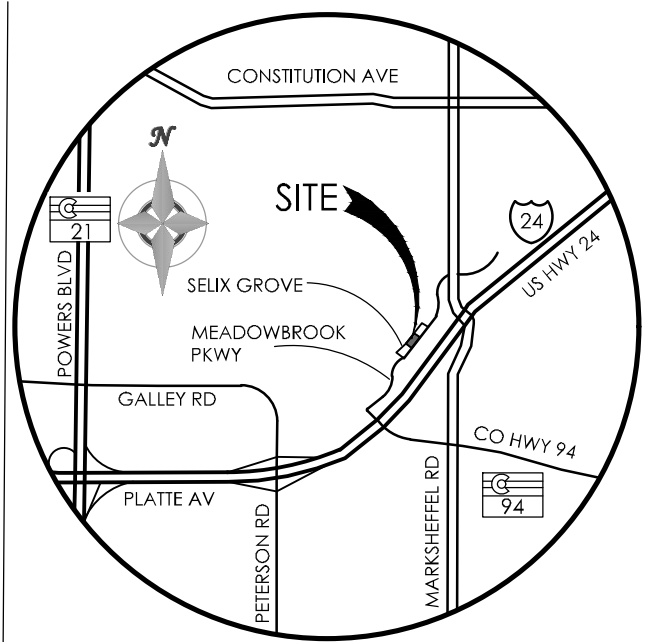


GULFEAGLE SUPPLY - SITE PLAN

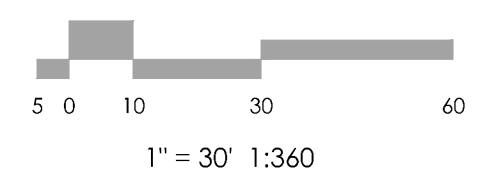
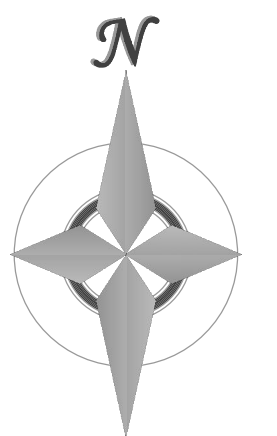
LOTS 3-5, CLAREMONT BUSINESS PARK FILING NO. 2,
1455 SELIX GROVE, EL PASO COUNTY, COLORADO



VICINITY MAP
NOT TO SCALE

BENCHMARK
ELEVATIONS SHOWN ON THIS DRAWING ARE
BASED ON THE CSU FIMS NETWORK (NGVD29).

BASIS OF BEARINGS: THE BASIS OF ALL BEARINGS SHOWN ON THIS DRAWING IS THE NORTH LINE OF MEADOWBROOK PARKWAY BEARING S33°55'12"W.



MVE, INC.
ENGINEERS, SURVEYORS

1903 Telley street, suite 200 colorado springs co 80909 719.635.5736

REVISIONS

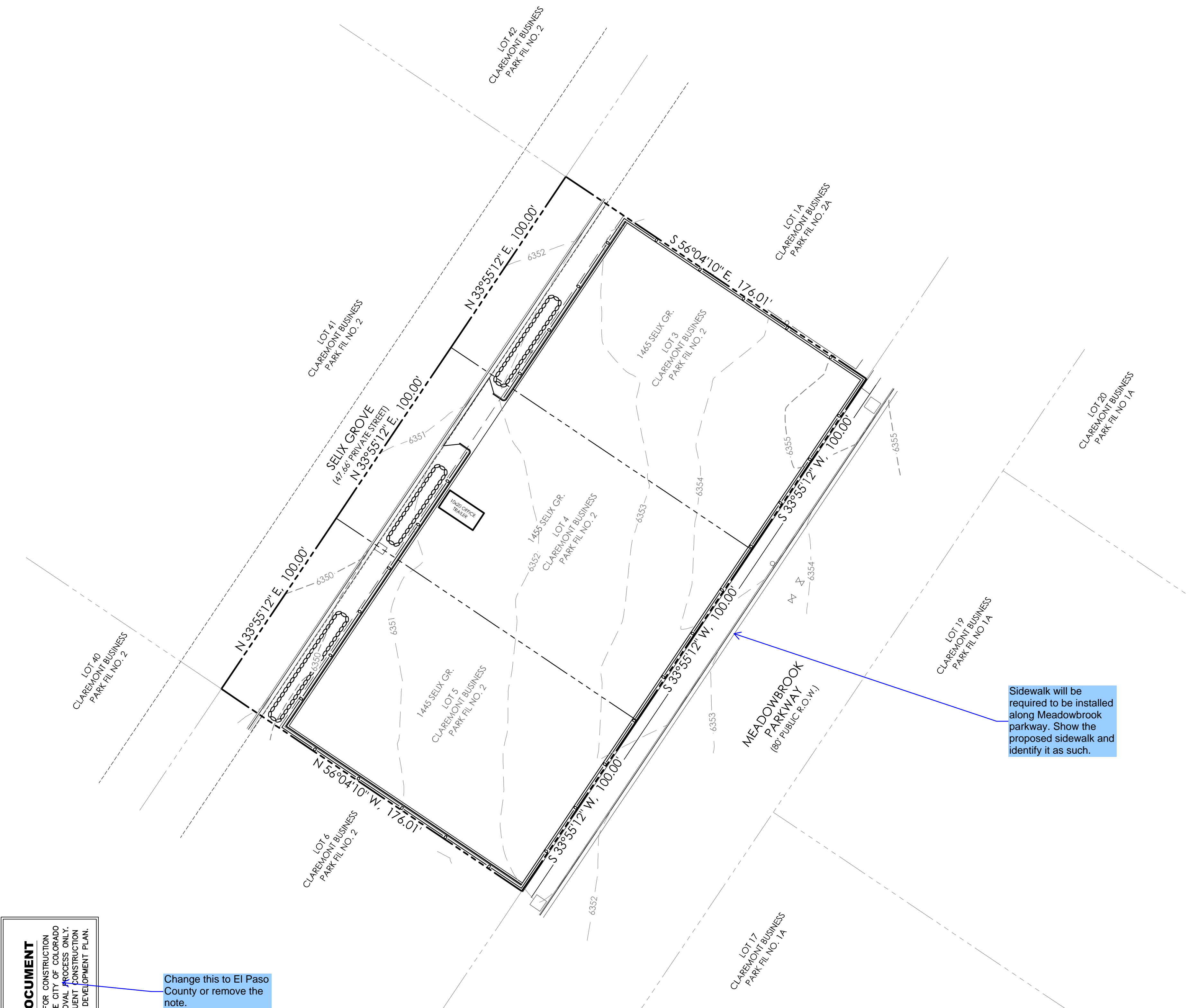
DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

GULFEAGLE
SUPPLY

SITE DEVELOPMENT PLAN

MVE PROJECT 61078
MVE DRAWING -DEV-SP

MARCH 12, 2019
SHEET 1 OF 2



Sidewalk will be required to be installed along Meadowbrook parkway. Show the proposed sidewalk and identify it as such.

Change this to El Paso County or remove the note.

**NOT A
CONSTRUCTION DOCUMENT**

LEGEND

	PROPERTY LINE		PROPOSED
	EASEMENT LINE		INDEX CONTOUR
	LOT LINE		INTERMEDIATE CONTOUR
	BUILDING SETBACK LINE		CONCRETE AREA
	ADJACENT PROPERTY LINE		ASPHALT AREA
			CURB AND GUTTER
EXISTING			BUILDING/ BUILDING OVERHANG
	INDEX CONTOUR		DECK
	INTERMEDIATE CONTOUR		RETAINING WALL - SOLID/ ROCK
	CONCRETE AREA		ROCK
	ASPHALT AREA		SIGN
	CURB AND GUTTER		BOLLARD
	BUILDING/ BUILDING OVERHANG		WOOD FENCE
	DECK		CHAIN LINK FENCE
	RETAINING WALL - SOLID/ ROCK		BARBED WIRE FENCE
	ROCK		TREE (EVERGREEN/DECIDUOUS)
	SIGN		SHRUB
	BOLLARD		ROCK
	WOOD FENCE		
	CHAIN LINK FENCE		
	BARBED WIRE FENCE		
	TREE (EVERGREEN/DECIDUOUS)		
	SHRUB		
	ROCK		

OWNER
SBJ RESCH FAMILY PARTNERSHIP, LTD.
2900 7TH AVENUE EAST, SUITE 200
TAMPA, FL 33605
(813) 248-4911

DEVELOPER
GULFEAGLE SUPPLY
JEFF BARNES, BRANCH MANAGER
1456 SELIX GROVE
COLORADO SPRINGS, CO 80915
(719) 574-7663

ENGINEER
M.V.E., INC.
1903 LELARAY STREET, STE 200
COLORADO SPRINGS, CO 80909
(719) 635-5736

ZONING
CS, CAD-0 (COMMERCIAL SERVICE,
COMMERCIAL AIRPORT DISTRICT)

SETBACK

FRONT = 25 FT
REAR = 25 FT
SIDE = 25 FT

LOT INFORMATION

MAXIMUM LOT COVERAGE - NONE
MAXIMUM BUILDING HEIGHT = 45 FT
SPECIAL USE REQUIRED FOR
CONTRACTOR STORAGE

LEGAL DESCRIPTION

LOTS 3, 4 & 5, CLAREMONT BUSINESS
PARK FILING NO. 2

TAX SCHEDULE NO.

5408102009, 5408102008, 5408102007

SITE SPECIFIC NOTES:

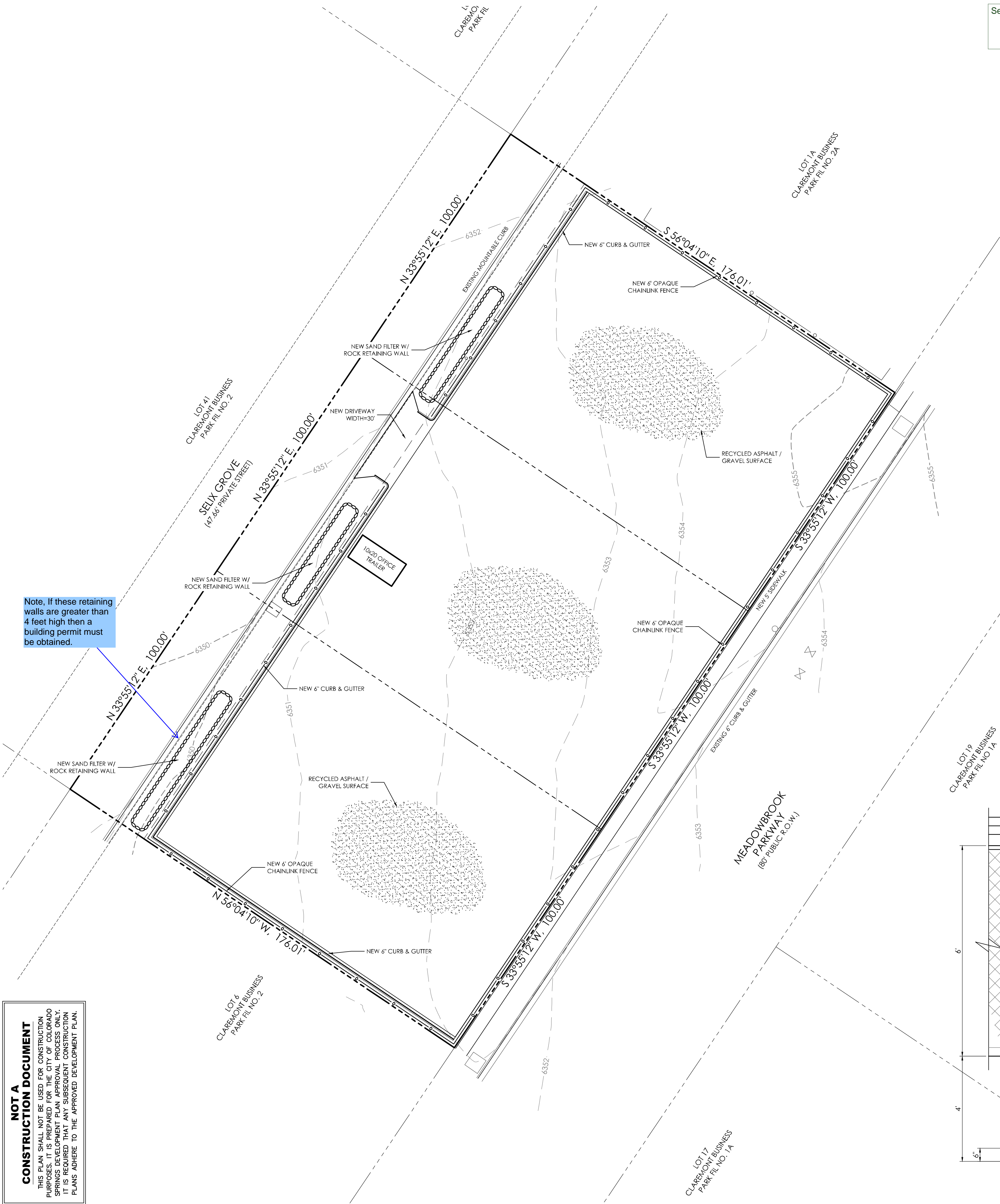
1. THE ENTIRE AREA OF THIS PROPERTY IS FOR THE USE OF MATERIAL STORAGE.
2. THIS STORAGE YARD IS IN SUPPORT OF GULFEAGLE SUPPLY ON THE OPPOSITE SIDE OF SILEX GROVE (1456 SILEX GROVE).
3. THE TRAILER SHOWN IS FOR TEMPORARY SHELTER DURING LOADING / UNLOADING OPERATIONS. THE TRAILER WILL HAVE ELECTRIC SERVICE ONLY.

Add PCD File No. AL198

NOT A CONSTRUCTION DOCUMENT

THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION PURPOSES. IT IS PREPARED FOR THE CITY OF COLORADO SPRINGS DEVELOPMENT PLAN APPROVAL PROCESS ONLY. IT IS REQUIRED THAT ANY SUBSEQUENT CONSTRUCTION PLANS ADHERE TO THE APPROVED DEVELOPMENT PLAN.

Note, If these retaining walls are greater than 4 feet high then a building permit must be obtained.



Selix

SITE SPECIFIC NOTES:

1. THE ENTIRE AREA OF THIS PROPERTY IS FOR THE USE OF MATERIAL STORAGE.
2. THIS STORAGE YARD IS IN SUPPORT OF GULFEAGLE SUPPLY ON THE OPPOSITE SIDE OF SILEX GROVE (1456 SILEX GROVE).
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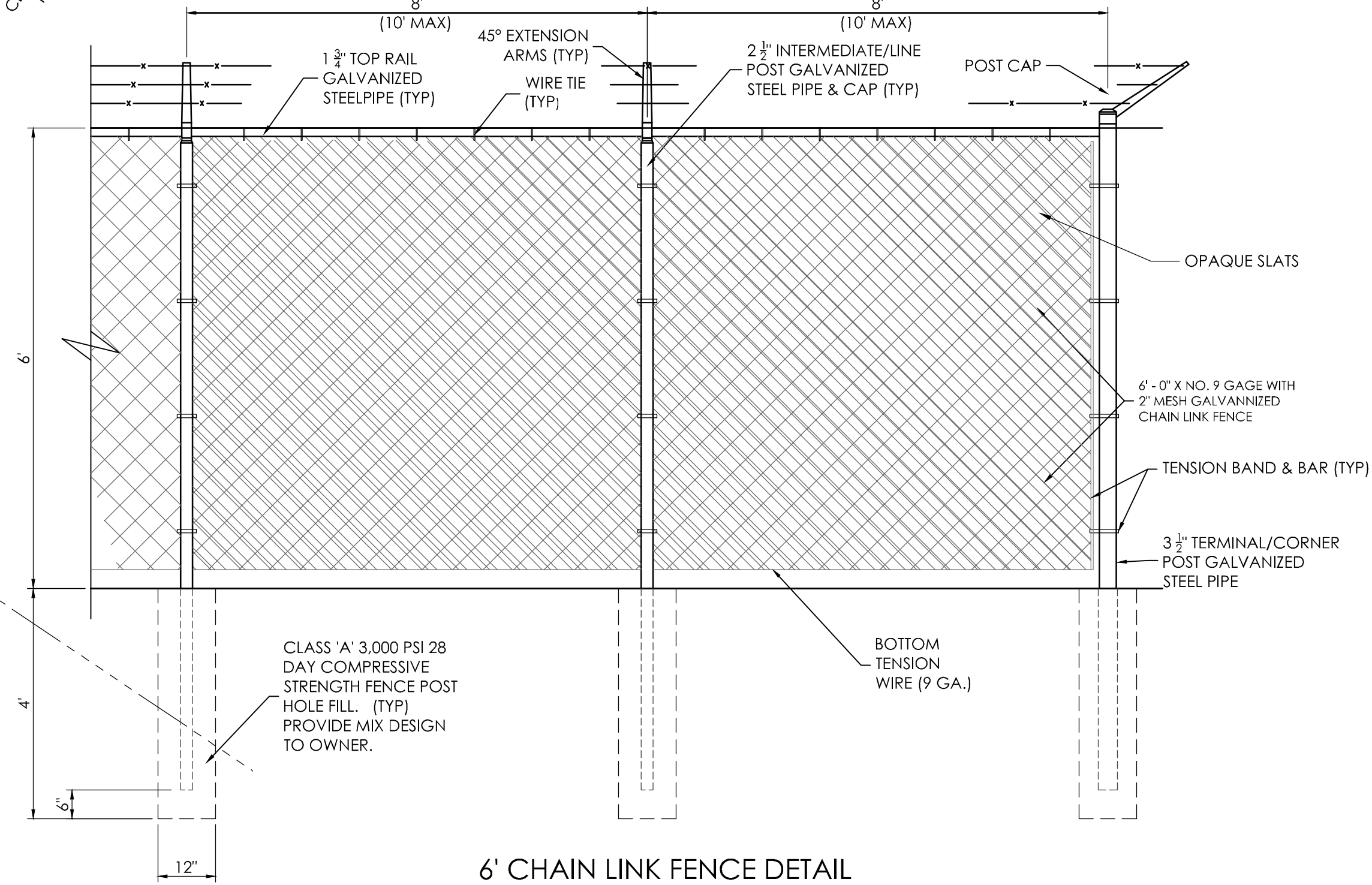
Add this note and an ADA route for the property:

The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

This plan needs more detail, it should show all storage areas for the contractor's equipment yard as well as parking for vehicles. An alternative parking ratio can be requested if the original site of the supply yard has adequate parking.

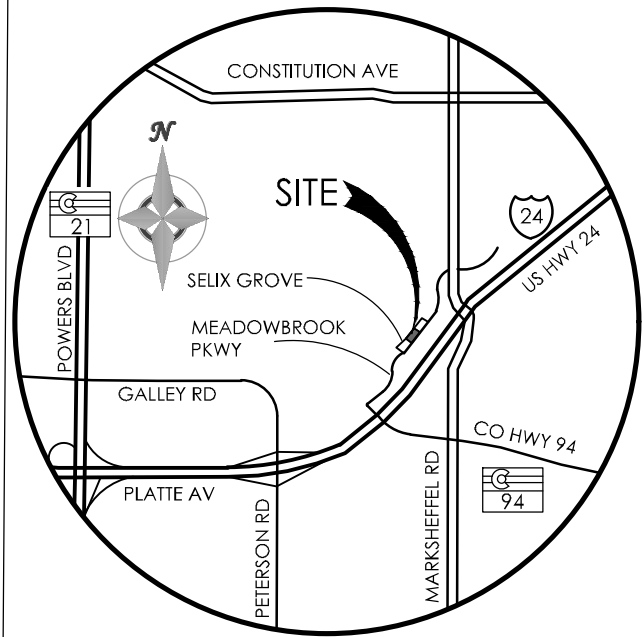
This site plan must also show where outside storage of items will be. The storage should not be taller than the fence. Taller storage should be placed in the rear third of the property. Only 50% of the land next to a roadway can be occupied by outside storage.

LOT 1B
CLAREMONT BUSINESS
PARK FIL NO. 1A



6' CHAIN LINK FENCE DETAIL

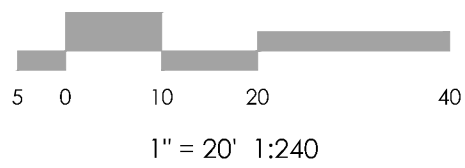
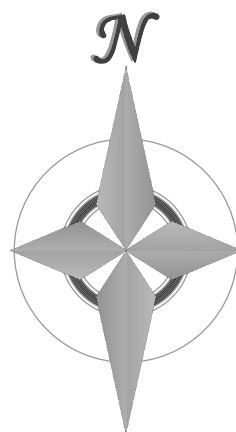
SCALE: 1" = 2'



VICINITY MAP
NOT TO SCALE

BENCHMARK
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MVE, INC.
ENGINEERS / SURVEYORS

1903 Jellary street, suite 200 colorado springs co 80909 719.635.5736

REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

**GULFEAGLE
SUPPLY**

**SITE DEVELOPMENT
PLAN**

MVE PROJECT 61078
MVE DRAWING -DEV-DS

MARCH 12, 2019
SHEET 2 OF 2

Markup Summary

Add PCD File No. AL198 (1)

Subject: Engineer
Page Label: [1] 61078-DEV-SP-DEV-CS
Lock: Unlocked
Author: dsdgrimm
Date: 4/10/2019 12:37:52 PM
Color: ■

Add PCD File No. AL198

Add PCD File No. AL198

Add this note and an ADA route for the property: The parties responsible for this plan have familiarized themselves with all current

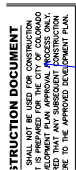


Subject: Text Box
Page Label: [2] 61078-DEV-DS-DEV-DS
Lock: Unlocked
Author: dsdkendall
Date: 4/9/2019 10:29:27 AM
Color: ■

Add this note and an ADA route for the property:

The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

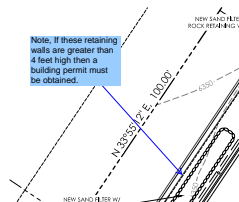
Change this to El Paso County or remove the note. (1)



Subject: Engineer
Page Label: [1] 61078-DEV-SP-DEV-CS
Lock: Unlocked
Author: dsdgrimm
Date: 4/10/2019 1:05:11 PM
Color: ■

Change this to El Paso County or remove the note.

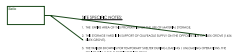
Note, If these retaining walls are greater than 4 feet high then a building permit must be obtained. (1)



Subject: Engineer
Page Label: [2] 61078-DEV-DS-DEV-DS
Lock: Unlocked
Author: dsdgrimm
Date: 4/10/2019 1:18:05 PM
Color: ■

Note, If these retaining walls are greater than 4 feet high then a building permit must be obtained.

Selix (1)

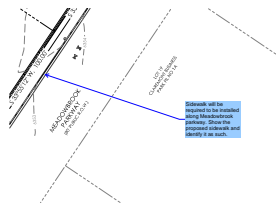


Subject: Callout
Page Label: [2] 61078-DEV-DS-DEV-DS
Lock: Unlocked
Author: dsdkendall
Date: 4/9/2019 10:30:17 AM
Color: ■

Selix

Sidewalk will be required to be installed along Meadowbrook parkway. Show the proposed sidewalk and identify it as such.

(1)

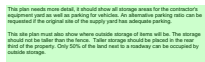


Subject: Engineer
Page Label: [1] 61078-DEV-SP-DEV-CS
Lock: Unlocked
Author: dsdgrimm
Date: 4/10/2019 12:56:17 PM
Color: ■

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This plan needs more detail, it should show all storage areas for the contractor's equipment yard as well as parking for vehicles.

Ar



Subject: Text Box
Page Label: [2] 61078-DEV-DS-DEV-DS
Lock: Unlocked
Author: dsdkendall
Date: 4/9/2019 10:29:09 AM
Color: ■

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